



**NOTICE OF SPECIAL WORK SESSION AND
REGULAR MEETING AGENDA
LANCASTER CITY COUNCIL
MUNICIPAL CENTER CITY COUNCIL CHAMBERS
211 N. HENRY STREET, LANCASTER, TEXAS**



Monday, September 25, 2023 - 7:00 PM

While one or more City Council Members may be present via video or audio link, a quorum of the City Council will be at the Municipal Center-City Council Chambers, as required by the Texas Open Meetings Act.

Please click the link below for forms:

<https://www.lancaster-tx.com/1413/Notice-Regarding-Public-Participation>

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/84845266889?pwd=NmMzUXdDZmZuMUthTG9TRnFNV2QxUT09>

The meeting will be broadcast live via video at the following address:

<http://www.lancaster-tx.com/324/Watch-Meetings>

CALL TO ORDER

7:00 P.M. SPECIAL WORKSESSION:

1. Discuss the City's nomination for the fourth member of the Dallas Central Appraisal District (DCAD), Board of Directors.

ADJOURNMENT

7:15 P.M. REGULAR MEETING:

CALL TO ORDER

INVOCATION: Lancaster Interdominational Ministerial Alliance

PLEDGE OF ALLEGIANCE: Mayor Pro Tem Mitchell Cheatham

PUBLIC TESTIMONY/CITIZENS COMMENTS:

At this time, citizens who have pre-registered before the call to order will be allowed to speak on any matter for a length of time not to exceed three minutes. No Council action or discussion may take place on a matter until such matter has been placed on an agenda and posted in accordance with law. Anyone desiring to speak on an item scheduled for a public hearing is requested to hold their comments until the public hearing on that item.

CONSENT AGENDA:

Items listed under the consent agenda are considered routine and are generally enacted in one motion. The exception to this rule is that a Council Member may request one or more items to be removed from the consent agenda for separate discussion and action.

1. Consider approval of minutes from the Regular Meeting held on August 28, 2023.
2. Consider a resolution adopting the City of Lancaster's Texas Alcoholic Beverage Commission (TABC) policy.
3. Consider a resolution declaring the official intent to reimburse expenses incurred for the design and reconstruction of roads and associated water/ wastewater and storm water projects.

ACTION:

4. M23-39 Discuss and consider a resolution authorizing the City Manager to execute a development agreement with A&N Asset Management, LLC, relating to site design elements and building materials for the construction of property located north of the intersection of North Houston School Road and West Pleasant Run Road, addressed as 1747 North Houston School Road, City of Lancaster, Dallas County, Texas

PUBLIC HEARING:

5. M23-37 Conduct a public hearing and consider a special exception request to the 500-foot driveway spacing requirement outlined in Section 1-04 (D) (2) (d) of the General Construction Design Manual to allow a 425-foot driveway spacing on the property addressed as 2116 N. Lancaster Hutchins known as Lot 1R, Block A, out of the Bilco Brick 2 Addition, City of Lancaster, Dallas County, Texas.
6. M23-30 Conduct a public hearing and consider an ordinance to amend and update Chapter 4, Transportation Bicycle and [Pedestrian Enhancements (Trails Master Plan)] of the Comprehensive Plan by incorporating the Southern Dallas County Regional Veloweb Alignment Study Summary Report.
7. M23-32 Conduct a public hearing and consider an ordinance granting a special exception to the City Code of Ordinances, Chapter 6- Reverse Frontage Lots, 6.07.006 (a) and 6.07.006 (b) to: 1) not meet the required 10-foot side yard setback along Westridge Ave to construct a fence on the property line; 2) have an 8-foot tall fence deviating from the 4-foot height maximum; and 3) not meet the fifty percent (50%) opaqueness requirement and have a hundred percent (100%) opaque fence, on the property addressed as 632 W. 5th St. known as Lot 1, Block 1, Westridge Acres Addition, City of Lancaster, Dallas County, Texas.
8. Z23-11 Conduct a public hearing and consider an ordinance granting a rezoning request from an Agricultural Open District (A-O) to Planned Development (PD) with Single-Family Residential (SF-2) uses on 31.29 acres. The property is addressed as 1747 North Houston School Road, located north of the intersection of North Houston School Road and West Pleasant Run Road. The property is known as Tract 6 of the Marady Parks Addition, Abstract 1120 Pg 345, in the City of Lancaster, Dallas County, Texas.
9. Z23-10 Conduct a public hearing and consider a Specific Use Permit for an Oncor substation located on E. Belt Line Road west of Ferris Road addressed as 1350 E. Belt Line Road, being 11.89 acres out of the Jones Green Abstract 504 Page 145, City of Lancaster, Dallas County, Texas.

10. Z23-12 Conduct a public hearing and consider an ordinance granting a zoning change from Planned Development (PD) to Single Family Estates (SF-E). The property is located approximately 172 feet south of W. Main Street on S. Bluegrove Road, addressed as 180 S. Bluegrove Road, known as Arthur Eldridge Abstract 449, Page 470 Block 0, Tract 14, 1.42 acres, City of Lancaster, Dallas County, Texas.

EXECUTIVE SESSION:

11. In accordance with Chapter 551 of the Texas Government Code (the Texas Open Meetings Act), the City Council may meet in executive session to discuss the following:
 - (a) Section 551.071 of the Texas Government Code, the City Council shall convene in executive session to confer with the City's attorney to discuss pending, threatened, contemplated, or potential related litigation in regard to Real Property located at 1508 Dewberry Boulevard (Bel-Air Place Apartments).
 - (b) Section 551.071 of the Texas Government Code, the City Council shall convene in executive session to confer with the City's attorney to discuss pending, threatened, contemplated or potential related litigation in regard to Real Property located at 632 Reindeer Road.
 - (c) Section § 551.071(1)(a) of the Texas Government Code, the City Council shall convene in executive session to confer with the City's attorney to discuss pending, threatened, contemplated, or potential related litigation in regard to Future Infrastructure. (Houston School Road water main damage).
 - (d) Section § 551.071(1)(a) of the Texas Government Code, the City Council shall convene in executive session to confer with the City's attorney to discuss pending, threatened, contemplated, or potential related litigation in regard to DeltaVictor LLC v. City of Lancaster.
 - (e) Section 551.071 of the Texas Government Code, the City Council shall convene in executive session to confer with the City's attorney to discuss pending, threatened, contemplated or potential related litigation in regard to Real Property located at 3410 Sherwood Drive.
12. Reconvene into open session. Consider and take appropriate action(s), if any, on closed/executive session matters.

ADJOURNMENT

EXECUTIVE SESSION: The City Council reserves the right to convene into executive session on any posted agenda item pursuant to Section 551.071(2) of the Texas Government Code to seek legal advice concerning such subject.

ACCESSIBILITY STATEMENT: Meetings of the City Council are held in municipal facilities and are wheelchair-accessible. For sign interpretive services, call the City Secretary's office, 972-218-1311, or TDD 1-800-735-2989, at least 72 hours prior to the meeting. Reasonable accommodation will be made to assist your needs.

PURSUANT TO SECTION 30.06 PENAL CODE (TRESPASS BY HOLDER WITH A CONCEALED HANDGUN), A PERSON LICENSED UNDER SUBCHAPTER H, CHAPTER 411, GOVERNMENT CODE

(HANDGUN LICENSING LAW), MAY NOT ENTER THIS PROPERTY WITH A CONCEALED HANDGUN.

CONFORME A LA SECCION 30.06 DEL CODIGO PENAL (TRASPASAR PORTANDO ARMAS DE FUEGO CON LICENCIA) PERSONAS CON LICENCIA BAJO DEL SUB-CAPITULO 411, CODIGO DEL GOBIERNO (LEY DE PORTAR ARMAS), NO DEBEN ENTRAR A ESTA PROPIEDAD PORTANDO UN ARMA DE FUEGO OCULTADA.

PURSUANT TO SECTION 30.07 PENAL CODE (TRESPASS BY HOLDER WITH AN OPENLY CARRIED HANDGUN), A PERSON LICENSED UNDER SUBCHAPTER H, CHAPTER 411, GOVERNMENT CODE (HANDGUN LICENSING LAW), MAY NOT ENTER THIS PROPERTY WITH A HANDGUN THAT IS CARRIED OPENLY.

CONFORME A LA SECCION 30.07 DEL CODIGO PENAL (TRASPASAR PORTANDO ARMAS DE FUEGO AL AIRE LIBRE CON LICENCIA) PERSONAS CON LICENCIA BAJO DEL SUB-CAPITULO H, CAPITULO 411, CODIGO DE GOBIERNO (LEY DE PORTAR ARMAS), NO DEBEN ENTRAR A ESTA PROPIEDAD PORTANDO UN ARMA DE FUEGO AL AIRE LIBRE.

Certificate

I hereby certify the above Notice of Meeting was posted at Lancaster City Hall on September 21, 2023 @ 6:20 p.m. and copies thereof were provided to the Mayor, Mayor Pro-Tempore, Deputy Mayor Pro-Tempore and Council members.



Carey D. Neal, Jr.
Deputy City Manager

CITY OF LANCASTER CITY COUNCIL

City Council Special Work Session and Regular Meeting

1.

Meeting Date: 09/25/2023

Policy Statement: This request supports the City Council 2023-2024 Policy Agenda

Goal(s): Healthy, Safe & Engaged Community

Submitted by: Carey D. Neal Jr., Deputy City Manager

Agenda Caption:

Discuss the City's nomination for the fourth member of the Dallas Central Appraisal District (DCAD), Board of Directors.

Background:

The Property Tax Code, Section 6.03, requires that an election or appointment of members to the Board of Directors of an appraisal district be conducted in odd numbered years. The term of office for elected or appointed members is two years, beginning in even numbered years.

The Property Tax Code specifies the qualifications for membership to the Board of Directors in Section 6.03 of the Code. These qualifications are:

1. Must be a resident of the Dallas Central Appraisal District (DCAD) for at least two years prior to the election.
2. May be an elected official of an agency represented by the DCAD.
3. Cannot be an employee of any agency represented by the DCAD.
4. Cannot be related within the second degree by consanguinity or affinity, as determined under Chapter 573, Government Code, to an individual who is engaged in the business of appraising property for compensation for use in proceedings under this title or of representing property owners for compensation in proceedings under this title in the appraisal district.
5. Cannot own property on which delinquent taxes have been owed to a taxing unit for more than 60 days after the date the individual knew or should have known of the delinquency unless:
 - A. The delinquent taxes and any penalties and interest are being paid under an installment payment agreement under Section 33.02; or
 - B. A suit to collect the delinquent taxes is deferred or abated under Section 33.06 or 33.065.
6. An individual is ineligible to serve on an appraisal district board of directors if the individual has engaged in the business of appraising property for compensation for use in proceedings under this title or of representing property owners for compensation in proceedings under this title in the appraisal district at any time during the preceding five years.

As a member city, the City Council may nominate an individual for consideration as outlined below:

- Nominate an individual via resolution and submit the resolution to the Chief Appraiser no later than October 16, 2023.
- The Chief Appraiser will prepare a resolution ballot and provide it to each City to review no later than October 30, 2023.
- Each City must submit their official resolution ballot no later than December 15, 2023.
- The results of the election will be affirmed on January 1, 2023.

Each of the incorporated cities and towns, except the City of Dallas, shall have the right to nominate by official resolution one (1) candidate as the fourth member to the Board. The said cities and towns shall, from among the nominations received, elect by a majority vote, with each city and town being entitled to one (1) vote, a member to the Board of Directors.

At the October 9, 2023 Regular Meeting, City Council will consider a resolution to nominate an individual for consideration. Currently, Michael Hurtt, former Mayor of DeSoto, represents all other communities as the fourth member of the Board. In 2022/2023 new regulations were implemented establishing term limits (five (5) two (2) year terms) of 10 years with the FY 2022/2023 being the first term counted.

The purpose of this item is for City Council to discuss the process for submitting a nomination.

Attachments

Draft Resolution

RESOLUTION NO.

A RESOLUTION OF THE CITY OF LANCASTER, TEXAS, NOMINATING _____ AS A CANDIDATE TO BE A MEMBER OF THE BOARD OF DIRECTORS OF THE DALLAS CENTRAL APPRAISAL DISTRICT.

WHEREAS, The Chief Appraiser of the Dallas Central Appraisal District has been charged with the responsibility of conducting the election process to determine the membership of the Board of Directors of the Dallas Central Appraisal District, according to the Property Tax Code of Texas; and

WHEREAS, each of the incorporated cities and towns, except for City of Dallas, shall have the right to nominate by an official resolution one (1) candidate as a member of the Board of Directors; and

WHEREAS, the said cities and towns shall, from among the nominations received, elect by a majority vote, with each city and town being entitled to one (1) vote, a member of the Board of Directors.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

That the Council of the City of Lancaster, Texas does hereby nominate _____ as a candidate to be a member of the Board of Directors of the Dallas Central Appraisal District.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 11th day of October, 2021.

ATTEST:

APPROVED:

Sorangel O. Arenas, City Secretary

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney

CITY OF LANCASTER CITY COUNCIL

City Council Special Work Session and Regular Meeting

1.

Meeting Date: 09/25/2023

Policy Statement: This request supports the City Council 2023-2024 Policy Agenda

Goal(s):

- Financially Sound Government
- Healthy, Safe & Engaged Community
- Sound Infrastructure
- Quality Development
- Professional and Committed City Workforce

Submitted by: Angie Arenas, City Secretary

Agenda Caption:

Consider approval of minutes from the Regular Meeting held on August 28, 2023.

Background:

Attached for your review and consideration are the minutes of the Regular Meeting held on August 28, 2023

Attachments

August 28, 2023

MINUTES

LANCASTER CITY COUNCIL REGULAR MEETING OF AUGUST 28, 2023

The City Council of the City of Lancaster, Texas, met in a called a Regular Meeting in the Council Chambers of City Hall on August 28, 2023, at 7:15 p.m. with a quorum present to-wit:

Councilmembers Present (City Hall & Zoom):

Clyde C. Hairston, Mayor
Carol Strain-Burk
Stanley M. Jaglowski
Marco Mejia
Derrick Robinson
Mitchell Cheatham, Mayor Pro Tem
Betty Gooden-Davis, Deputy Mayor Pro Tem

City Staff Present (City Hall & Zoom):

Opal Mauldin-Jones, City Manager
Sorangel O. Arenas, City Secretary
David T. Ritter, City Attorney
Andy Waits, Director of Public Works
Carey Neal, Deputy City Manager
Chris Youngman, Emergency Management and Communications Chief
Christine Harris-Reed, Director of Finance
Dori Lee, Assistant City Manager
Jermaine Sapp, Director of Equipment and Facility Services
Kenneth, Johnson, Fire Chief
Sam Urbanski, Police Chief
Shane Shepard, Director of Economic Development
Vicki Coleman, Director of Development Services
Cheryl Womble, Purchasing Agent
Gregory Carrell, Budget Analyst
Jennifer Avila, Deputy City Secretary
Ron Gleaves, IT Manager

Call to Order:

Mayor Hairston called the meeting to order at 7:15 p.m. on August 28, 2023.

Invocation:

Pastor Donniel Wilson Sr., New Harmony Church gave the invocation.

Pledge of Allegiance:

Councilmember Jaglowski led the pledge of allegiance.

Public Testimony/Citizen's Comments:

Olivia Vasquez, 1310 Mercury Lane, Lancaster, TX 75134 shared concerns regarding the number of warehouses in the City of Lancaster.

Kim Michelle, 930 Poinsettia Dr, Lancaster, TX 75146 shared concern regarding the change on the bulk pick up schedule for her neighborhood.

Consent Agenda

1. **Consider approval of minutes from the Regular Meeting held on July 24, 2023**
2. **Consider a resolution authorizing the Mayor to execute a resolution for an assignment agreement that was approved by resolution of North Central Texas Housing Finance Corporation (NCTHFC) assigning its single-family mortgage revenue bond authority to the Texas Department of Housing and Community Affairs (TDHCA). TDHCA would then issue bonds for the purpose of financing home mortgage loans for qualified first-time homebuyers in The Housing Finance Corporation (HFC) jurisdiction, including the City of Lancaster.**

MOTION: Deputy Mayor Pro Tem Gooden-Davis made a motion, seconded by Councilmember Strain-Burk to approve consent items C1 and C2. The vote was cast 7 for, 0 against.

Public Hearing

3. **Conduct a public hearing and discuss an ordinance making certain findings in connection with the proposed supplemental services ordered in connection with the Beltline Ashmoore Public Improvement District.**

City Manager Mauldin-Jones gave a staff report regarding public hearing item 3.

No Speakers.

MOTION: Councilmember Strain-Burk made a motion, seconded by Mayor Pro Tem Cheatham to close the public hearing. The vote was cast 7 for, 0 against.

4. **Conduct a public hearing and discuss an ordinance making certain findings in connection with the proposed supplemental services ordered in connection with the Boardwalk Public Improvement District.**

Deputy City Manager Neal gave a staff report regarding public hearing item 4.

Pam Sallie, 1330 Pennsylvania Ave, Lancaster, TX 75134, did not wish to speak.

Vincent Johnson, 1301 Pennsylvania Ave, Lancaster, TX 75134 shared his opposition to public hearing item 4.

Eddie Thomas, 1558 Illinois Ave, Lancaster, TX 75134 shared his opposition to public hearing item 4.

Trina Whaley, 1554 Illinois Ave, Lancaster, TX 75134 shared her opposition to public hearing item 4.

Malcolm Mayo, 1333 Kentucky Ave, Lancaster, TX 75134 shared his opposition to public hearing item 4.

MOTION: Councilmember Strain-Burk made a motion, seconded by Deputy Mayor Pro Tem Gooden-Davis to close the public hearing. The vote was cast 7 for, 0 against.

- 5. Conduct a public hearing and discuss an ordinance making certain findings in connection with the proposed supplemental services ordered in connection with the Glendover Estates Public Improvement District.**

Deputy City Manager Neal gave a staff report regarding public hearing item 5.

No Speakers.

MOTION: Councilmember Strain-Burk made a motion, seconded by Deputy Mayor Pro Tem Gooden-Davis to close the public hearing. The vote was cast 7 for, 0 against.

- 6. Conduct a public hearing and discuss an ordinance making certain findings in connection with the proposed supplemental services ordered in connection with the Lancaster Mills Public Improvement District.**

City Manager Mauldin-Jones gave a staff report regarding public hearing item 6.

No Speakers.

MOTION: Councilmember Strain-Burk made a motion, seconded by Deputy Mayor Pro Tem Gooden-Davis to close the public hearing. The vote was cast 7 for, 0 against.

- 7. Conduct a public hearing and discuss an ordinance making certain findings in connection with the proposed supplemental services ordered in connection with the Meadowview Estates Public Improvement District.**

Deputy City Manager Neal gave a staff report regarding public hearing item 7.

No Speakers.

MOTION: Councilmember Strain-Burk made a motion, seconded by Deputy Mayor Pro Tem Gooden-Davis to close the public hearing. The vote was cast 7 for, 0 against.

- 8. Conduct a public hearing and discuss an ordinance making certain findings in connection with the proposed supplemental services ordered in connection with the Millbrook East Public Improvement District.**

Deputy City Manager Neal gave a staff report regarding public hearing item 8.

No Speakers.

MOTION: Councilmember Strain-Burk made a motion, seconded by Deputy Mayor Pro Tem Gooden-Davis to close the public hearing. The vote was cast 7 for, 0 against.

- 9. Conduct a public hearing and discuss an ordinance making certain findings in connection with the proposed supplemental services ordered in connection with the Pleasant Run Estates Phase 1-A and Phase 1-B Public Improvement District.**

Deputy City Manager Neal gave a staff report regarding public hearing item 9.

Olivia Vasquez, 1310 Mercury Lane, Lancaster, TX 75134 request clarification on the time frame of the phases completion in Please Run Estates.

Mayor Hairston referred resident Olivia Vasquez to Deputy City Manager Neal.

MOTION: Councilmember Strain-Burk made a motion, seconded by Deputy Mayor Pro Tem Gooden-Davis to close the public hearing. The vote was cast 7 for, 0 against.

10. Conduct a public hearing and discuss an ordinance making certain findings in connection with the proposed supplemental services ordered in connection with the Rolling Meadows Public Improvement District.

Deputy City Manager Neal gave a staff report regarding public hearing item 10.

Ijeoma Onyejiaka, 416 Bermuda Ave, Lancaster, TX 75146 request more information regarding public hearing item 10.

Mayor Hairston referred resident Ijeoma Onyejiaka PID Advisory Board president Lee Houston.

Felecia Hamilton, 408 Bermuda Ave, Lancaster, TX 75146 shared her opposition to public hearing item 10.

Emily Barner, 128 Cayman Dr, Lancaster, TX 75146 shared her opposition to public hearing item 10.

Tyron Jones, 157 Martinique Dr, Lancaster, TX 75146 expressed concern about how staff responses to public hearing testimony are being handled outside of the meeting and his opposition on public hearing item 10.

City Manager Mauldin-Jones clarified that public hearing items are held to hear resident testimony regarding the item, under Open Meetings Act, Texas State Law the council is prohibited from debating or answering questions during these meetings. The council refers resident concerns to staff for a response, as they are not allowed to engage in dialogue or redirect testimony during public hearings.

Lee Houston, PID Advisory Board president of Rolling Meadows encouraged residents to attend the PID's meetings for further information regarding the Rolling Meadows Public Improvement District.

MOTION: Councilmember Strain-Burk made a motion, seconded by Deputy Mayor Pro Tem Gooden-Davis to close the public hearing. The vote was cast 7 for, 0 against.

11. Conduct a public hearing and discuss an ordinance making certain findings in connection with the proposed supplemental services ordered in connection with the Tribute at Mills Branch and Tribute East at Mills Branch Public Improvement District.

Deputy City Manager Neal gave a staff report regarding public hearing item 11.

No Speakers.

MOTION: Councilmember Strain-Burk made a motion, seconded by Deputy Mayor Pro Tem Gooden-Davis to close the public hearing. The vote was cast 7 for, 0 against.

- 12. M23-18 Discuss and consider an ordinance granting an exception to the Code of Ordinances, Chapter 6 Fence Regulations, Sec 6.07.008 to allow the use of an R-panel metal fence on property addressed as 3220 Prancer, City of Lancaster, Dallas County, Texas.**

City Manager Mauldin-Jones gave a staff report regarding public hearing item 12.

Saul Saucedo 3220 Prancer St, Lancaster, TX 75146, shared his support for public hearing item 12.

Queen Saucedo 3220 Prancer St, Lancaster, TX 75146, shared her support for public hearing item 12.

MOTION: Councilmember Strain-Burk made a motion, seconded by Mayor Pro Tem Cheatham to close the public hearing. The vote was cast 7 for, 0 against.

Councilmember Jaglowski asked staff since the fence has been installed in front of the property would it be considered non-confirming.

City Attorney Ritter clarified that the fence is a not a non-confirming fence, which is one that was installed legally but is now in violation of an effective ordinance. Therefore, the fence may be cited in violation of the ordinance. He also clarified that the building materials exception does not apply to fencing, so the City may regulate fencing.

MOTION: Councilmember Strain-Burk made a motion, seconded by Deputy Mayor Pro Tem Gooden-Davis to approve public hearing item 12. The vote was cast 1 for, 6 against [Hairston, Strain-Burk, Jaglowski, Mejia, Robinson, Cheatham] Motion Failed.

- 13. M23-27 Conduct a public hearing and consider an ordinance granting a special exception request to Section 14.804 (b) (A) and (B) of the Lancaster Development Code to the landscape requirements for the property located on E. Belt Line Road west of Ferris Road and addressed as 1350 E. Belt Line Road, being 11.89 acres out of the Jones Green Abstract 504 Page 145, City of Lancaster, Dallas County, Texas.**

Deputy City Manager Neal gave a staff report regarding public hearing item 13.

Rob Myers, 6160 Warren Pkwy, Frisco, TX 75034 Oncor representative shared his support for public hearing item 13.

MOTION: Deputy Mayor Pro Tem Gooden-Davis made a motion, seconded by Councilmember Strain-Burk to close the public hearing. The vote was cast 7 for, 0 against.

MOTION: Councilmember Mejia made a motion, seconded by Councilmember Strain-Burk to approve public hearing item 13. The vote was cast 7 for, 0 against.

- 14. M23-28 Conduct a Public Hearing and consider an ordinance granting a special exception to the articulation design standards outlined in the Logistics Port PD on the property addressed as 1100 E. Pleasant Run Rd, proposed as Lot 1 & 2, Block A, out of the Cold Summit 2 Addition, City of Lancaster, Dallas County, Texas.**

Deputy City Manager Neal gave a staff report regarding public hearing item 14.

Brad Blocker, 209 Anastasia Blvd, St Augustine, FL 32080 the developer shared his support for public hearing item 14.

MOTION: Councilmember Strain-Burk made a motion, seconded by Mayor Pro Tem Cheatham to close the public hearing. The vote was cast 7 for, 0 against.

MOTION: Councilmember Mejia made a motion, seconded by Deputy Mayor Pro Tem Gooden-Davis to approve public hearing item 14. The vote was cast 7 for, 0 against.

Action

- 15. M23-31 Discuss and consider a resolution accepting three (3) water easements (being 534 square feet or 0.0123 of an acre, 991 square feet or 0.0227 of an acre, and 1,549 square feet or 0.0356 of an acre) from McKinley Packaging Company., (Grantor), to the City of Lancaster (Grantee) for the installation, construction, operation, maintenance, replacement, repair, upgrade and/or removal of water lines and all necessary or desirable structures, facilities and appurtenances necessary to provide a secondary and separate connection to the City water system; establishing conditions, providing for the furnishing of certified copy of this resolution for recording in the property records of Dallas County, Texas as a deed.**

City Manager Mauldin-Jones gave a staff report regarding the action item 15.

MOTION: Councilmember Mejia made a motion, seconded by Deputy Mayor Pro Tem Gooden-Davis to approve item 15. The vote was cast 7 for, 0 against.

- 16. Discuss and consider an ordinance authorizing the issuance of City of Lancaster, Texas limited tax note, series 2023; specifying the terms and features of such a note; levying a continuing direct annual ad valorem tax for the payment of said note; and resolving other matters incident and related to the issuance, sale, payment, and delivery of the note; and providing an effective date.**

City Manager Mauldin-Jones gave a staff report regarding the action item 16.

MOTION: Councilmember Strain-Burk made a motion, seconded by Deputy Mayor Pro Tem Gooden-Davis to approve item 16. The vote was cast 7 for, 0 against.

- 17. Discuss and consider a resolution authorizing the City Manager to execute an agreement with Siddons-Martin Emergency Group, LLC for the purchase of a 2023 Pierce-Custom Enforcer Pumper, 2nd Gen in a principal amount not to exceed one million, two hundred three thousand, four hundred and nine dollars (\$1,203,409).**

City Manager Mauldin-Jones gave a staff report regarding the action item 17.

MOTION: Deputy Mayor Pro Tem Gooden-Davis made a motion, seconded by Councilmember Mejia to approve item 17. The vote was cast 7 for, 0 against.

18. Discuss and consider appointments to the Inland Port Local Government Corporation (LGC).

City Manager Mauldin-Jones gave a staff report regarding the action item 18.

Mayor Hairston shared that this item is to begin the process of nominating incorporators with three members required to serve. City Secretary Arenas will read the names of the four nominees and the council may present additional nominees.

Mayor Hairston shared that City Council will convene in executive session under Chapter 551 of the Texas Government Code regarding Action item 18 and executive session item 19.

The City Council recessed for Executive Session at 9:30 p.m. and reconvened into open session at 10:03 p.m.

No action on item 19.

MOTION: Councilmember Strain-Burk made a motion, seconded by Councilmember Jaglowski to approve item 18, to appoint only the three incorporators and withhold the appointment of the director. The vote was cast 7 for, 0 against.

City Secretary Arenas read the following nominees; Carey Neal, Deputy City Manager, Shane Shepard, Director of Economic Development, Karl Staudins, Assistant Director of Economic Development, Jacqueline Thompson, Assistant Director of Finance.

Roll Call Nomination:

Deputy Mayor Pro Tem Gooden-Davis	Carey Neal, Shane Shepard, Karl Staudins
Mayor Pro Tem Cheatham	Carey Neal, Opal Mauldin-Jones, Shane Shepard
Councilmember Robinson	Carey Neal, Opal Mauldin-Jones, Shane Shepard
Mayor Hairston	Carey Neal, Karl Staudins, Jacqueline Thompson
Councilmember Mejia	Carey Neal, Shane Shepard, Opal Mauldin-Jones
Councilmember Jaglowski	Councilmember Mejia, Mayor Hairston, Deputy Mayor Pro Tem Gooden Davis
Councilmember Strain-Burk	Shane Shepard, Karl Staudins, Jacqueline Thompson

Cary Neal	5	Gooden-Davis, Cheatham, Robinson, Hairston, Mejia.
Shane Shepard	5	Gooden-Davis, Cheatham, Robinson, Mejia, Strain-Burk
Karl Staudins	3	Gooden-Davis, Mayor Hairston, Strain-Burk
Opal Mauldin-Jones	3	Cheatham, Robinson, Mejia
Jacqueline Thompson	2	Hairston, Strain-Burk
Councilmember Mejia	1	Jaglowski
Mayor Hairston	1	Jaglowski
Mayor Pro Tem Gooden-Davis	1	Jaglowski

Karl Staudins	0	
Opal Mauldin-Jones	7	Gooden-Davis, Cheatham, Robinson, Hairston, Mejia, Jaglowski, Strain-Burk

Executive session:

19. In accordance with Chapter 551 of the Texas Government Code (the Texas Open Meetings Act), the City Council may meet in executive session to discuss the following:

- (a) Section 551.071 of the Texas Government Code, the City Council shall convene in executive session to confer with the City's attorney to discuss pending, threatened, contemplated, or potential related litigation in regard to Real Property located at 1508 Dewberry Boulevard (Bel-Air Place Apartments).**
- (b) Section 551.071 of the Texas Government Code, the City Council shall convene in executive session to confer with the City's attorney to discuss pending, threatened, contemplated or potential related litigation in regard to Real Property located at 632 Reindeer Road.**
- (c) Section § 551.071(1)(a) of the Texas Government Code, the City Council shall convene in executive session to confer with the City's attorney to discuss pending, threatened, contemplated, or potential related litigation in regard to Dagger Contracting, LLC. (Houston School Road water main damage).**
- (d) Section § 551.071(1)(a) of the Texas Government Code, the City Council shall convene in executive session to confer with the City's attorney to discuss pending, threatened, contemplated, or potential related litigation in regard to DeltaVictor LLC v. City of Lancaster.**
- (e) Section 551.071 of the Texas Government Code, the City Council shall convene in executive session to confer with the City's attorney to discuss pending, threatened, contemplated or potential related litigation in regard to Real Property located at 3410 Sherwood Drive.**

20. Reconvene into open session. Consider and take appropriate action(s), if any, on closed/executive session matters

MOTION: Councilmember Strain-Burk made a motion, seconded by Councilmember Mejia to adjourn.
The vote was cast 7 for, 0 against.

The meeting was adjourned at 10:13 p.m.

ATTEST:

APPROVED:

Sorangel O. Arenas, City Secretary

Clyde C. Hairston, Mayor

CITY OF LANCASTER CITY COUNCIL

City Council Special Work Session and Regular Meeting

2.

Meeting Date: 09/25/2023

Policy Statement: This request supports the City Council 2023-2024 Policy Agenda

Goal(s): Healthy, Safe & Engaged Community

Submitted by: Sorangel O. Arenas, City Secretary

Agenda Caption:

Consider a resolution adopting the City of Lancaster's Texas Alcoholic Beverage Commission (TABC) policy.

Background:

The Texas Alcoholic Beverage Commission (TABC) is responsible for regulating the alcoholic beverage industry in the state of Texas. The TABC has established various policies and guidelines to ensure responsible alcohol sales, compliance with state laws, and the safety of Texas communities. The City of Lancaster is taking a proactive step by formalizing the TABC policies that impact our community into a comprehensive, written document. This written policy document will serve as a reference guide for our city officials, businesses, and residents to better understand and adhere to TABC regulations.

Operational Considerations:

The City of Lancaster currently requires new businesses to obtain a Certificate of Occupancy before granting approval for TABC permits. This process can sometimes result in delays in the sale of alcohol and the commencement of business operations. To realize the City Council's goal of business-friendly processes and procedures, we recommend City Council consider implementing the following: 1. Obtaining a Certificate of Occupancy or 2. Approved building permit.

Allowing new businesses the option of presenting either a Certificate of Occupancy or an approved building permit as part of the requirements for obtaining TABC permits, will provide flexibility for business owners. They can choose the option that best aligns with their specific circumstances and timeline, potentially reducing the time frame for commencing their operations and receiving approval from the State. Both a Certificate of Occupancy and an approved building permit signify compliance with local regulations. Offering the option of an approved building permit reinforces our commitment to safety and adherence to building codes.

Legal Considerations:

The City Attorney has reviewed and approved the resolution as to form.

Public Information Considerations:

This item is being considered at a Regular Meeting of the City Council noticed in accordance with the Texas Open Meetings Act.

Options/Alternatives:

1. City Council may approve the resolution, as presented.
2. City Council may deny the resolution.

Recommendation:

Staff recommends approval of the resolution as presented.

Attachments

Resolution

Application

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LANCASTER, ADOPTING THE CITY OF LANCASTER TEXAS ALCOHOLIC BEVERAGE COMMISSION (TABC) POLICY; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Lancaster acknowledges its role in ensuring the responsible and lawful sale and distribution of alcoholic beverages within its jurisdiction; and

WHEREAS, the Texas Alcoholic Beverage Commission (TABC) governs the issuance and regulation of alcoholic beverage permits and licenses within the State of Texas; and

WHEREAS, it is essential to establish a clear and streamlined process for businesses seeking to obtain or renew TABC permits and licenses within the City of Lancaster;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. The City of Lancaster shall establish a standardized TABC permit and license application process for businesses operating within its jurisdiction.

SECTION 2. The application process shall include the following key steps: a) City of Lancaster application for Alcoholic Beverage Permit b) Complete application from TABC c) Certificate of Occupancy Number issued by the City of Lancaster for exiting business changing owners or an Approved Building Permit for new business who are opening for the first time. d) Required fees

SECTION 3. The City of Lancaster shall implement this process, effective immediately upon the adoption of this resolution.

SECTION 4. That all previous resolutions in conflict with this resolution are hereby repealed to the extent of the conflict.

SECTION 5. That this resolution shall take effect immediately from and after its passage, and it is accordingly so resolved.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 25th day of September 2023

ATTEST:

APPROVED:

Sorangel O. Arenas, City Secretary

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney



APPLICATION FOR ALCOHOLIC BEVERAGE PERMIT



Date: _____

Applicant: _____

Applicant's Phone No.: _____ Applicant's Email: _____

Applicant's Representative: _____

Certificate of Occupancy Permit #: _____

Approved Building Permit #: _____

Business Name: _____

Business Known as: _____

Business Location: _____ Lancaster, TX _____

Mailing Address if different from business address: _____

APPLICATION TYPE:

- ☐ BQ WINE AND BEER RETAILER'S OFF-PREMISE
☐ RM MIXED BEVERAGE RESTAURANT PERMIT WITH FOOD & BEVERAGE
☐ FB FOOD AND BEVERAGE
☐ OTHER (Please specify.) _____

PLEASE INDICATE:

☐ ORIGINAL/NEW ☐ ANNUAL RENEWAL ☐ ADD LICENSE TYPE ☐ OWNER CHANGE ☐ TEMPORARY

FEES

- ☐ The City of Lancaster collects local fees according to the state schedule (two-year renewal). Fees have been assessed at one-half (1/2) the amount of the state fee in accordance with the Texas Alcoholic Beverage Code (TABC) and are non-refundable. Allowable fees remitted with application will be processed upon TABC approval.

OFFICE USE:

FEE RECEIVED: _____ SIGNATURE: _____

DATE PROCESSED: _____ SIGNATURE: _____

CITY OF LANCASTER CITY COUNCIL

City Council Special Work Session and Regular Meeting

3.

Meeting Date: 09/25/2023

Policy Statement: This request supports the City Council 2023-2024 Policy Agenda

Goal(s): Financially Sound Government

Submitted by: Christine Harris Reed, Director of Finance

Agenda Caption:

Consider a resolution declaring the official intent to reimburse expenses incurred for the design and reconstruction of roads and associated water/ wastewater and storm water projects.

Background:

A reimbursement resolution to enable the City to reimburse itself for any expenditures incurred prior to the issuance of the certificates of obligation for the 25 roadways identified below. This reimbursement resolution will allow the city to begin incurring reimbursable expenditures for the design, construction, reconstruction and expansion of the specific road projects prior to the issuance and receipt of the certificate of obligations to finance the projects. These expenditures will be reimbursed from certificate of obligation proceeds.

Street	Miles	Amount
1.Expand Ferris Rd. from Beltline Rd. to City limit	3.4	\$7,787,783.00
2.Parkerville Road from I-35 Service Road to Houston School Road	1.2	\$701,658.00
3.Main St. from S. Houston School Road to Dallas Ave.	4	\$62,036.00
4.Lancaster Hutchins Rd from Pleasant Run Rd. to Wintergreen Rd.	2	\$1,636,663.00
5.Beltline Rd. from Bluegrove Road to Main St.	4.1	\$6,648,059.00
6.Houston School Road from I-20 Service Rd. to Daniieldale Rd.	0.5	\$1,932,984.00
7.Reindeer Road from Houston School Road to Nokomis	3	\$2,293,364.00
8.Donlee Road from Dallas Ave to Sunnymeadow	1.4	\$1,339,467.00
9.Westridge Ave from Griffin Street to Pleasant Run Rd.	0.7	\$902,955.00
10.Sunny Meadow from Wintergreen to Donlee	0.9	\$627,240.00
11.Meadow Creek from Bluegrove Rd. to Alhambra Dr.	0.9	\$881,828.00
12.Rolling Hills Place. segments between Gateway and Coral Dr.	0.6	\$1,215,864.00
13.Rolling Meadows Dr. from Pleasant Run to Harvest Hill	0.7	\$508,843.00
14.Park Circle Dr. from Pleasant Run and Green Dr.	0.4	\$281,091.00
15.Springcrest Cir. From Pleasant Run entire loop	0.5	\$504,484.00
16.Portwood from Cedardale to dead end.	0.3	\$267,869.00
17.Interurban from Cedardale to Taylor	0.3	\$242,456.00

18.Edwards from Cedardale to Taylor	0.3	\$325,486.00
19.Doyle from Cedardale to Taylor	0.3	\$281,397.00
20.Taylor from Edwards to Daniel	0.2	\$230,739.00
21.Cheshire from Beltline north to the end.	0.4	\$201,450.00
22.N. Henry Rd. from E. 4th to Oak St	0.5	\$262,905.00
23.Bayport Dr. from Sunny meadow to Verona	0.6	\$411,468.00
24.Gerry Way from Wintergreen to Balkin Dr.	0.3	\$184,314.00
25.Sequoia Dr. from Westridge to Kiowa	0.4	\$267,597.00
Total Cost	27.9	\$30,000,000

Operational Considerations:

Utilization of funds from the issuance of Certificates of Obligation for these projects will allow for the process to begin ensuring the projects can be completed timely.

Legal Considerations:

The City Attorney has reviewed and approved the resolution as to form.

Public Information Considerations:

This item is being considered at a Regular Meeting of the City Council noticed in accordance with the Texas Open Meetings Act.

Fiscal Impact:

The approval of the resolution allows the city to reimburse itself for any funds expended on the projects prior to receipt of the certificate of obligation proceeds.

Options/Alternatives:

1. City Council may approve the resolution as presented.
2. City Council may deny the resolution.

Recommendation:

Staff recommends approval of the resolution as presented.

Attachments

Resolution

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS, DECLARING AN OFFICIAL INTENT TO REIMBURSE EXPENSES INCURRED FOR THE DESIGN RECONSTRUCTION AND EXPANSION OF VARIOUS CITY ROADS AND ASSOCIATED WATER AND SEWER INFRASTRUCTURE; WITH PROCEEDS OF FUTURE DEBT IN AN AMOUNT NOT TO EXCEED \$30,000,000; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Lancaster, Texas, (the “Issuer”), intends to issue debt for (i) the design and reconstruction of road, water and sewer projects; (ii) the design and construction of various street and roadway improvements; and (iii) the cost of professional services rendered in connection with these projects for and within the City of Lancaster, Texas, (the “Project”); and, further intends to make certain capital expenditures with respect to the Project and currently desires and expects to reimburse the capital expenditures with proceeds of such debt; and

WHEREAS, the City of Lancaster desires to design and reconstruct roads and water and sewer projects; and

WHEREAS, the City of Lancaster desires to obtain tax-exempt financing for the cost of such improvements; and

WHEREAS, in conjunction with the costs related to these improvements, the City of Lancaster intends to authorize the issuance of certificates of obligation in an amount not to exceed \$30,000,000.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. In order to comply with the requirements of the United States Treasury Regulations Section 1.150-2, the City Council of the City of Lancaster, Texas (the “Issuer”) intends to reimburse expenditures for roads and water and sewer projects.

- a) Expenditures to be Incurred. The Issuer anticipates incurring Expenditures (the “Expenditures”) for said improvements.
- b) Plan of Finance. The Issuer intends to finance the costs of the above purchase with the proceeds of debt to be issued by the Issuer (the “Borrowing”) and the interest on which is to be excluded from gross income for federal income tax purposes.
- c) Maximum Principal Amount of Debt to be Issued. The maximum principal amount of the Borrowing to be incurred by the Issuer to finance the purchase is \$30,000,000.
- d) Declaration of Official Intent to Reimburse. The Issuer hereby declares its official intent to reimburse itself with the proceeds of the Borrowing for any of the Expenditures incurred by it prior to the issuance of the Borrowing.

SECTION 2. All resolutions of the City of Lancaster heretofore adopted which are in conflict with the provisions of this resolution be, and the same are hereby repealed, and all resolutions of the City of Lancaster not in conflict with the provisions hereof shall remain in full force and effect

SECTION 3. If any article, paragraph, subdivision, clause or provision of this resolution, as hereby amended, be adjudged invalid or held unconstitutional for any reason, such judgment or holding shall not affect the validity of this resolution as a whole or any part or provision thereof, as amended hereby, other than the part so declared to be invalid or unconstitutional.

SECTION 4. This resolution shall take effect immediately from and after its passage, and it is accordingly so resolved.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 25th day of September 2023

ATTEST:

APPROVED:

Sorangel O. Arenas, City Secretary

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney

CITY OF LANCASTER CITY COUNCIL

City Council Special Work Session and Regular Meeting

4.

Meeting Date: 09/25/2023

Policy Statement: This request supports the City Council 2023-2024 Policy Agenda

Goal(s): Sound Infrastructure
Quality Development

Submitted by: Nyliah Acosta, Assistant Director of Development Services

Agenda Caption:

M23-39 Discuss and consider a resolution authorizing the City Manager to execute a development agreement with A&N Asset Management, LLC, relating to site design elements and building materials for the construction of property located north of the intersection of North Houston School Road and West Pleasant Run Road, addressed as 1747 North Houston School Road, City of Lancaster, Dallas County, Texas

Background:

1. **Location and Size:** The property is located north of the intersection of North Houston School Road and West Pleasant Run Road and is approximately 31.29 acres in size.
2. **Current Zoning:** The subject parcel is currently zoned Agricultural Open.
3. **Adjacent Properties:**
North: Agricultural Open (AO) - Single family homes
South: Planned Development (PD); Multi-Family (MF-16) - Apartments
East: Agricultural Open (AO) - Single- family homes
West: Multi-Family (MF-16) - Undeveloped
4. **Comprehensive Plan Compatibility:** The Future Land Use Plan of the Comprehensive Plan designates this site as Suburban Neighborhood. The proposed zoning district is consistent with the Future Land Use Plan of the Comprehensive Plan; however, the proposed density is not consistent with the City Council's vision of 1-2 single-family dwelling units per acre. The applicant proposes a density of 2.88 units per acre.

5. **Case History:**

Date	Body	Action
9/5/23	P&Z	Z23-11 Recommended Approval of AO to Planned Development with SF-2 Uses
6/26/23	CC	Z23-08 Denied AO to SF-4
6/6/23	P&Z	Z23-08 Recommended Denial of AO to SF-4
9/26/22	CC	Z22-15 Denied AO to SF-6
9/6/22	P&Z	Z22-15 Recommended Denial of AO to SF-6

Operational Considerations:

This is a companion item to zoning case Z23-11, a request to rezone the subject property from Agricultural Open District (AO) to Planned Development (PD) with Single-Family Residential (SF-2) uses. The purpose of this development agreement is to ensure the site develops utilizing building materials and amenities identified in the Development Agreement. During the 86th Texas Legislative session, House Bill 2439 passed and was effective as of September 1, 2019 which "prohibits a governmental entity from enforcing a rule, charter provision, ordinance, order, building code or other regulation that prohibits or limits, directly or indirectly, the use or installation of a building product or material in the construction, renovation, maintenance, or other alteration of a residential or commercial building if the building product or material is approved for use by a national model code published within the last three code cycles that applies to the construction, renovation, maintenance, or other alteration of the building..." The development agreement illustrates the City and the Developer agree to the use of proposed building materials for the development depicted in Exhibit D of the Development Agreement, as well as the required amenities, open space, and maintenance. Exhibit D which illustrates the subdivision site plan, development standards, and building renderings.

Public Information Considerations:

This item is being considered at a Regular Meeting of the City Council in accordance with the Texas Open Meetings Act.

Options/Alternatives:

1. City Council may approve the development agreement as presented.
2. City Council may approve the development agreement with changes and state those changes.
3. City Council may deny the development agreement

Recommendation:

Staff recommends approval as presented.

Attachments

Resolution

Development Agreement

Location Map

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS, AUTHORIZING A DEVELOPMENT AGREEMENT (CASE NUMBER M23-39), ATTACHED AND INCORPORATED HERETO AS "EXHIBIT A", BETWEEN THE CITY OF LANCASTER, TEXAS AND A&N ASSET MANAGEMENT, LLC REGARDING BUILDING MATERIALS AND SITE DESIGN ELEMENTS FOR THE DEVELOPMENT OF THE ± 31.29 ACRES PROPERTY APPROXIMATELY 1,282 FEET NORTH FROM THE INTERSECTION OF PLEASANT RUN ROAD AND NORTH HOUSTON SCHOOL ROAD, ADDRESSED AS 1747 NORTH HOUSTON SCHOOL ROAD DESCRIBED AS TRACT 6 OUT OF THE MARADY PARKS SURVEY ABSTRACT NO. 1120, PAGE 345; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEAL CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, A&N Asset Management, LLC are the owner of the ± 31.29 acres tract of land located approximately 1,282 feet north from the intersection of Pleasant Run Road and North Houston School Road, described as Tract 6 out of the Marady Parks Survey, Abstract No. 1120, Page 345, City of Lancaster, Dallas County, Texas.

WHEREAS, the A&N Asset Management, LLC have negotiated and agreed upon building materials, site design elements, amenities, and maintenance as described in "Exhibit C", "Exhibit D" and "Exhibit E" for the Property, and have agreed upon the Development Agreement attached hereto as "Exhibit A" for the property described as "Exhibit B" "Legal Description" all of which are incorporated by reference: and

WHEREAS, the City Council of the City of Lancaster, Texas has determined that execution of the Development Agreement is in the best interest of the citizens of Lancaster, Texas, and desires to authorize the City to enter into the Agreement and to authorize the City Manager to execute the agreement on behalf of the City.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. All of the above recitals are hereby found to be true and correct and are approved and incorporated into the body of this Resolution as if copied in their entirety.

SECTION 2. The Development Agreement pertaining to the property and attached hereto as Exhibit "A," is hereby ratified and approved, and the City Manager is authorized to execute the agreement on behalf of the City.

SECTION 3. This Resolution shall take effect immediately from and after the date of passage and is provided by law.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 25th day of September, 2023.

ATTEST:

APPROVED:

Sorangel O. Arenas, City Secretary

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney

Exhibit A

DEVELOPMENT AGREEMENT

THIS DEVELOPMENT AGREEMENT ("Agreement") is entered into by and between the City of Lancaster, Texas ("City"), and A&N Asset Management, LLC ("Owner") (individually, a "Party") to be effective (the "Effective Date") on the latest date executed by a Party.

WHEREAS, the City is a home-rule municipal corporation, located in Dallas County, Texas, organized and existing under the laws of the State of Texas; and

WHEREAS, Owner is the owner of the ± 31.29 acre property approximately 1,282 north of the intersection of Pleasant Run Road and North Houston School Road, described as Tract 6 out of the Marady Parks Survey, Abstract No. 1120, Page 345, City of Lancaster, Dallas County, Texas, the legal description of which is more particularly described in Exhibit B, attached hereto and incorporated by reference (the "Property"); and

WHEREAS, Owner was requested by the City to specify certain requirements to be followed in the development of the Property; and

WHEREAS, this Agreement seeks to incorporate, in part, the negotiated and agreed upon development standards contained in the zoning ordinance, as may be amended, and/or this Development Agreement, to recognize Owner's reasonable investment-backed expectations in the Property, as may be amended, and as more fully described herein; and

WHEREAS, subject to the terms of this Agreement, Owner agrees and acknowledges that it will construct on the Property structures in accordance with the provisions, standards and notes reflected in this Agreement.

NOW, THEREFORE, in consideration of the foregoing premises, and for other good and valuable consideration the receipt and adequacy of which are hereby acknowledged, the Parties to this Agreement agree as follows:

1. **Design Elements/Development Standards.** Design elements and development standards to be incorporated into the development of the Property, are included in Exhibit C.

2. **Covenant Running with the Land.** The terms, conditions, rights, obligations, benefits, covenants and restrictions of the provisions of this Agreement shall be deemed covenants running with the land, and shall be binding upon and inure to the benefit of the Owner and its heirs, representatives, successors and assigns. This Agreement shall be deemed to be incorporated into each deed and conveyance of the Property or any portion thereof hereafter made by any other owners of the Property, regardless of whether this Agreement is expressly referenced therein.

3. **Applicability of City Ordinances.** Owner shall develop the Property, and

construct all structures on the Property, in accordance with all applicable City ordinances and building/construction code.

4. Default. No Party shall be in default under this Agreement until notice of the alleged failure of such Party to perform has been given (which notice shall set forth in reasonable detail the nature of the alleged failure) and until such Party has been given a reasonable time to cure the alleged failure (such reasonable time determined based on the nature of the alleged failure, but in no event less than thirty (30) days after written notice of the alleged failure has been given). In addition, no Party shall be in default under this Agreement if, within the applicable cure period, the Party to whom the notice was given begins performance and thereafter diligently and continuously pursues performance until the alleged failure has been cured. If either Party is in default under this Agreement, the other Party shall have the right to enforce the Agreement in accordance with applicable law, provided, however, in no event shall any Party be liable for consequential or punitive damages.

5. Venue. This Agreement shall be governed by and construed in accordance with the laws of the State of Texas, and all obligations of the parties created hereunder are performable in Dallas County, Texas. Exclusive venue for any action arising under this Agreement shall lie in Dallas County, Texas.

6. Notice. Any notices required or permitted to be given hereunder (each, a "Notice") shall be given by certified or registered mail, return receipt requested, to the addresses set forth below or to such other single address as either party hereto shall notify the other:

If to the City: The City of Lancaster
 211 N. Henry St.
 P.O. Box 940
 Lancaster, Texas 75146
 Attention: City Manager

If to Owner: A&N Asset Management, LLC
 302 Highpoint Drive
 Murphy, Texas 75094

7. Prevailing Party. In the event any person initiates or defends any legal action or proceeding to enforce or interpret any of the terms of this Agreement, the prevailing party in any such action or proceeding shall be entitled to recover its reasonable costs and attorney's fees (including its reasonable costs and attorney's fees on any appeal).

8. **Entire Agreement.** This Agreement contains the entire agreement between the Parties hereto with respect to development of the Property and supersedes all prior agreements, oral or written, with respect to the subject matter hereof. The provisions of this Agreement shall be construed as a whole and not strictly for or against any Party.

9. **Savings/Severability.** In the event any provision of this Agreement shall be determined by any court of competent jurisdiction to be invalid or unenforceable, the Agreement shall, to the extent reasonably possible, remain in force as to the balance of its provisions as if such invalid provision were not a part hereof.

10. **Binding Agreement.** A telecopied facsimile of a duly executed counterpart of this Agreement shall be sufficient to evidence the binding agreement of each party to the terms herein, including without limitation a scanned copy sent via electronic mail by either party.

11. **Authority to Execute.** This Agreement shall become a binding obligation on the signatories upon execution by all signatories hereto. The City warrants and represents that the individual executing this Agreement on behalf of the City has full authority to execute this Agreement and bind the City to the same. Owner warrants and represents that the individual executing this Agreement on behalf of Owner has full authority to execute this Agreement and bind Owner to the same. The City Council hereby authorizes the City Manager of the City to execute this Agreement on behalf of the City.

12. **Filing in Deed Records.** This Agreement, and any and all subsequent amendments to this Agreement, shall be filed in the deed records of Dallas County, Texas.

13. **Mediation.** In the event of any disagreement or conflict concerning the interpretation of this Agreement, and such disagreement cannot be resolved by the signatories hereto, the signatories agree to submit such disagreement to nonbinding mediation.

14. **Notification of Sale or Transfer; Assignment of Agreement.** Owner shall notify the City in writing of any sale or transfer of all or any portion of the Property, within ten (10) business days of such sale or transfer. Owner has the right (from time to time without the consent of the City, but upon written notice to the City) to assign this Agreement, in whole or in part, and including any obligation, right, title, or interest of Owner under this Agreement, to any person or entity (an "Assignee") that is or will become an owner of any portion of the Property or that is an entity that is controlled by or under common control with Owner. Each assignment shall be in writing executed by Owner and the Assignee and shall obligate the Assignee to be bound by this Agreement. A copy of each assignment shall be provided to the City within ten (10) business days after execution. Provided that the successor owner assumes the liabilities, responsibilities, and obligations of the assignor under this Agreement, the assigning party will be released from any rights and obligations under this Agreement as to the Property that is the subject of such assignment, effective upon receipt of the assignment by the City. No assignment by Owner shall release Owner from any liability that resulted from an act or omission by

Owner that occurred prior to the effective date of the assignment. Owner shall maintain true and correct copies of all assignments made by Owner to Assignees, including a copy of each executed assignment and the Assignee's Notice information.

15. Sovereign Immunity. The Parties agree that the City has not waived its sovereign immunity from suit by entering into and performing its obligations under this Agreement.

16. Effect of Recitals. The recitals contained in this Agreement: (a) are true and correct as of the Effective Date; (b) form the basis upon which the Parties negotiated and entered into this Agreement; (c) are legislative findings of the City Council; and (d) reflect the final intent of the Parties with regard to the subject matter of this Agreement. In the event it becomes necessary to interpret any provision of this Agreement, the intent of the Parties, as evidenced by the recitals, shall be taken into consideration and, to the maximum extent possible, given full effect. The Parties have relied upon the recitals as part of the consideration for entering into this Agreement and, but for the intent of the Parties reflected by the recitals, would not have entered into this Agreement.

17. Consideration. This Agreement is executed by the parties hereto without coercion or duress and for substantial consideration, the sufficiency of which is forever confessed.

18. Counterparts. This Agreement may be executed in a number of identical counterparts, each of which shall be deemed an original for all purposes. A facsimile signature will also be deemed to constitute an original.

19. Exactions/Infrastructure Costs. Owner has been represented by legal counsel in the negotiation of this Agreement and been advised or has had the opportunity to have legal counsel review this Agreement and advise Owner, regarding Owner's rights under Texas and federal law. Owner hereby waives any requirement that the City retain a professional engineer, licensed pursuant to Chapter 1001 of the Texas Occupations Code, to review and determine that the exactions required by the City are roughly proportional or roughly proportionate to the proposed development's anticipated impact. Owner specifically reserves its right to appeal the apportionment of municipal infrastructure costs in accordance with § 212.904 of the Texas Local Government Code; however, notwithstanding the foregoing, Owner hereby releases the City from any and all liability under § 212.904 of the Texas Local Government Code, as amended, regarding or related to the cost of those municipal infrastructure requirements imposed by this Agreement.

20. Rough Proportionality. Owner hereby waives any federal constitutional claims and any statutory or state constitutional takings claims under the Texas Constitution with respect to roadway or infrastructure requirements imposed by this Agreement. Owner and the City further agree to waive and release all claims one may have against the other related to any and all rough proportionality and individual determination requirements mandated by the United States Supreme Court in *Dolan v. City of Tigard*, 512 U.S. 374 (1994), and its progeny, as well as any other requirements of a nexus between development conditions and the projected impact of the terms of this

Agreement, with respect to roadway or infrastructure requirements imposed by this Agreement.

21. Waiver of Texas Government Code § 3000.001 et seq. With respect to any structures or improvements constructed on the Property pursuant to this Agreement, Owner hereby waives any right, requirement or enforcement of Texas Government Code §§ 3000.001-3000.005, effective as of September 1, 2019.

22. Time. Time is of the essence in the performance by the Parties of their respective obligations under this Agreement.

23. Third Party Beneficiaries. Nothing in this Agreement shall be construed to create any right in any third party not a signatory to this Agreement, and the Parties do not intend to create any third-party beneficiaries by entering into this Agreement.

24. Amendment. This Agreement shall not be modified or amended except in writing signed by the Parties. A copy of each amendment to this Agreement, when fully executed and recorded, shall be provided to each Party, Assignee and successor owner of all or any part of the Land; however, the failure to provide such copies shall not affect the validity of any amendment.

25. Miscellaneous Drafting Provisions. This Agreement shall be deemed drafted equally by all Parties hereto. The language of all parts of this Agreement shall be construed as a whole according to its fair meaning, and any presumption or principle that the language herein is to be construed against any Party shall not apply.

IN WITNESS WHEREOF, the parties hereto have caused this document to be executed as of the date referenced herein.

CITY:

THE CITY OF LANCASTER, TEXAS

By: _____

Name: Opal Mauldin-Jones

Title: City Manager, City of Lancaster

STATE OF TEXAS)

)

COUNTY OF DALLAS)

 This instrument was acknowledged before me on the ____day
of _____, 2023, by Opal Mauldin-Jones City Manager of the City of
Lancaster, Texas, on behalf of the City of Lancaster, Texas.

Notary Public, State of Texas

My Commission Expires: _____

OWNER:

A&N Asset Management, LLC

STATE OF TEXAS)
COUNTY OF DALLAS)

By: _____
Name:
Title: General Partner of
A&N Asset
Management, LLC

This instrument was acknowledged before me on the _____
day of _____, 2023, by _____, A&N Asset Management,
LLC known to be the person whose name is subscribed to the foregoing instrument,
and that he executed the same on behalf of and as the act of A&N Asset
Management, LLC.

Notary Public, State of Texas
My Commission Expires: _____

Exhibit B
Legal Description

BEING a tract of land situated in the Marady Parks Survey, Abstract Number 1120, Dallas County, Texas, and being all of that tract of land described in deed to Patsy Gale O'Rear Brundage, as recorded in Instrument Number 201000284280 of the Official Public records of Dallas County, Texas (O.P.R.D.C.T.), and being more particularly described by metes and bounds as follows:

BEGINNING at a 518-inch iron rod with a cap stamped "TXDOT" found on the west right-of-way line of North Houston School Road (a variable width public right-of-way) for the southeast corner of the herein described tract and the southwest corner of that tract of land described in deed to Dallas County, as recorded in Instrument Number 20080166707, O.P.R.D.C.T. said corner being on the north line of Lot 1, Block A of Primrose Houston School Road Addition, an addition to the City of Dallas as recorded in Volume 2004068, Page 176, O.P.R.D.C.T.;

THENCE South 88 degrees 36 minutes 38 seconds West, departing said west right-of way line and along the common north line of said Lot 1 and south line of the herein described tract, passing at a distance of 1,054.99 the northwest corner of said Lot 1, and continuing along the south line of the herein described tract, in all a total cumulative distance of 1,827.83 feet to a 112-inch iron rod with cap stamped "Pacheco-Koch" found for the southwest corner of the herein described tract, said corner being on the east line of that tract of land described in deed to SLJ Company, as recorded in Volume 98149, Page 1370 of the Deed Records of Dallas County, Texas;

THENCE North 01 degrees 17 minutes 44 seconds West, along the common said east line and west line of the herein described tract, a distance of 749.98 feet to a 1-inch iron pipe found for the northwest corner of the herein described tract;

THENCE North 89 degrees 08 minutes 39 seconds East, along the north line of the herein described tract, a distance of 1,853.78 feet to a 112-inch iron rod with a yellow plastic cap stamped "GEONAV" (herein after referred to as "with cap") set for the point of curvature of a non-tangent circular curve to the having a radius of 7160.00 feet, whose chord bears South 01 degrees 09 minutes 50 seconds West, a distance of 273.02 feet, said corner being the common northeast corner of the herein described tract and northwest corner of said Dallas County tract, said corner also being on the aforementioned west right-of-way line of North Houston School Road;

THENCE Southerly, along the common said east line and said west right-of-way line and along said curve, through a central angle of 02 degrees 11 minutes 06 seconds, an arc distance of 273.04 feet to a 1/2-inch iron rod with cap set for the point of reverse curvature of a tangent circular curve to the left having a radius of 7,259.99 feet, whose chord bears South 00 degrees 40 minutes 31 seconds West, a distance of 400.64 feet; 9

THENCE Southerly, continuing along said common line and along said curve, through a central angle of 03 degrees 09 minutes 44 seconds, an arc distance of 400.69 feet to a 1/2-inch iron rod with cap set for corner;

THENCE South 00 degrees 54 minutes 21 seconds East, continuing along said common line, a distance of 59.59 feet to the POINT OF BEGINNING AND CONTAINING 1,363,170 square feet or 31.29 acres of land, more or less.

Exhibit C
Design Elements/Development Standards

In consideration for the approval of the requested zoning change to a Planned Development (PD) (Z23-11), the developer includes the following design elements/development standards to correspond to the approval from the Planning and Zoning Commission and City Council, along with other items as listed below:

Design Elements/Development Standards

1. **Development:** The development of the Property will be in accordance with allowable uses in the SF-2 base zoning district.
2. **Site Plan:** The development shall generally conform to the Site Plan as shown in Exhibit D.
3. **Setbacks:** All dimensional setbacks will follow the SF-2 standards.
4. **Garage Placement:** Garage placement will follow the Regulating Plan in Exhibit E. Thirteen lots will be front loaded; the remaining 77 lots will be rear loaded.
5. **Dwelling Size:** The minimum living area size for any residence shall be 3,000 square feet.
6. **Architectural Style:** Structures shall be of a Contemporary or Modern style. Structures shall substantially conform with the renderings provided in Exhibit D in terms of building materials, and architectural features.
7. **Amenities:** Developer shall provide a clubhouse with a minimum of 2,500 square feet, a swimming pool, playground, tennis court and a trailhead as detailed by the City's Trails Master Plan.
8. **Open Space:** All common areas/open spaces will include landscaping and irrigation. All landscape, irrigation, screening walls and entry features will be submitted, approved, installed, and constructed in accordance with prevailing City standards. All trees and plant materials shall be selected from the approved planting list in the zoning ordinance.
9. **HOA Standards:** The HOA shall establish and enforce deed restrictions to include language governing if a dwelling is damaged/and or beyond repair any/all construction shall provide similar materials as shown in Exhibit D renderings.

Maintenance

1. Landscape Maintenance:

- a. The HOA or PID shall be jointly and severally responsible for the maintenance of all landscaping in common space and open areas. The HOA or PID is responsible for regular mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to the maintenance of landscaping.

- b. All required landscaping shall be maintained in a neat and orderly manner at all times. Landscaped areas shall be kept free of trash, litter, weeds and other such material or plants not a part of the landscaping. All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- c. Failure to maintain any landscape area in compliance with this section is considered a violation of this Ordinance and shall be subject to penalties of this Ordinance. If at any time the approved landscaping is found to be in nonconformance to the standards and criteria of this section, the building official or designee shall issue notice to the owner, HOA or PID citing the violation and describing the action required to comply with this section.

2. Amenity Maintenance:

- a. The HOA or PID shall be responsible for the maintenance and upkeep of all amenity facilities (clubhouse, swimming pool, playground, tennis court and a trailhead, to include: landscaping, fencing, building repair/maintenance and trash pickup.

Exhibit D

LEGAL DESCRIPTION:

BEING a tract of land situated in the Mereda Parks Survey, Abstract Number 1120, Dallas County, Texas, and being all of that tract of land described in deed to Patsy Gale O'Rear Brundage, as recorded in Instrument Number 201000284280 of the Official Public records of Dallas County, Texas (O.P.R.D.C.T.), and being more particularly described by metes and bounds as follows:

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THENCE South 88 degrees 36 minutes 38 seconds West, departing said west right-of-way line and along the common north line of said Lot 1 and south line of the herein described tract, passing at a distance of 1,054.99 the northwest corner of said Lot 1, and continuing along the south line of the herein described tract, in all a total cumulative distance of 1,827.83 feet to a 112-inch iron rod with cap stamped "Pacheco-Koch" found for the southwest corner of the herein described tract, said corner being on the east line of that tract of land described in deed to SLJ Company, as recorded in Volume 98149, Page 1370 of the Deed Records of Dallas County, Texas;

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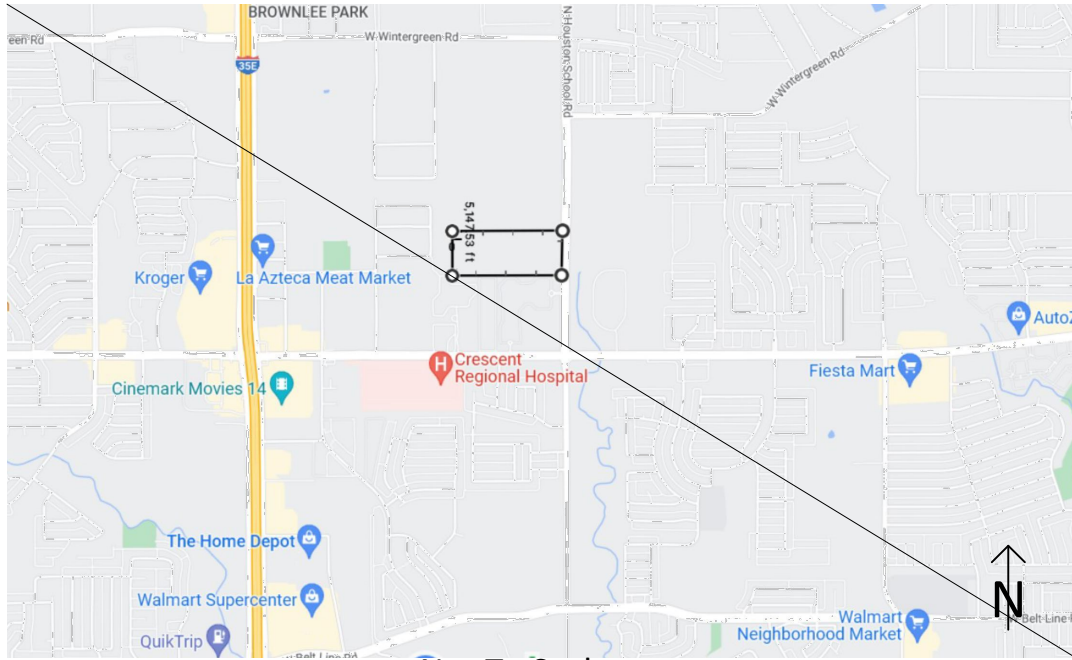
THENCE North 89 degrees 08 minutes 39 seconds East, along the north line of the herein described tract, a distance of 1,853.78 feet to a 112-inch iron rod with a yellow plastic cap stamped "GEONAV" (herein after referred to as "with cap") set for the point of curvature of a non-tangent circular curve to the having a radius of 7160.00 feet, whose chord bears South 01 degrees 09 minutes 50 seconds West, a distance of 273.02 feet, said corner being the common northeast corner of the herein described tract and northwest corner of said Dallas County tract, said corner also being on the aforementioned west right-of-way line of North Houston School Road;

THENCE Southerly, along the common said east line and said west right-of-way line and along said curve, through a central angle of 02 degrees 11 minutes 06 seconds, an arc distance of 273.04 feet to a 1/2-inch iron rod with cap set for the point of reverse curvature of a tangent circular curve to the left having a radius of 7,259.99 feet, whose chord bears South 00 degrees 40 minutes 31 seconds West, a distance of 400.64 feet;

THENCE Southerly, continuing along said common line and along said curve, through a central angle of 03 degrees 09 minutes 44 seconds, an arc distance of 400.69 feet to a 1/2-inch iron rod with cap set for corner;

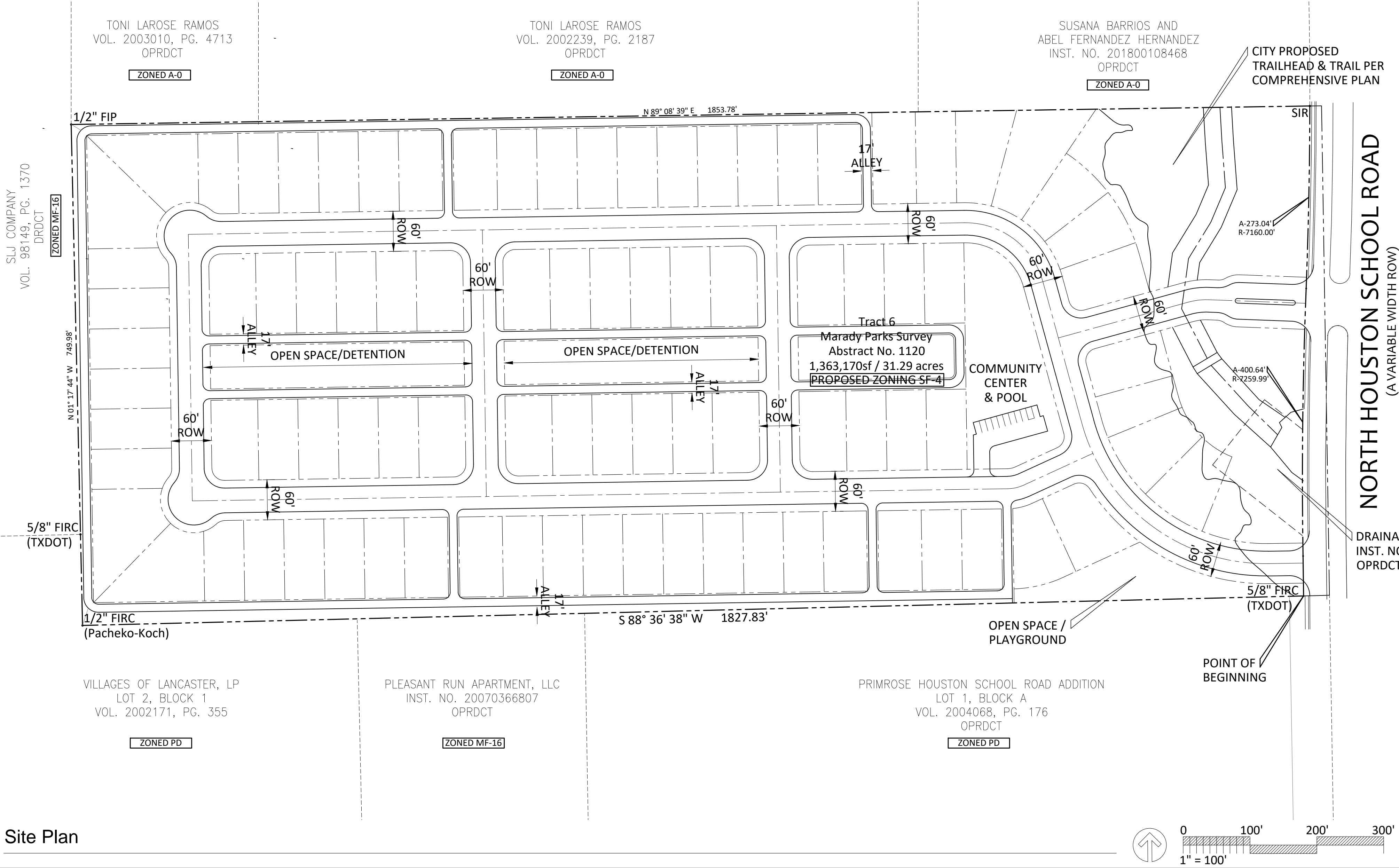
THENCE South 00 degrees 54 minutes 21 seconds East, continuing along said common line, a distance of 59.59 feet to the POINT OF BEGINNING AND CONTAINING 1,363,170 square feet or 31.29 acres of land, more or less.

VICINITY MAP



SUMMARY TABLE		
	ALLOW/REQD	PROVIDED
ZONING	A	PD (SF-2 Base)
USE	Vacant	Single Family
LOT AREA	1,363,170 sq.ft. / 31.29 acres	
R.O.W. AREA	237,431 sq.ft. / 5.45 acres	
ALLEY AREA	117,779 sq.ft. / 2.70 acres	
OPEN SPACE AREA	284,255 sq.ft. / 6.53 acres	
REMAINING AREA	723,705 sq.ft. / 16.61 acres	
NUMBER OF HOUSE LOTS	90	
LINKS/NODES	1.5 ratio	12/8 (1.5 ratio)
DENSITY	2.88 units per acre	
LOT SIZE RANGE	6,240sf - 13,301sf	
D.U. SIZE RANGE	Min 3,000 sf - 4,000sf	

- NOTES:
1. ACCORDING TO MAP NO. 48113C0635K, THIS PROPERTY LIES IN ZONE "X" AND DOES NOT LIE WITHIN THE 100 YEAR FLOOD ZONE.
 2. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW, DOING SO IS SUBJECT TO FINES AND THE WITHHOLDING OF UTILITIES AND BUILDING PERMITS.



1 Site Plan



210 Industrial Drive, Forney, TX 75126
p: 817-448-5034

Prj. #20072 ISSUE RECORD		
DATE:	ISSUED FOR:	COMMENTS:
Drawing File: 1747NHOUSTONSCHOOL-230731_LDWG		
Confidential/Copyright (c) NMECM 2022		

STAMP:

LEGEND:

SIR
FIRC
P.O.B.
R.O.W.
C.M.
W.E.
Basis of Bearings
Drain. & Det.

Set Iron Rod (w/ Cap)
Found Iron Rod (w/ Cap)
Point Of Beginning
Right-Of-Way
Controlling Monument
Water Easement
NAD 83
Drainage and Detention

CONTACTS:

OWNER OF RECORD:
A&N Asset Management
302 Highpoint Drive
Murphy, TX 75094
P: 817-448-5034
E: ihpir@hotmail.com

SURVEYOR:
GEONAV
3410 Midcourt Road
Suite 110
Carrollton, TX 75006
P: 972-243-2409

APPLICANT:
NME Construction Mgmt.
210 Industrial Drive
Forney, TX 75126
P: 817-448-5034
E: imtiazi@nmecm.com

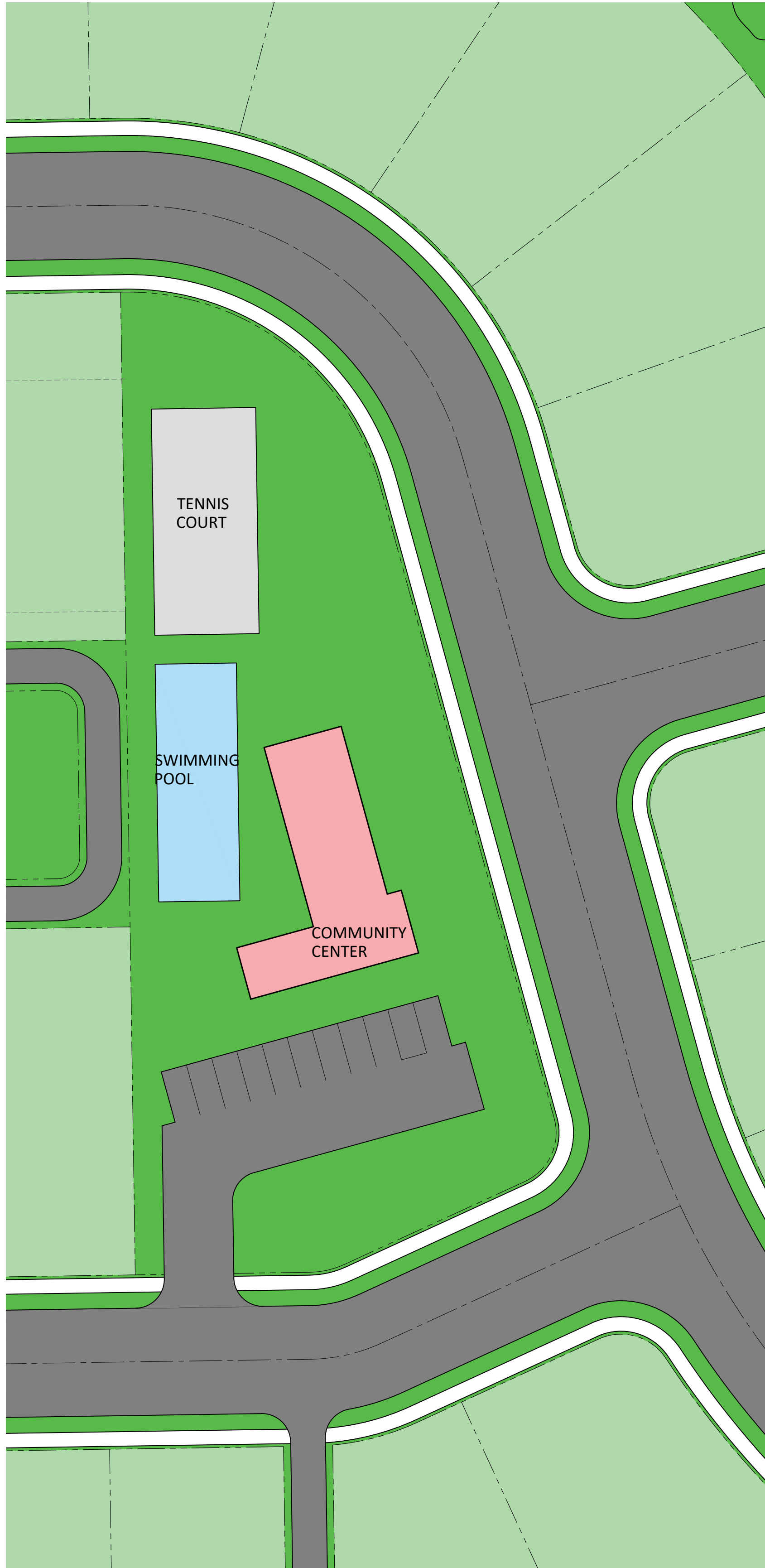
Date: 07-31-2023
Scale: 1" = 100'
Drawn By: N. P. K.
Page: 1 of 1

City Signature Block for Tract 6, Marady Parks Survey
Abstract No. 1120 - 31.29acres / 1,363,170sf

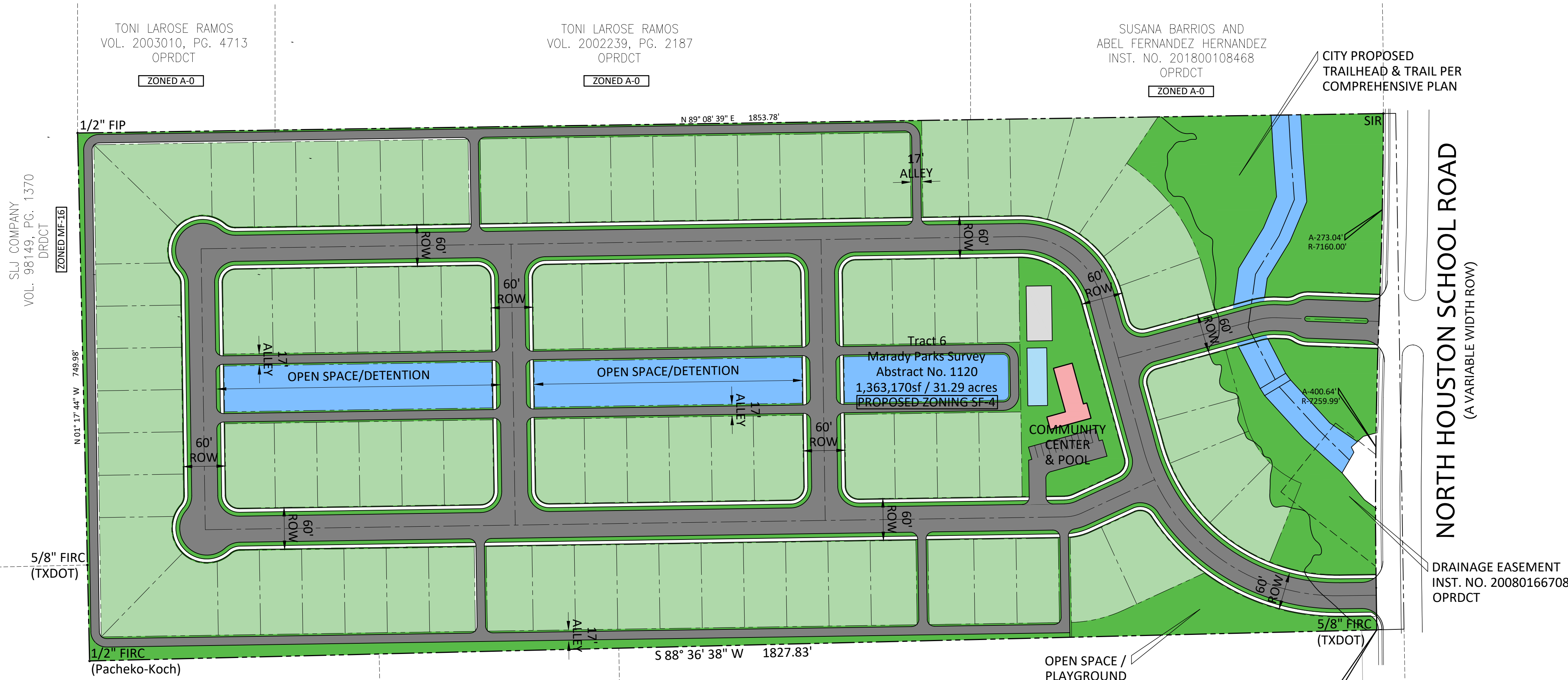
Case #: Z23-11

Site Plan
Tract 6, Marady Parks Survey,
Abstract No. 1120, Pg 345
1747 North Houston School Road
Lancaster, Dallas County, TX 75146

Exhibit D



② ENLARGED PLAN: Community Center



① OPEN SPACE / LANDSCAPING PLAN

Prj. #20072 ISSUE RECORD		
DATE:	ISSUED FOR:	COMMENTS:

STAMP:

LEGEND:
SIR
FIRC
P.O.B.
R.O.W.
C.M.
W.E.
Basis of Bearings
Drain. & Det.

Set Iron Rod (w/ Cap)
Found Iron Rod (w/ Cap)
Point Of Beginning
Right-Of-Way
Controlling Monument
Water Easement
NAD 83
Drainage and Detention

CONTACTS:
OWNER OF RECORD:
A&N Asset Management
302 Highpoint Drive
Murphy, TX 75094
P: 817-448-5034
E: ihpir@hotmail.com

SURVEYOR:
GEONAV
3410 Midcourt Road
Suite 110
Carrollton, TX 75006
P: 972-243-2409

APPLICANT:
NME Construction Mgmt.
210 Industrial Drive
Forney, TX 75126
P: 817-448-5034
E: imtiaaz@nmecm.com

Date: 02-10-2023
Scale: 1" = 100'
Drawn By: N. P. K.
Page: 23
1 of 1

Case #: Z23-11
Site Plan
Tract 6, Marady Parks Survey,
Abstract No. 1120, Pg 345
1747 North Houston School Road
Lancaster, Dallas County, TX 75146



MYA CITI HOME LANCASTER

Exhibit D



Exhibit D



Exhibit D



MYA CITI HOME LANCASTER

Exhibit D





MYA CITI HOME LANCASTER

Exhibit D



Exhibit D



MYA CITI HOME LANCASTER

Exhibit D







MYA CITI HOME LANCASTER

Exhibit D



MYA CITI HOME LANCASTER



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Exhibit D



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Exhibit D



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Exhibit D



MYA CITI HOME LANCASTER





MYA CITI HOME LANCASTER

Exhibit D





MYA CITI HOME LANCASTER

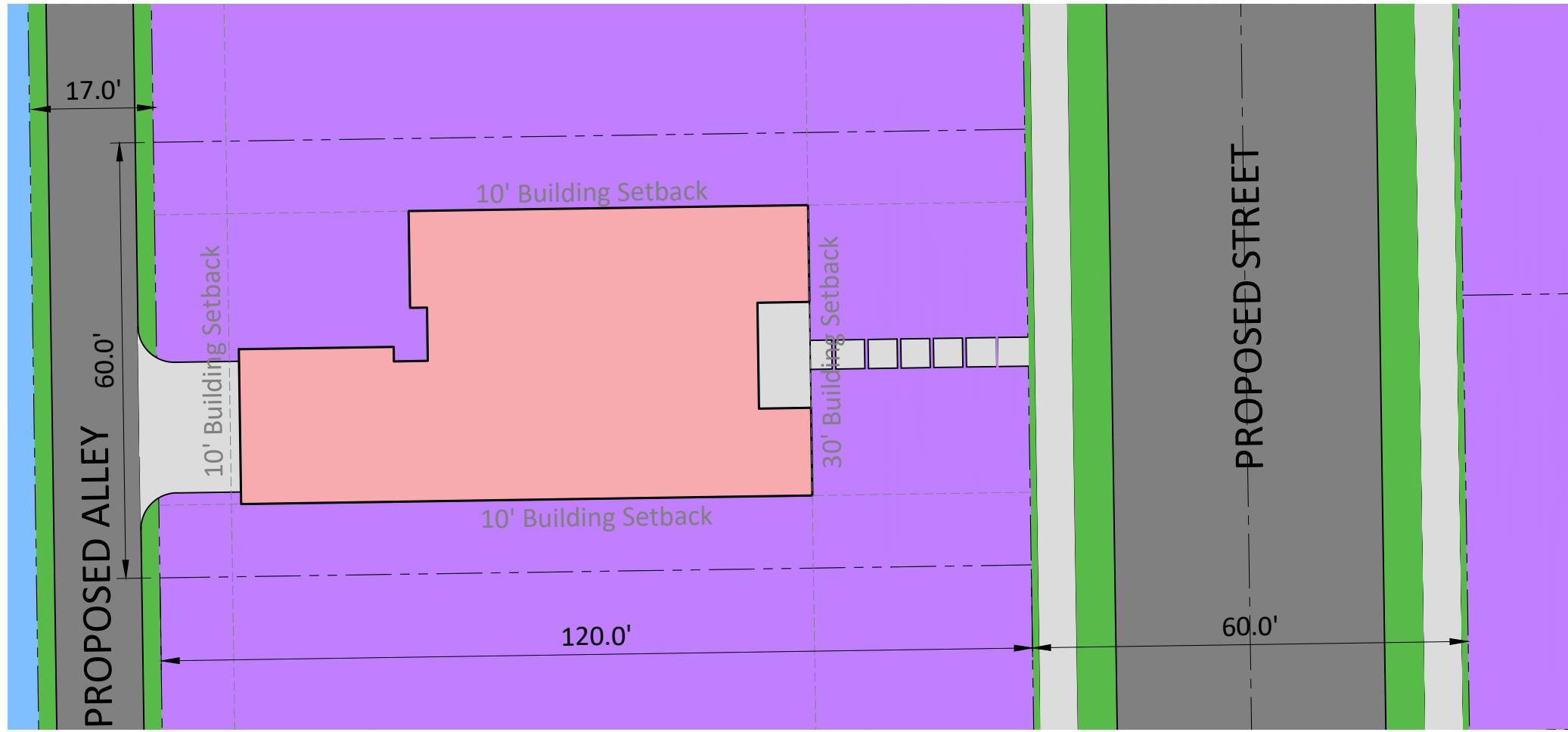


MYA CITI HOME LANCASTER

Exhibit D



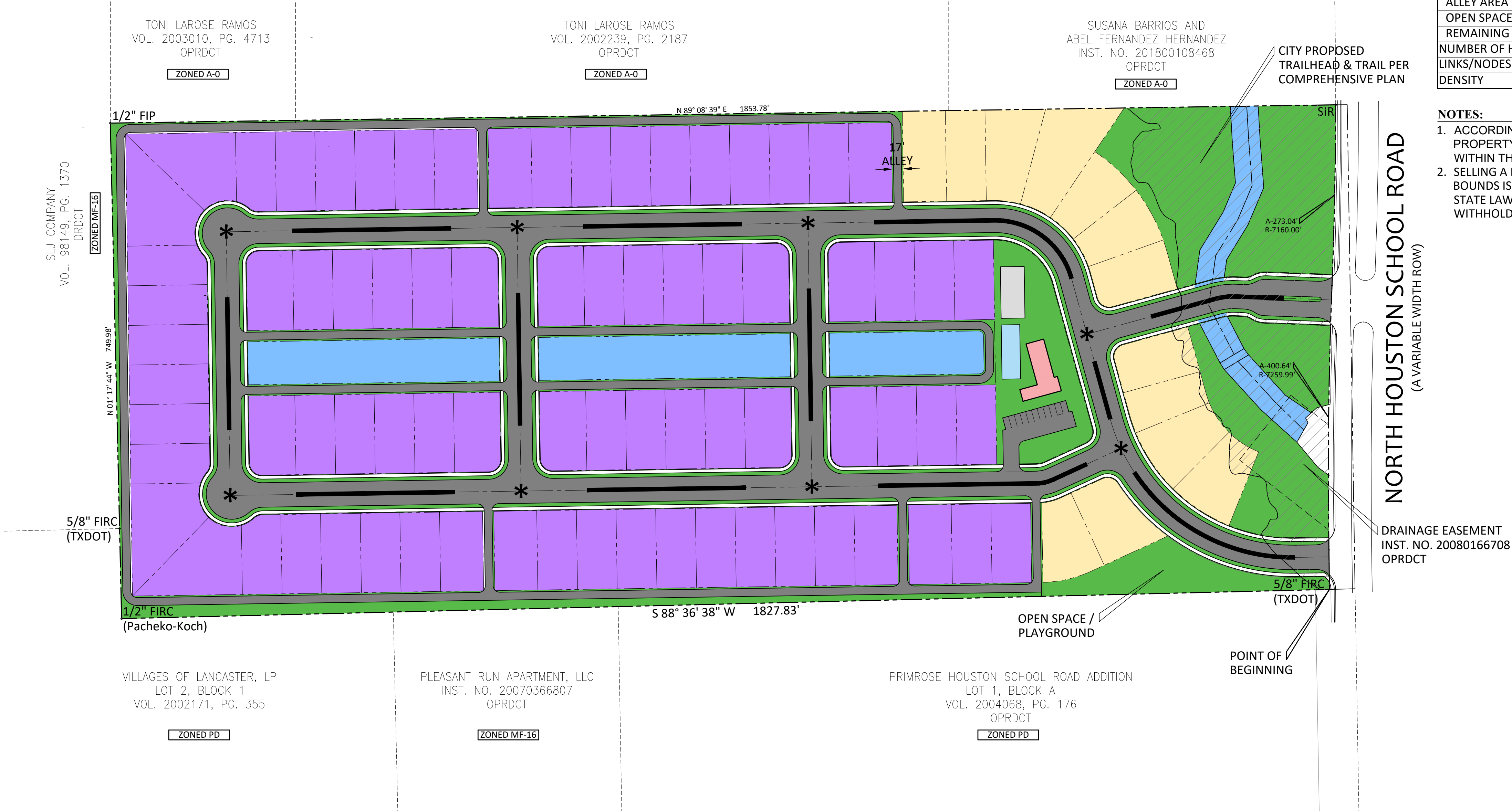
Exhibit E



③ ENLARGED PLAN: Typical Lot

SUMMARY TABLE		
	ALLOW/REQD	PROVIDED
ZONING	A	PD (SF-2 Base)
USE	Vacant	Single Family
LOT AREA	1,363,170 sq.ft. / 31.29 acres	
R.O.W. AREA	237,431 sq.ft. / 5.45 acres	
ALLEY AREA	117,779 sq.ft. / 2.70 acres	
OPEN SPACE AREA	284,255 sq.ft. / 6.53 acres	
REMAINING AREA	723,705 sq.ft. / 16.61 acres	
NUMBER OF HOUSE LOTS	90	
LINKS/NODES	1.5 ratio	12/8 (1.5 ratio)
DENSITY		2.88 units per acre

- NOTES:**
1. ACCORDING TO MAP NO. 48113C0635K, THIS PROPERTY LIES IN ZONE "X" AND DOES NOT LIE WITHIN THE 100 YEAR FLOOD ZONE.
 2. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW, DOING SO IS SUBJECT TO FINES AND THE WITHHOLDING OF UTILITIES AND BUILDING PERMITS.



① REGULATING PLAN

LEGEND	
SINGLE FAMILY RESIDENCE (Front Loaded Garage)	Yellow
SINGLE FAMILY RESIDENCE (Rear Loaded Garage)	Purple
OPEN SPACE (General Location)	Green
ZONE AE FLOODPLAIN	Blue
LINK	Black line
NODE	Black asterisk

Prj. #20072 ISSUE RECORD		
DATE:	ISSUED FOR:	COMMENTS:

STAMP:

LEGEND:
SIR
FIRC
P.O.B.
R.O.W.
C.M.
W.E.
Basis of Bearings
Drain. & Det.

Set Iron Rod (w/ Cap)
Found Iron Rod (w/ Cap)
Point Of Beginning
Right-Of-Way
Controlling Monument
Water Easement
NAD 83
Drainage and Detention

CONTACTS:
OWNER OF RECORD:
A&N Asset Management
302 Highpoint Drive
Murphy, TX 75094
P: 817-448-5034
E: ihpir@hotmail.com

SURVEYOR:
GEONAV
3410 Midcourt Road
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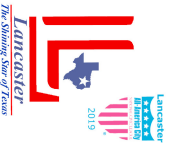
Date: 07-31-2023
Scale: 1" = 100'
Drawn By: N. P. K.
Page: 22
1 of 1

Case #: Z23-11
Site Plan
Tract 6, Marady Parks Survey,
Abstract No. 1120, Pg 345
1747 North Houston School Road
Lancaster, Dallas County, TX 75146

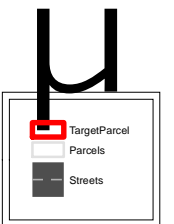
City of Lancaster

1747 N Houston School Rd

Zoned: AO

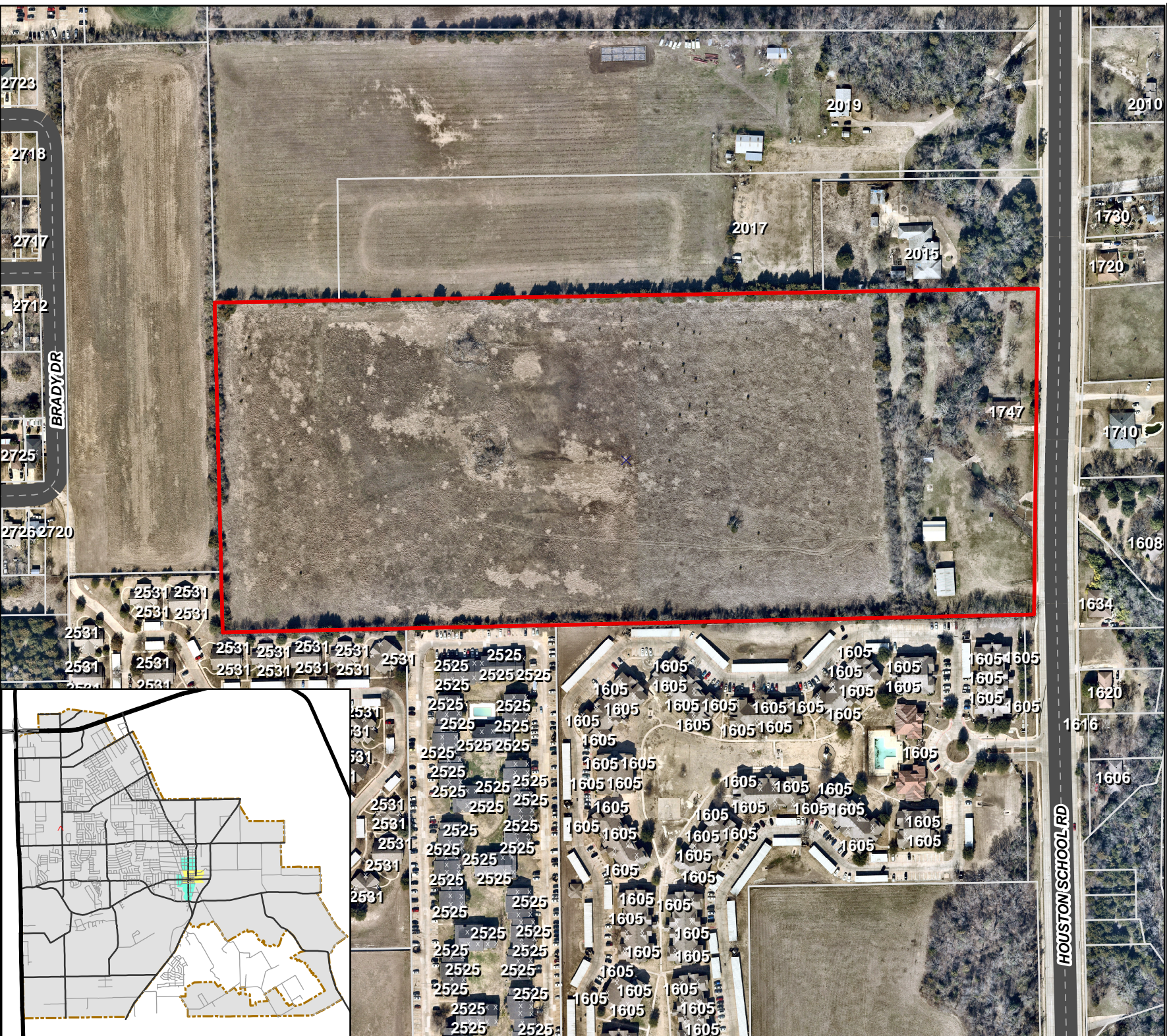


DISCLAIMER / LIMITATION OF LIABILITY
The information on this map is provided by the City of Lancaster as a public service. We are continually updating the data in order to provide the most accurate information possible. Such information is intended for reference only. The City of Lancaster does not guarantee the accuracy of the information, data or maps. All information is provided "As-Is" without warranty of any kind.



0 70 140 280 Feet

Date: 8/15/2022



CITY OF LANCASTER CITY COUNCIL

City Council Special Work Session and Regular Meeting

5.

Meeting Date: 09/25/2023

Policy Statement: This request supports the City Council 2023-2024 Policy Agenda

Goal(s): Sound Infrastructure
Quality Development

Submitted by: Vicki D. Coleman, Director of Development Services

Agenda Caption:

M23-37 Conduct a public hearing and consider a special exception request to the 500-foot driveway spacing requirement outlined in Section 1-04 (D) (2) (d) of the General Construction Design Manual to allow a 425-foot driveway spacing on the property addressed as 2116 N. Lancaster Hutchins known as Lot 1R, Block A, out of the Bilco Brick 2 Addition, City of Lancaster, Dallas County, Texas.

Background:

1. **Location and Size:** The property is located east of the intersection of North Lancaster Hutchins Road and Industrial Street addressed as 2611 North Lancaster Hutchins Road. The property is 17.73 acres in size.
2. **Current Zoning:** The subject property is zoned Light Industrial (LI) Lanport Overlay.
3. **Adjacent Properties:**
North: Light Industrial (LI) Lanport Overlay; Logistics Port PD - Undeveloped
South: Light Industrial (LI) Lanport Overlay; Logistics Port PD - Undeveloped and Warehouses
East: Planned Development (PD) Lanport Overlay - Undeveloped
West: Light Industrial (LI) Lanport Overlay -Warehouses and Industrial use
4. **Comprehensive Plan Compatibility:** The Future Land Use Plan of the Comprehensive Plan designates the site as Logistics and Distribution. The current manufacturing use is compatible with the Future Land Use Plan of the Comprehensive Plan.

5. **Case History:**

Date	Body	Action
01/02/2008	CC	Lanport Overlay Adopted by CC

Operational Considerations:

The property is currently developed as Bilco Brick, a building material manufacturer.

The applicant is requesting an exception to the driveway spacing requirement of the General Design Manual. Section 1-04 Street Systems, Subsection D.(2) Commercial/Industrial Driveway Approaches (d) states that, "on streets classified as Arterials, minimum spacing shall be at least five hundred (500') feet. This spacing criteria shall be applied irrespective of the number of individual properties located within the intervening distance".

The site currently has two existing full access driveways on N. Lancaster Hutchins Rd. The applicant is proposing a new exit only driveway towards the north property line, being 425-feet north of the existing driveway. A traffic memo has been provided. The memo states the daily truck volume in and out of the site consists of 50 trucks carrying raw materials or bricks. With the construction of the new proposed exit only driveway, there are no additional trucks entering or exiting the site. However, the internal distance between trucks exiting the site will increase.

The new driveway will not negatively impact Lancaster Hutchins Rd. Additionally, driveway access plans will be submitted for Engineering approval to ensure design standards comply with right turn only and no left turn access.

Public Information Considerations:

This item is being considered at a Regular Meeting of the City Council in accordance with the Texas Open Meetings Act. On September 10, 2023, a notice for this public hearing appeared in the Focus Daily Newspaper. Staff mailed notifications of this public hearing to property owners within 200-feet of the subject site. There were no letters received in support or opposition.

Options/Alternatives:

1. The City Council may approve the ordinance, as presented.
2. The City Council may approve the ordinance with changes and state those changes.
3. The City Council may deny the ordinance, as presented.

Recommendation:

Staff recommends approval.

Attachments

Ordinance

Location Map

Exhibit A

Traffic Memo

ORDINANCE NO.

AN ORDINANCE OF THE CITY OF LANCASTER, TEXAS GRANTING ONE EXCEPTION: (M23-37) TO THE SPACING REQUIREMENT FOR THE FOLLOWING: FROM THE CITY'S GENERAL DESIGN MANUAL TO REDUCE THE REQUIRED 500 FEET DRIVEWAY SPACING REQUIREMENT PER SECTION 1-04 (D) (2)(D) STREET SYSTEM OF THE GENERAL DESIGN MANUAL TO NOT LESS THAN 425 FEET. THE DRIVEWAY WILL BE A RIGHT OUT EXIT ONLY DRIVEWAY. THIS EXCEPTION APPLIES TO THE PROPERTY ADDRESSED AS 2116 N. LANCASTER HUTCHINS ROAD, THE PROPERTY IS 17.546 ACRES IN SIZE, KNOWN AS LOT 1R, BLOCK A, OF THE BILCO BRICK ADDITION, VOLUME 94218 PAGE 1498, CITY OF LANCASTER, DALLAS COUNTY, TEXAS, BEING IN SUBSTANTIAL CONFORMANCE TO THE EXHIBIT ATTACHED HERETO AND INCORPORATED HEREIN FOR ALL PURPOSES; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000) DOLLARS FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Lancaster, Texas has been presented with an exception of the General Design Manual to reduce the driveway spacing requirement of 500 feet in Section 1-04 (D)(2)(d) to allow the driveway to be not less than 425 feet away from the nearest driveway, such driveway is to be a right out exit only driveway onto N. Lancaster Hutchins Road; and

WHEREAS, the City Council of the City of Lancaster, in compliance with the laws of the State of Texas with reference to the granting of the one (1) exception, has given the requisite notices by publication and otherwise, and has held due hearings and afforded a full and fair hearing to all persons interested; and

WHEREAS, the City Council of the City of Lancaster, Texas finds that it is in the best interest to approve such exception in conformance with the attached exhibit.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the City of Lancaster, Texas hereby grants an exception to: allow and reduce the driveway spacing requirement of 500 feet in General Design Manual Section 1-04 (D) (2) (d) to be not less than 425 feet away from the nearest driveway, and that such driveway to be a right turn exit only driveway; this exception is to be in substantial compliance with Exhibit A, attached hereto. In the event that Exhibit A conflicts with the language of this Ordinance, this Ordinance shall control.

SECTION 2. Except as expressly amended herein; M23-37, the Lancaster Development Code of the City of Lancaster, Texas, as amended, shall remain in full force and effect, save and except as amended by this ordinance.

SECTION 3. If any article, paragraph, subdivision, clause or provision of this ordinance or the Lancaster Development Code be adjudged invalid or held unconstitutional for any reason, such judgment or holding shall not affect the validity of this ordinance as a whole or any part or provision thereof, or of the Lancaster Development Code, other than the part so declared to be invalid or unconstitutional.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance or the Lancaster Development Code of the City of Lancaster, Texas, shall be deemed guilty of a misdemeanor and, upon conviction in the municipal court of the City of Lancaster, Texas, shall be subject to a fine not to exceed the sum of Two Thousand (\$2,000.00) dollars for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. This ordinance shall take effect immediately from and after its passage and the publication of the caption as the law and charter in such cases provide.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 25th day of September, 2023.

ATTEST:

Sorangel O. Arenas, City Secretary

APPROVED:

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney

City of Lancaster

2116 N. Lancaster Hutchins Rd
Zoned LI



DISCLAIMER / LIMITATION OF LIABILITY
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TO: Danny Douthit, Douthit Contracting

FROM: Scott Israelson

DATE: 7 September 2023

RE: **Minor Traffic Study**
Bilco Brick Addition
Lancaster, TX

Introduction

Bilco Brick is a building materials manufacturing plant in Lancaster, Texas. The site is located on the east side of Lancaster Hutchins Road south of Industrial Street.

The site has two driveways (hereafter called runways) to Lancaster Hutchins Road. The proposed addition would construct a new exit-only runway near the north property line. The City of Lancaster requires 500 feet between driveways so this new construction requires an exception. As part of the exception process, the City required this traffic study to examine how the new runway would impact Lancaster Hutchins Road.

Current Operations

Figure 1 shows current daily truck volumes in and out of the site. The site sees approximately 50 trucks every day. The site sees two types of trucks - Raw Materials and Bricks.

Raw Material trucks enter the site at Runway B and exit the site at Runway A. There are approximately 25 Raw Material trucks per day with 67% to/from the south and 33% to/from the north.

Brick trucks currently also enter the site at Runway B and exit the site at Runway A. There are approximately 25 Brick trucks per day with 97% to/from the north.

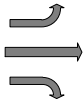
Build-Out Operations

Figure 2 shows daily truck volumes in and out of the site after construction of the new runway.

Raw Materials trucks will continue operations with no changes. Brick trucks will continue to enter the site at Runway B but will exit the site at Runway C (exit only). There will be no difference in the number of trucks, but the distances between trucks exiting the site will be increased. This increase in driveway spacing will be beneficial to traffic on Lancaster Hutchins Road.

Please feel free to contact me with any questions at 972.358.6383 or by email at scott@traffic-impact.com.

LEGEND



Turn
movement

XX

Daily Trucks



NOT TO SCALE

Runway B

32

18

Avd &
driveway

Runway A

32
18

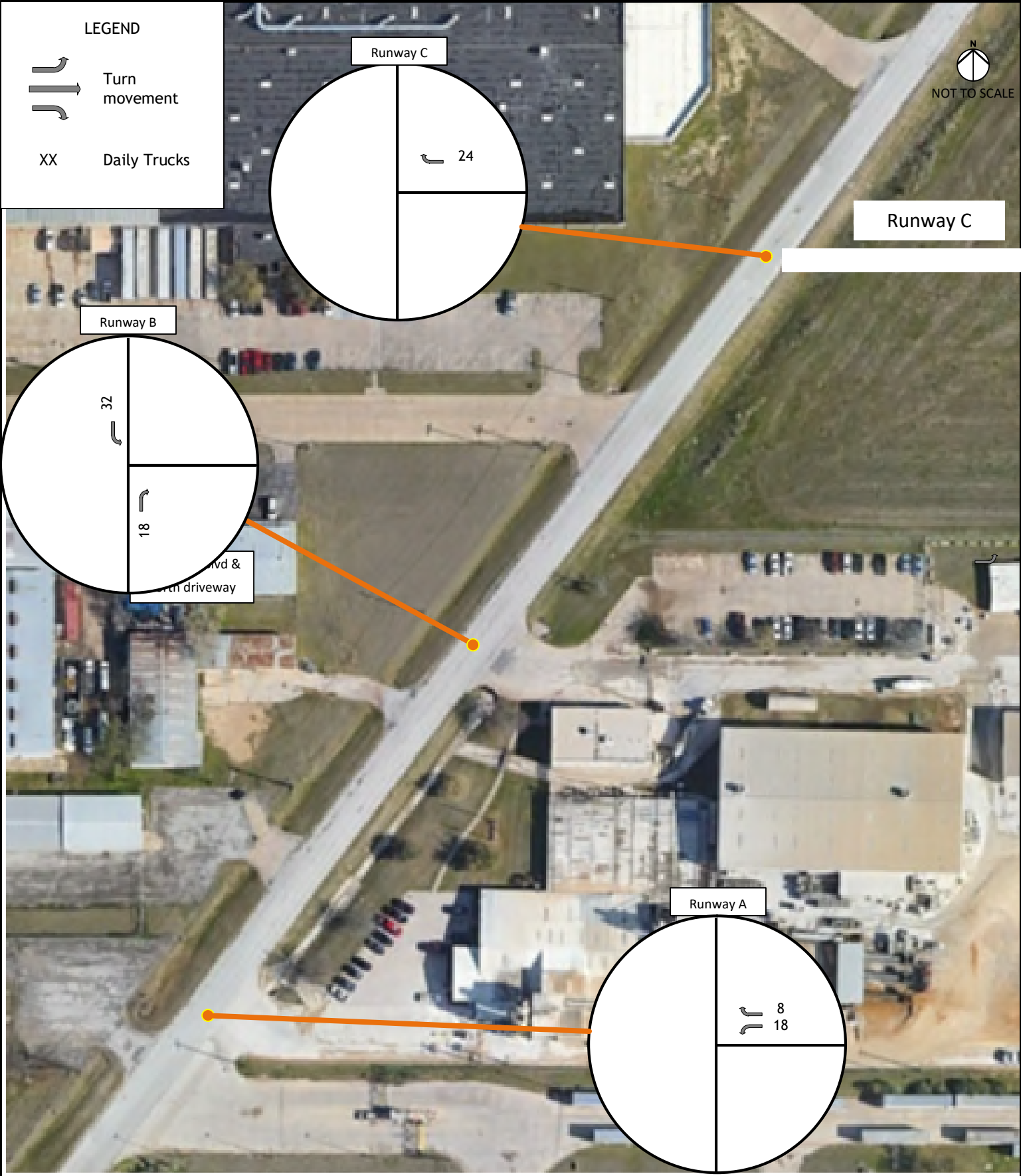
Current Daily Truck Volumes

Figure 1

Date: 25 August 2023

TRAFFIC IMPACT
GROUP, LLC

Bilco Brick - Lancaster



Daily Truck Volumes - After Addition

Figure 2

Bilco Brick - Lancaster

Date: 7 September 2023

CITY OF LANCASTER CITY COUNCIL

City Council Special Work Session and Regular Meeting

6.

Meeting Date: 09/25/2023

Policy Statement: This request supports the City Council 2023-2024 Policy Agenda

Goal(s): Healthy, Safe & Engaged Community
Sound Infrastructure
Quality Development

Submitted by: Vicki D. Coleman, Director of Development Services

Agenda Caption:

M23-30 Conduct a public hearing and consider an ordinance to amend and update Chapter 4, Transportation Bicycle and [Pedestrian Enhancements (Trails Master Plan)] of the Comprehensive Plan by incorporating the Southern Dallas County Regional Veloweb Alignment Study Summary Report.

Background:

The 2020 Trails Master Plan was adopted to provide a community plan for needs that were outlined in the City's 2016 Comprehensive Plan. In order to best achieve the goal of a more vibrant and livable Lancaster, pedestrian and biking infrastructure require coordination and must support each other. The Trails Master Plan is to create a blueprint for a world class trail system that would link the city's environmental features, schools, public facilities, local neighborhoods, and business districts to each other and surrounding communities. The Trails Masterplan identifies projects for implementation to achieve the goal of a more vibrant and liveable community.

As part of the 2020 Trails Master Plan, the Veloweb system was identified. The Veloweb is a network of off-street shared-use paths designed for multi-use purposes by bicyclists, pedestrians and other nonmotorized forms of transportation. The Trails Master Plan identified the Veloweb system as a key transportation component of the North Central Texas Council of Governments (NCTCOG) Regional Mobility 2045 Plan. To implement this identified trail system, the City of Lancaster partnered in a study with NCTCOG and the Texas Department of Transportation, along with seven other cities for the purpose of developing an alignment, design details and cost estimates for the 38.2 mile Southern Dallas County regional trail corridor. The design details and cost estimates are the essential information necessary to plan and implement construction of those segments within the City.

The proposed Veloweb trail will link the City of Lancaster to six other cities including Grand Prairie, Dallas, Cedar Hill, Duncanville, DeSoto, and Wilmer. Currently, the existing corridor is comprised of 12.4 miles of existing trails, 7.29 miles of funded trails, and 18.5 miles of planned trails. Once complete, the corridor will include a combination of sidepaths along roadways, off-street shared use paths (trails) along creeks and waterways, and on-street buffered bikeways or bike lanes.

Generally described, the alignment within the City of Lancaster includes portions of Belt Line Road from Interstate Highway 35 to Main Street, from Main Street to the Historic Town Square, and on to portions of North Lancaster Hutchins Road.

The approved Trails Master Plan does not depict the final alignment received from the North Central Texas Council of Governments (NCTCOG). Therefore an amendment to the trails masterplan is needed to ensure the correct alignment is reflected on the Master Plan, so that as development occurs in the area,

segments of the trail can be incorporated into the design and implementation.

The Veloweb system supports the City Council's vision for trails infrastructure. The study further supports the City's efforts to implement the regional transportation plan by encouraging pedestrian and biking activity, it also supports recreation through healthy active living.

The Veloweb Summary report appeared before the Parks and Recreation Advisory Committee on July 19, 2023 for recommendation to be amended into the Hike and Bike Trail plan. Subsequently, this item appeared before the Planning & Zoning Commission and a public hearing was conducted at their September 5, 2023 regular meeting.

Operational Considerations:

Article 2.00 General Provision, Section 2.09 Planning and Zoning Commission; subsection (b) Powers and Duties (2) of the Lancaster Development Code (LDC) requires the Planning and Zoning Commission "To advise the Council and make recommendations concerning adoption of, or amendments to the City's Comprehensive Plan, Thoroughfare Plan, and Open Space Plan and implementation thereof".

The Trails Master Plan is part of Chapter 4, Transportation (Bicycle and Pedestrian Enhancements) of the Comprehensive Plan.

Legal Considerations:

This item is being considered at a Regular Meeting of the City Council noticed in accordance with the Texas Open Meetings Act.

Public Information Considerations:

On August 20, 2023, a notice for this public hearing appeared in the Focus Daily Newspaper. There were no letters in opposition or support for this request.

Options/Alternatives:

1. The City Council may approve the ordinance, as presented.
2. The City Council may deny the ordinance.

Recommendation:

On September 5, 2023, the Planning and Zoning Commission recommended approval as presented and staff concurs.

Attachments

Ordinance

Veloweb Summary Report

ORDINANCE NO.

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS, UPDATING THE CITY'S 2020 TRAILS MASTER PLAN AND 2016 COMPREHENSIVE PLAN BY AMENDING CHAPTER 4, TRANSPORTATION [BICYCLE AND PEDESTRIAN ENHANCEMENTS (TRAILS MASTER PLAN)] (M23-30) BY INCORPORATING THE SOUTHERN DALLAS COUNTY REGIONAL VELOWEB ALIGNMENT STUDY SUMMARY REPORT; PROVIDING FOR A SAVINGS CLAUSE: PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the City of Lancaster desires to have Sound Infrastructure and Quality Development as stated in the annual Goals and Objectives adopted by the City Council; and

WHEREAS, the City Council amended its 2016 Comprehensive Plan to include the adoption of the 2020 Trails Master Plan; and

WHEREAS, the City of Lancaster, working in partnership with the North Central Texas Council of Governments (NCTCOG) identified alignment and design standards for the Veloweb system, which will serve as a network of off-street shared-use paths designed for multi-use purposes by bicyclists, pedestrians and other nonmotorized forms of transportation; and

WHEREAS, on July 19, 2023 the Park & Recreation Advisory Board accepted the Veloweb alignment study and recommended that it proceed to the Planning & Zoning Commission for a public hearing and consideration a Comprehensive Plan Amendment; and

WHEREAS, on September 5, 2023 the Planning & Zoning Commission conducted a public hearing (M23-30) and recommended approval of the study and Comprehensive Plan amendment; and

WHEREAS, on September 25, 2023, the City Council conducted a public hearing and considered the proposed Veloweb alignment study (M23-30); and after consideration, finds it is in the best interest of the City of Lancaster and the citizens thereof to adopt the NCTCOG's Southern Dallas County Regional Veloweb Alignment Study and update 2020 Trails Master Plan and amend the City's 2016 Comprehensive Plan Chapter 4, Transportation [Bicycle And Pedestrian Enhancements (Trails Master Plan)] by incorporating the Veloweb Alignment Study.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. The City Council of the City of Lancaster, Texas hereby approves and adopts the North Central Texas Council of Government's (NCTCOG) Southern Dallas County Regional Veloweb Alignment Study, a copy of which is attached hereto as Exhibit "A", and updates the 2020 Trails Master Plan and amends the City's 2016 Comprehensive Plan Chapter 4, Transportation [Bicycle and Pedestrian Enhancements (Trails Master Plan)] by incorporating the Veloweb Alignment Study; and

SECTION 2. The City Council directs the City Manager to carry out actions to advance the strategies set forth and achieve the goals and implement the plans presented in the now amended 2020 Trails Master Plan and updated 2016 Comprehensive Plan.

SECTION 3. Any prior ordinance or resolution of the City Council in conflict with the provisions contained in this Ordinance is hereby repealed and revoked, to the extent of the conflict with this Ordinance.

SECTION 4. Should any part of this Ordinance be held to be invalid for any reason, the remainder shall not be affected thereby, and such remaining portions are hereby declared to be severable.

SECTION 5. This Ordinance shall take effect immediately from and after the date of passage and as provided by law.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 25th day of September, 2023.

ATTEST:

Sorangel O. Arenas, City Secretary

APPROVED:

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney

Southern Dallas County Regional Veloweb Alignment Study Summary Report

April 22, 2021



North Central Texas
Council of Governments



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Study Description

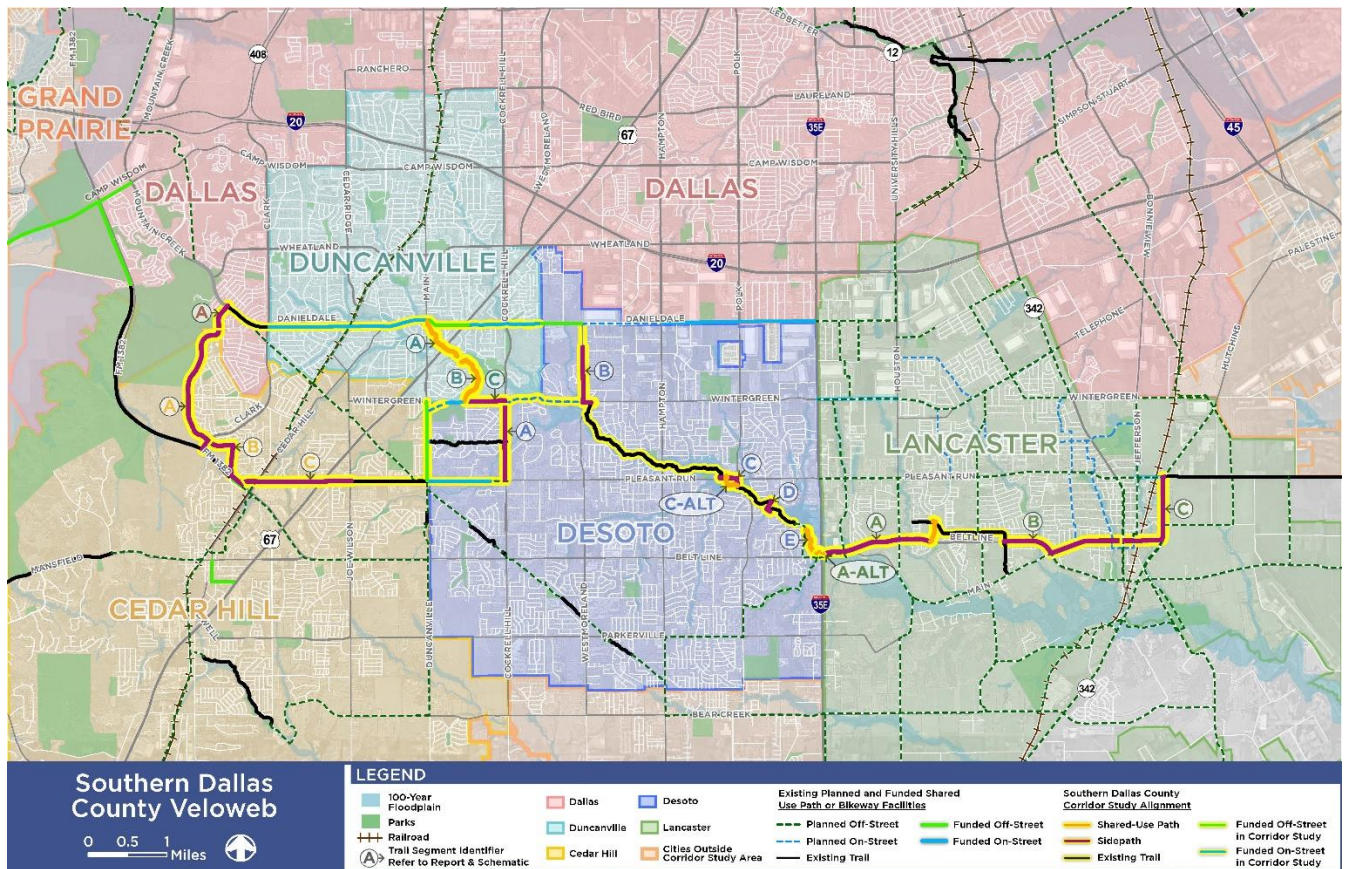
NCTCOG partnered with Dallas County and five local governments including the City of Cedar Hill, City of Duncanville, City of Desoto, City of Lancaster, City of Dallas, and the Texas Department of Transportation (TxDOT) to conduct an alignment study for a Regional Veloweb corridor across southern Dallas County. The project study area (Reference Overall Study Area Map) was bounded on the west in the City of Cedar Hill by the existing sidepath along FM 1382 near the intersection of W. Pleasant Run Rd., and to the east in the City of Lancaster, with the existing sidepath along E. Pleasant Run Rd., near the intersection of N. Lancaster-Hutchins Rd. The alignment study focused on the gaps between various existing or planned shared-use paths and bikeways in each of the cities.

The alignment study, completed in April 2021, focused on 15 sidepath segments with 2 alternative alignments for a total of 14.15 miles which connect existing, funded, and planned sidepath and on-street bikeway segments that will complete a continuous east-west connection through Southern Dallas County. The various segments once constructed will result in a continuous sidepath alignment that connects multiple existing and proposed sidepaths through Cedar Hill, Duncanville, Desoto, and Lancaster with existing and funded paths in Dallas and Grand Prairie. The western portion of the study area also connects with existing and funded sidepaths in Dallas along Mountain Creek Pkwy and FM1382, and W. Camp Wisdom Rd extending westward into Grand Prairie.

The preliminary design completed with the Study consists of a minimum 12-ft. wide, hard surface, accessible shared use path (sidepath), shared use sidepath bridges, boardwalks, at-grade railroad crossings, and crossings of major highways (US 67 and IH35E). The various sections of the sidepath alignment are anticipated to be implemented in phases by each of the local communities.

NCTCOG procured professional services from Halff Associates, Inc. to evaluate alignment options, recommend a preferred route, and conduct 5 percent preliminary engineering for a Regional Veloweb shared-use path consistent with ***The Guide for the Development of Bicycle Facilities*** by the American Association of State Highway and Transportation Officials (AASHTO). A design development schematic, environmental summary, right-of-way and/or easement requirements, and opinions of probable costs by jurisdiction are provided and serve as an accessory to this report.

Overall Study Area Map



Overall Cost Estimate Summary (2021)

TRAIL SEGMENT	JURISDICTION	TOTAL ESTIMATED COST 12' WIDE TRAIL
Dallas-A (1,506 LF = 0.29 Miles)	Dallas	\$ 577,000.00
CH-A (9,933 LF = 1.88 Miles)	Cedar Hill	\$ 3,455,000.00
CH-B (4,790 LF = 0.91 Miles)	Cedar Hill	\$ 1,641,000.00
CH-C (7,388 LF = 1.4 Miles)	Cedar Hill	\$ 4,039,000.00
D-A (3,413 LF = 0.65 Miles)	Duncanville	\$ 2,527,000.00
D-B (3,761 LF = 0.71 Miles)	Duncanville	\$ 1,608,000.00
D-C (2,631 LF = 0.50 Miles)	Duncanville	\$ 660,000.00
DS-A (5,370 LF = 1.02 Miles)	DeSoto	\$ 1,880,000.00
DS-B (4,277 LF = 0.81 Miles)	DeSoto	\$ 1,130,000.00
DS-C (1,485 LF = 0.28 Miles)	DeSoto	\$ 604,000.00
DS-C-ALT (1,375 LF = 0.26 Miles)	DeSoto	\$ 2,100,000.00
DS-D (996 LF = 0.19 Miles)	DeSoto	\$ 67,000.00
DS-E (2,457 LF = 0.47 Miles)	DeSoto	\$ 1,011,000.00
L-A (8,901 LF = 1.69 Miles)	Lancaster	\$ 2,830,000.00
L-A-ALT (997 LF = 0.19 Miles)	Lancaster	\$ 1,904,000.00
L-B (8,461 LF = 1.6 Miles)	Lancaster	\$ 2,448,000.00
L-C (6,845 LF = 1.3 Miles)	Lancaster	\$ 2,079,000.00
GRAND TOTAL (14.15 Miles)		\$ 30,560,000.00

TRAIL SEGMENT TOTAL PER CITY	JURISDICTION	TOTAL ESTIMATED COST PER CITY
0.29 Miles	Dallas	\$ 577,000.00
4.19 Miles	Cedar Hill	\$ 9,135,000.00
1.86 Miles	Duncanville	\$ 4,795,000.00
3.03 Miles	DeSoto	\$ 6,792,000.00
4.78 Miles	Lancaster	\$ 9,261,000.00
GRAND TOTAL (14.15 Miles)		\$ 30,560,000.00

Dallas Trail A

Trail Alignment

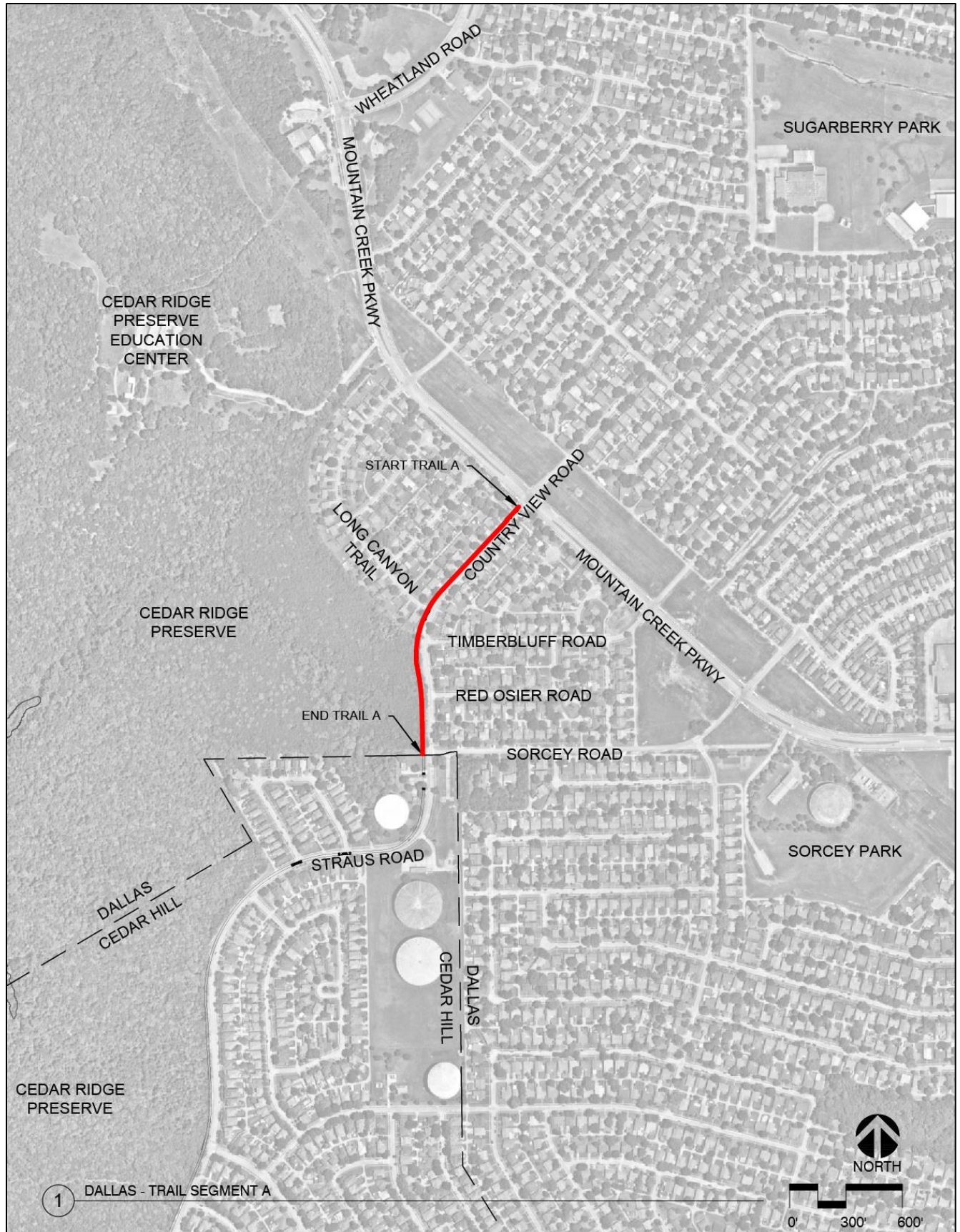
Trail Segment A in Dallas will serve as a sidepath connection from the existing sidepath along Mountain Creek Parkway to Cedar Ridge Preserve, traveling along the west side of Country View Rd. Between Mountain Creek Pkwy and Long Canyon Trail, the sidepath will replace an existing sidewalk and will follow along the front yards of residential property owners, requiring some mailboxes and utilities to be adjusted or moved. The mailbox adjustment will require coordination with US Post Office since the relocated mailboxes can no longer be serviced by a vehicle. Just across from Long Canyon Trail, there is limited space between property line and back of curb. For the majority of the alignment in Dallas the available right-of-way will accommodate the 12-ft wide sidepath that will be constructed immediately behind the back of the existing curb except for along the 230 linear feet near Timberbluff Rd. where the existing curb is proposed to be relocated into the street about 2-feet to avoid a private fence. The existing curb line will need to be shifted, and vehicular lanes reduced (Refer to Exhibit D-1). Curb adjustments will be applied to both sides of the roadway to maintain the existing road centerline. From that point to Cedar Hill/Dallas City limit near Sorcey Rd. the sidepath will be located along Dallas owned property on the west side of Country View Rd. and will not require any roadway curb adjustments and will be within the existing right-of-way.

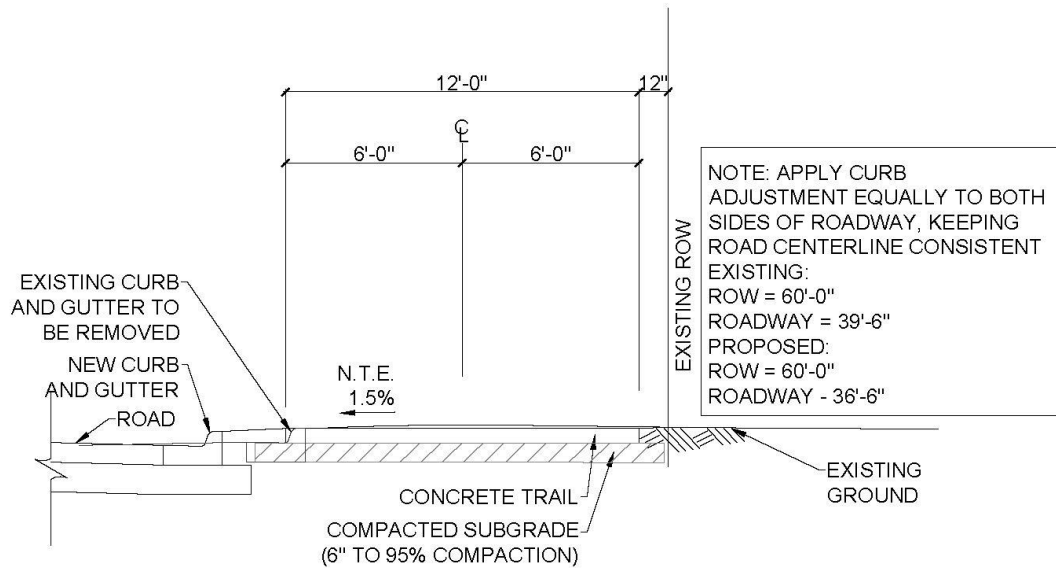
Project Stakeholders

- Coordination between City of Cedar Hill and City of Dallas
- Private Property Owners
- US Post Office

Alignment and Engineering Constraints

- Final approvals and curb adjustments from City of Dallas
- Final approvals from Private Property Owners that face Country View Rd.
- Coordination between City of Cedar Hill, to ensure project will be constructed on a similar timeframe with future improvements south of Sorcey Rd.
- The first 900 LF of Trail A traveling south on Country View Rd. where homes with front driveways intersect the sidepath. This stretch of sidepath will require driveway reconstruction outside of the street right-of-way and may require the use of mountable curb.
 - Consider alternative of no parking on the road and sidepath on the road marked as separate lane or shared lane.





D-1 TYPICAL CURB ADJUSTMENT SECTION
 N.T.S.

DRAFT

Cedar Hill Trail A

Trail Alignment

Trail Segment A will serve as a sidepath along the west side of Straus Rd. from Cedar Hill/Dallas city limit near Sorcey Rd to New Clark Rd. As Trail A continues south in Cedar Hill, it is nearby the Summit Regional Water Storage Facility where several small street trees will need to be removed and residential side fences between Taylor St. and McAlister St. will likely have to be removed and replaced to accommodate sidepath construction. Space limitations between back of curb and private property along this corridor will require some property right of way acquisition. In addition, the topography is steep beyond the back of curb in multiple areas along this stretch of Straus Rd. and a retaining wall with a guardrail is required to uphold the soil and allow for proper slopes and clearance to build a 12'-0" sidepath (Refer to Exhibit CH-1,2). Cedar Ridge Nature Preserve is adjacent to this corridor and is a great amenity and attraction for people to use this sidepath. Further coordination and approval will be required with Texas Parks and Wildlife Department.

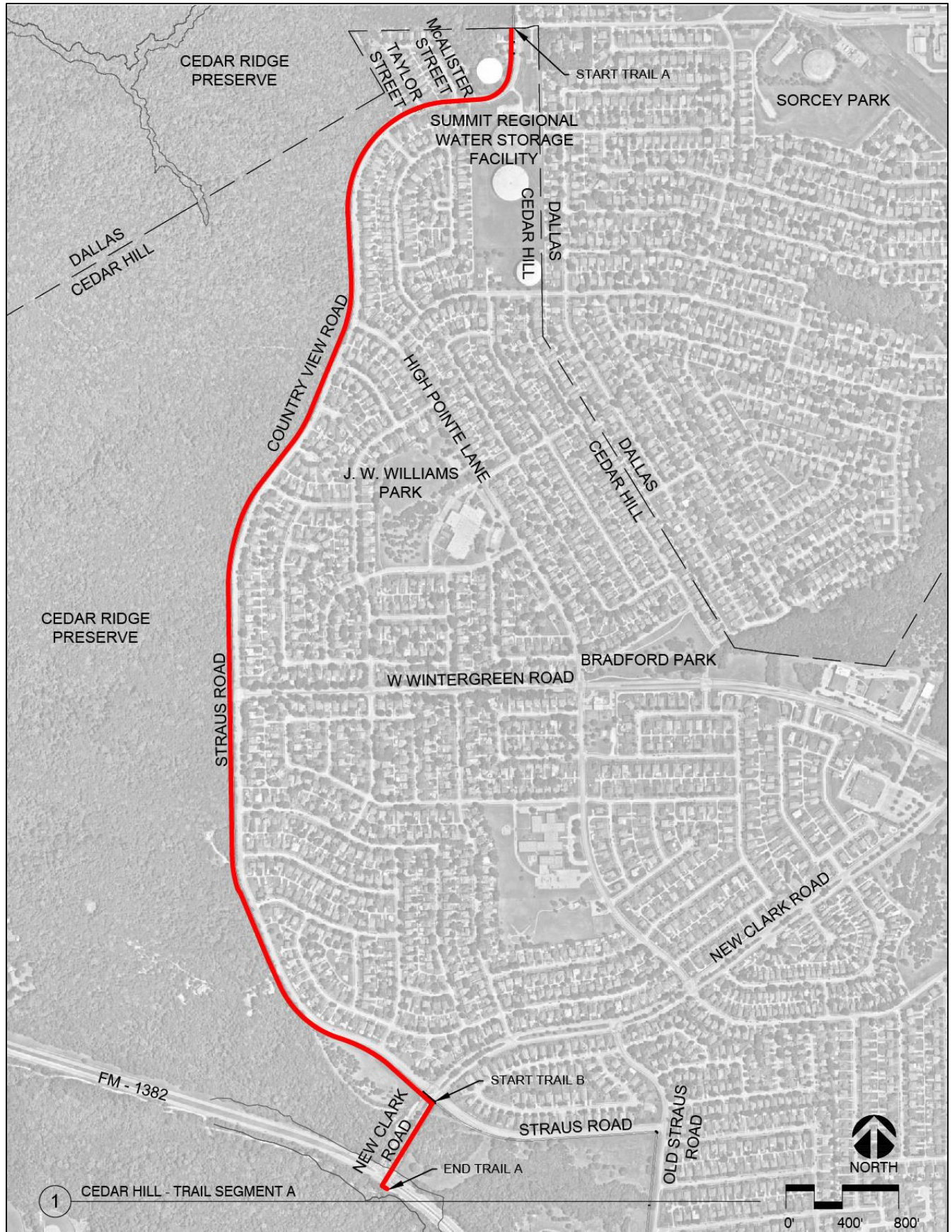
At Old Straus Rd. the sidepath crosses the roadway and travels along the east side of New Clark Rd. south and crosses FM 1382 and connects with the existing FM1382 sidepath along the west side of the highway. The alignment along Old Straus Rd. has very steep grades and is adjacent to rock outcropping. Further investigation would be needed to explore the safety of the sidepath proximity to the rock outcropping.

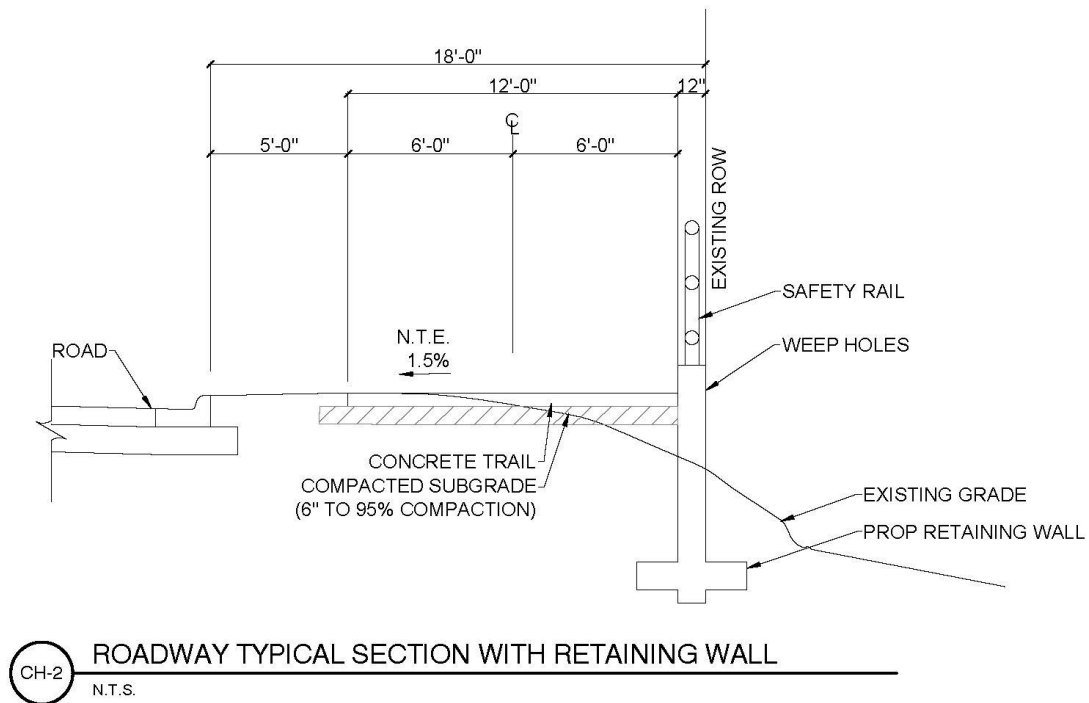
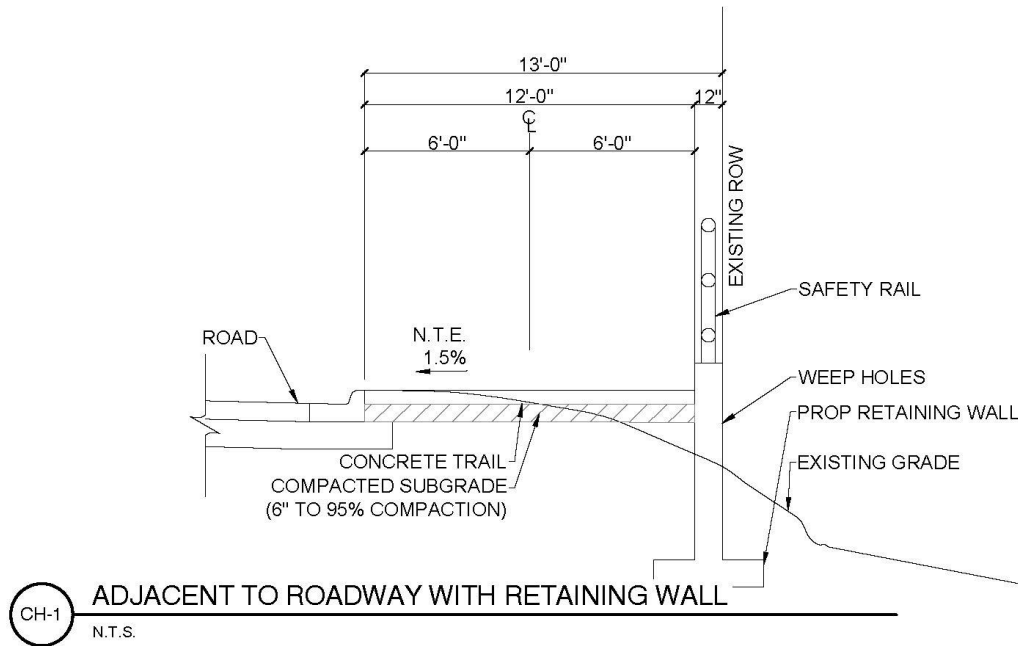
Project Stakeholders

- City of Cedar Hill
- Private Property Owners
- Texas Parks and Wildlife Department
- Summit Regional Water Storage Facility

Alignment and Engineering Constraints

- Final approvals and easements from Private Property Owners along Straus Rd. due to limited space between property line and face of curb
- Coordination with City of Dallas ensuring project will be constructed on a similar timeframe with improvements north of Sorcey Rd.
- Retaining wall will need additional design and engineering along Straus Rd.
- Navigating existing topography changes adjacent to Straus Rd.





Cedar Hill Trail B

Trail Alignment

Trail Segment B will serve as a sidepath starting at the corner of Straus Rd. and New Clark Rd. traveling east along the south side of Straus Rd. to Old Straus Rd. When the vacant property along Straus Rd. is developed, an easement will be required due to limited space and existing utilities within street right-of-way along this corridor. From that point heading south along the west side of Old Straus Rd. to FM 1382. Along the southern half of Old Straus Rd., the sidepath will cross five private driveways which will require ADA ramps to maintain ADA accessibility throughout the sidepath. At FM 1382 the sidepath parallels FM1382 on the north/east side to Pleasant Run Rd. and will be located in the TxDOT right of way of FM 1382. The sidepath will be adjacent to a drainage swale that will require adjustments to ensure water drains away properly. Also, at the corner of Pleasant Run Rd. and FM 1382 an existing storm water outfall will require some grading around the existing headwall.

Project Stakeholders

- City of Cedar Hill
- Private Property Owners
- Hillcrest Baptist Church
- Franchise Utility Owners
- TxDOT

Alignment and Engineering Constraints

- Trail B alignment is located within the existing street right-of-ways
- Final approvals and easements from Private Property Owners
- Navigating existing drainage courses and floodplain requirement
- Coordinate turn lane expansion along the northeast side of Pleasant Run Rd. and FM1382



Cedar Hill Trail C

Trail Alignment

Trail Segment C will serve as a sidepath from the corner of FM 1382 and Pleasant Run Rd. and continue along the south side of Pleasant Run Rd. to Joe Wilson Rd. This segment has many drives that require crosswalks and ADA ramps to meet ADA compliance requirements. Existing low retaining walls will need to be removed and reconstructed to accommodate a 12'-0" sidepath along Pleasant Run Rd. Some existing trees may also be impacted with this design, and tree mitigation will need to be explored when the trees are removed. Also, the sidepath will have an at-grade crossing at the BNSF Railway rail line at the southwest corner of Cedar Hill Rd. and Pleasant Run Rd. Further approval and requirements will need to be coordinated with the BNSF Railway company.

An independent pedestrian bridge will run parallel the vehicular Pleasant Run Bridge and will be constructed on the south side of the vehicular bridge where the two 140-ft. bridges will be separated by 20-feet. The proposed shared use path bridge will be a two-span bridge approximately 240 linear feet long with 16 feet of deck width (12-ft width plus 2-ft shy zones on each side) such as a TxDOT style girder bridge. The span lengths and girder type are intended to match the existing vehicular bridge. As-built information was not readily available, but the assumption was Tx46 girders were used based on apparent span length and girder spacing from information on Google Earth.

The abutments for the existing vehicular bridge sit on top of drilled shaft walls and the new bridge will similarly need to sit on top of the drilled shaft wall abutments, due to the span lengths and girder types. Increasing span lengths in attempt to grade out would require a deeper girder (Tx54, 8 inches deeper than the assumed Tx46), which in turn would not allow existing vertical clearance (18'-0") to be maintained without significantly raising the bridge profile.

Since this trail bridge will be constructed over US 67 and will require abutments in the center highway median, road closures and night work will be required, refer to Appendix 1 for concepts and discussions with TxDOT staff.

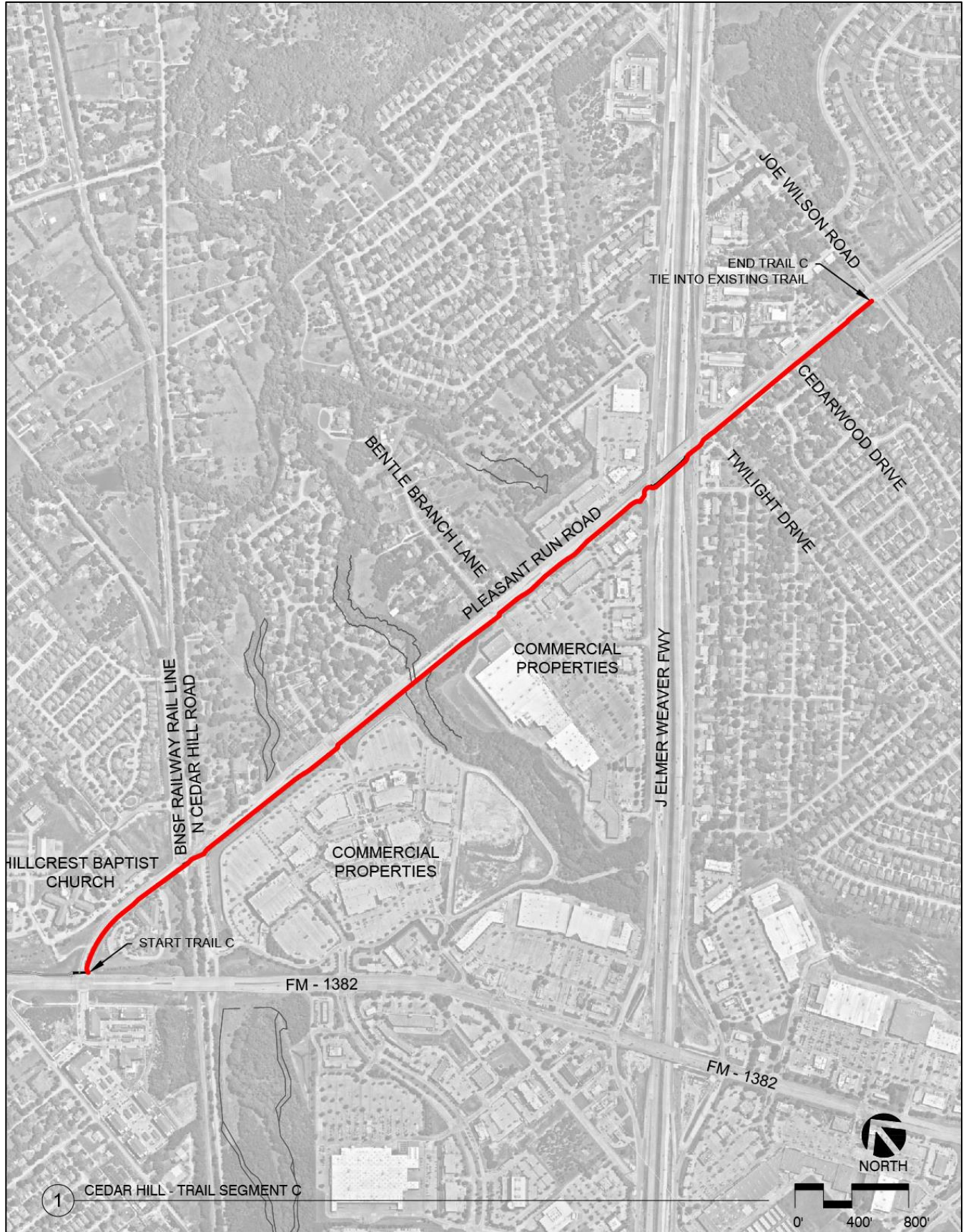
On the east side of US 67 the sidepath will continue along the south side of Pleasant Run Rd. to Joe Wilson Rd. where it connects to an existing sidepath. Limited space due to utilities will require property easement acquisition to allow for a 12'-0" wide sidepath.

Project Stakeholders

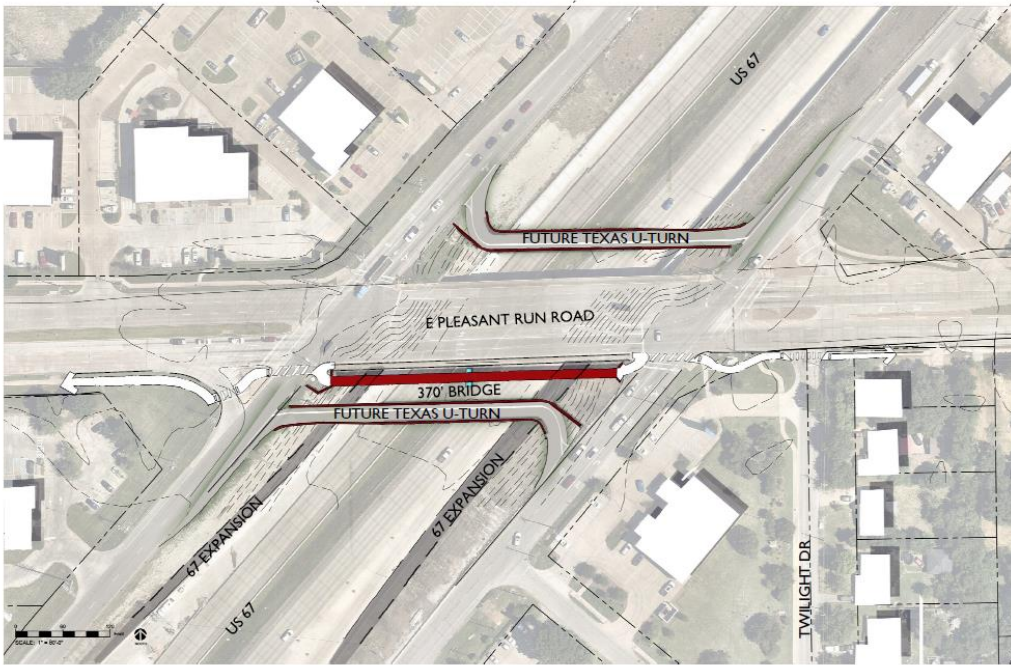
- City of Cedar Hill
- Private Property Owners
- BNSF Railway Company
- TxDOT
 - Permitting
 - Approved Traffic Control Plan (TCP)
 - Proposed abutments in highway median
 - Highway closures and night work required

Alignment and Engineering Constraints

- Final approvals and easements from TxDOT and Private Property Owners
- Coordination with TxDOT on the location and design requirements as the shared use path bridge
- Coordination with BNSF Railway Company on design requirements for an at-grade railroad crossing at southwest corner of Pleasant Run Rd. and Cedar Hill Rd.



I. CEDAR HILL US 67 CROSSING – CONCEPT B



CONCEPT GOALS

- 1 PROVIDE A SAFE PEDESTRIAN EAST-WEST CROSSING
- 2 UTILIZE AVAILABLE SPACE
- 3 MINIMIZE PEDESTRIAN AND VEHICULAR CONFLICTS

CONCEPT SOLUTION

- 1 INTEGRATES THE PROPOSED US 67 WIDENING
- 2 INTEGRATE THE FUTURE US 67 TEXAS U-TURN
- 3 UTILIZES THE EXISTING SPACE ALONG TXDOT ROW TO CREATE THE APPROACHES TO THE 370' – 0" BRIDGE CROSSING
- 4 UTILIZE A DEDICATED PEDESTRIAN BRIDGE ACROSS US 67 ON THE SOUTH SIDE CROSSING

Duncanville Trail A

Trail Alignment

Trail Segment A will serve as a sidepath starting at the corner of Danieldale Rd. and Main St. and travels as a sidepath southward along the east side of Main St. to Hornet Branch Creek (refer to Exhibit DU-2 below). This segment will serve as a connection between the funded on-street facility on Danieldale Rd. to Waterview Park. The sidepath will then traverse along the north side of Hornet Branch Creek and Ten Mile Creek meandering from Main St. to a crossing under US 67 and continuing eastward to Waterview Park.

Erosion adjacent to an existing utility line at US 67 which will need to be remediated by TXDOT. Currently the pipe has failed and is eroding the embankment of the US 67 at Ten Mile Creek Bridge. The erosion issue will be addressed by TxDOT, refer to Appendix 1 for concepts and discussions with TxDOT. The sidepath then bends and follows a Trinity River Authority of Texas (TRA) utility easement and is proposed to cross an existing heavily eroded channel that should be repaired before the sidepath is installed. The erosion appears to be at the outfall of the right-of-way ditches adjacent to US 67 which has exposed major utilities.

The sidepath requires retaining walls on both sides for the portion that is undercrossing US 67. Detailed survey and hydrologic analysis of this portion of Ten Mile Creek will be necessary to determine final retaining wall needs. If water surface elevations allow, the alignment may be adjusted to minimize the needs for retaining walls. Coordination with TxDOT, USACE and TRA may also be necessary during the design process as shown in Exhibit DU-1 below.

On the east side of US 67, the sidepath continues along a utility corridor before crossing Ten Mile Creek requiring a pedestrian bridge with a boardwalk to cross the existing tributary. The bridge connection to Waterview Park is a proposed pedestrian bridge running perpendicular to the contours of Ten Mile Creek. The portion of the sidepath leading to the ridge from the west crosses underneath US 67 bridges along the north bank of Ten Mile Creek, then through a wooded area between residential neighborhoods. The sidepath extends to the east, crossing one residential lot then bends to cross the creek perpendicularly and then ties into the north side of Waterview Park and connects to the existing sidepath within the Park. The Sidepath alignment has been revised at the suggestion of Duncanville staff to cross only one residential property in the undevelopable portion of their property located in the flood plain and outside of their fenced in back yard.

The proposed bridge type is a single-span, 110-foot, prefabricated pedestrian bridge sitting on cast-in-place concrete abutments. Directly following the bridge is a 115 LF boardwalk with cast-in-place abutments. The total width of the bridge is 16 feet.

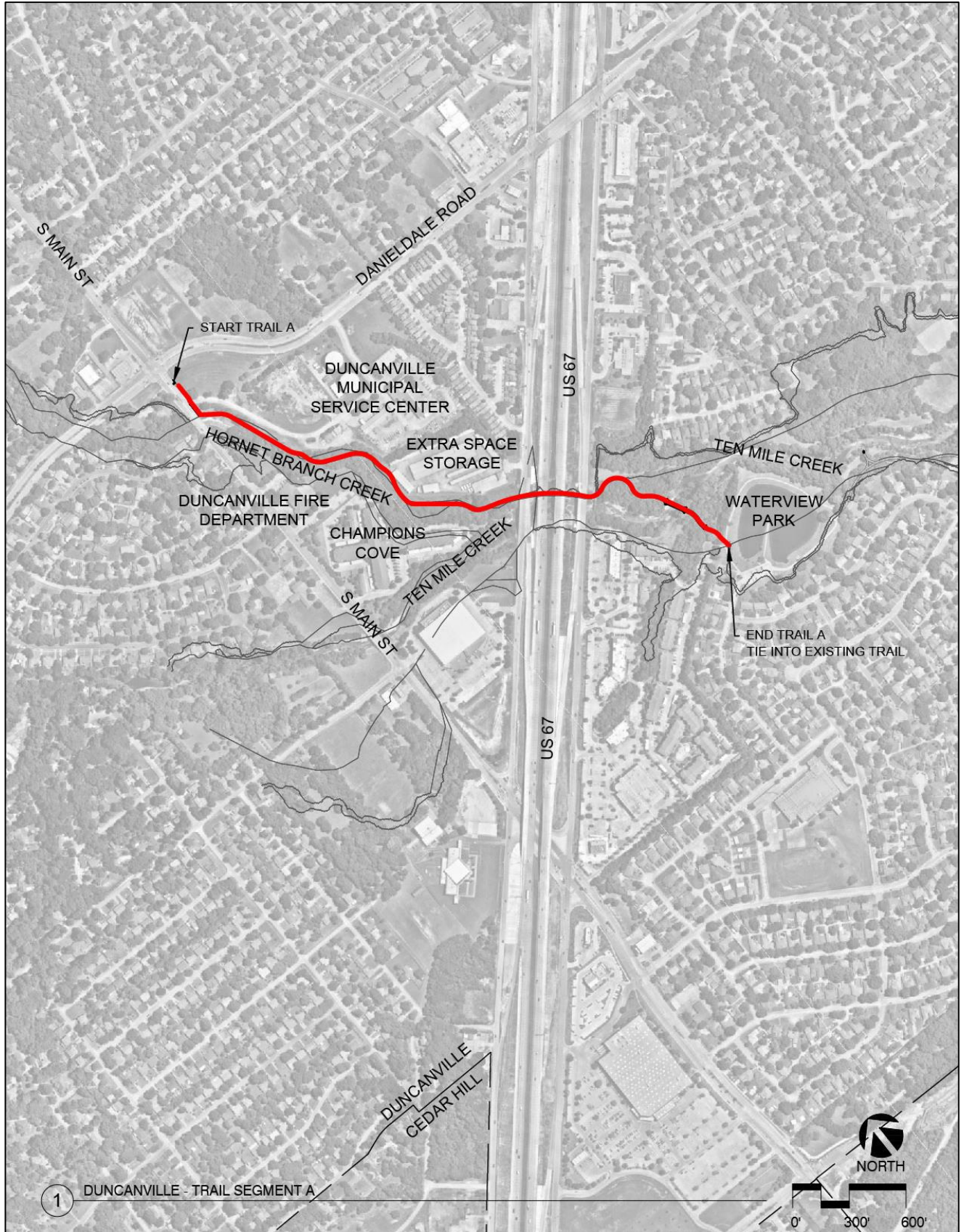
The proposed pedestrian bridge is a Keystone Continental Pedestrian Bridge from Contech. For low creek crossings such as the one proposed, this type of pedestrian bridge is commonly used instead of a TxDOT style girder bridge due to the superstructure type, ease of installation, and aesthetics. The superstructure of this bridge is above the deck, versus deck with beams/girders like a TxDOT bridge, so there is greater freeboard. After the boardwalk the sidepath will continue at grade and will connect to the main sidepath around Waterview Park.

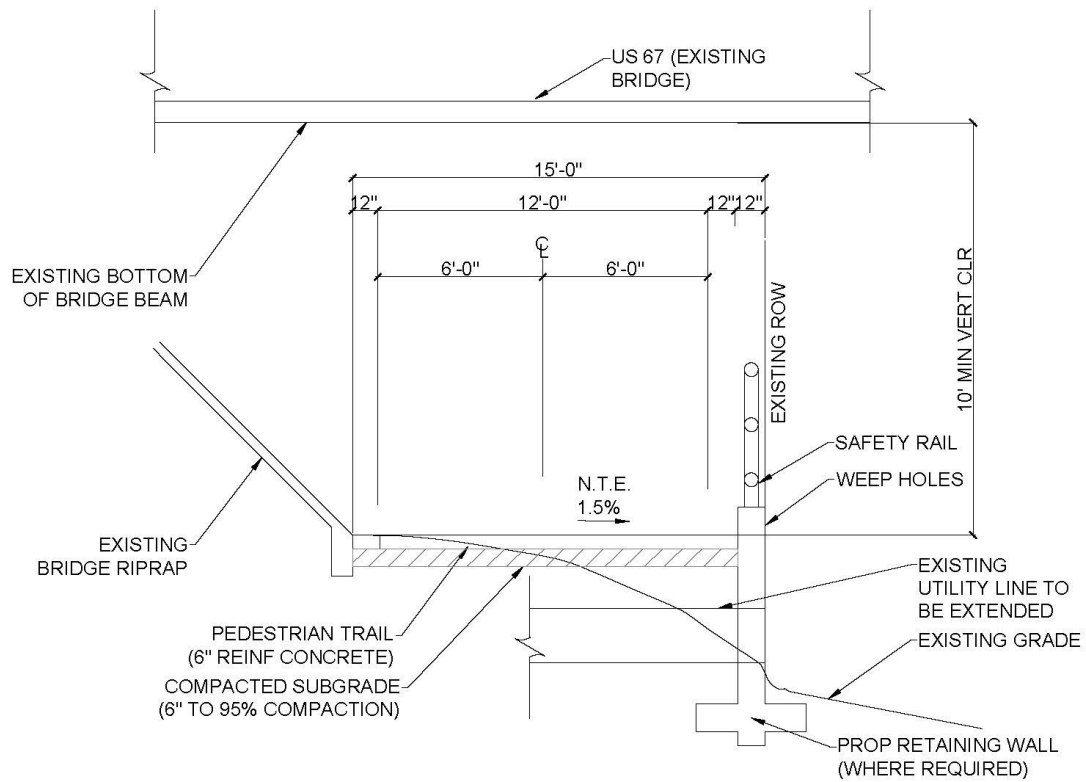
Project Stakeholders

- City of Duncanville
- Private Property Owners
- TRA
- USACOE
- TxDOT

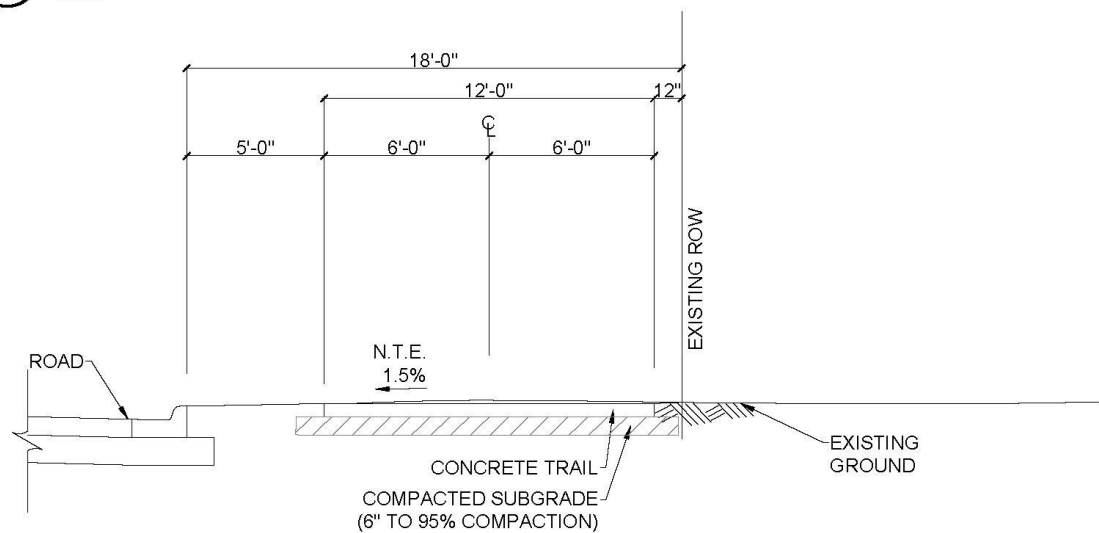
Alignment and Engineering Constraints

- Final approvals and easements Private Property Owners
- Coordination with TxDOT on the location and design requirements as the sidepath traverse's underneath US 67
- Design and engineer Ten Mile Creek Crossing and navigate boardwalk crossing of tributary of Ten Mile Creek
- The alignment of the sidepath and bridge at this location was chosen to minimize the amount of encroachment into nearby property, and to also allow the bridge to cross perpendicular to the creek





DU-1 UNDER US 67 CROSSING TYPICAL SECTION
N.T.S.



DU-2 ROADWAY TYPICAL SECTION
N.T.S.

Duncanville Trail B

Trail Alignment

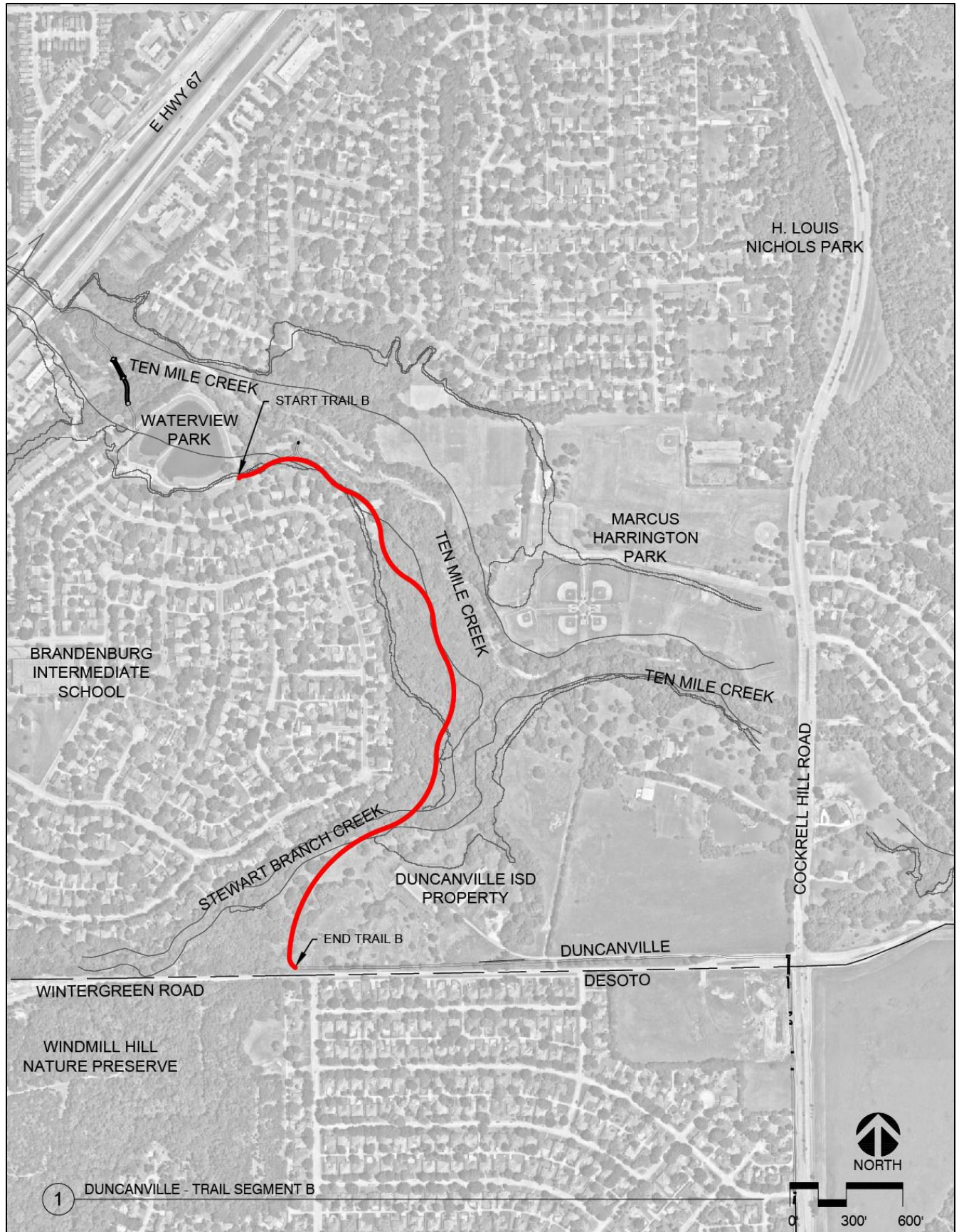
Trail Segment B will serve as a sidepath starting at the southeast corner of Waterview Park and following along the southside of Ten Mile Creek southward to Wintergreen Rd. The sidepath will connect to the proposed sidepath connection between Waterview Park and Marcus Harrington Park that is currently being designed and constructed by the City of Duncanville. Tree mitigation will need to be explored moving forward along this corridor due to existing dense vegetation. The sidepath will travel along City of Duncanville owned properties, except along one large property owned by Duncanville ISD.

Project Stakeholders

- City of Duncanville
- Private Property Owners
- Duncanville ISD

Alignment and Engineering Constraints

- Final approvals and easements from Private Property Owners
- Coordination with City on the location and design of sidepath connection between Waterview Park and Marcus Harrington Park



Duncanville Trail C

Trail Alignment

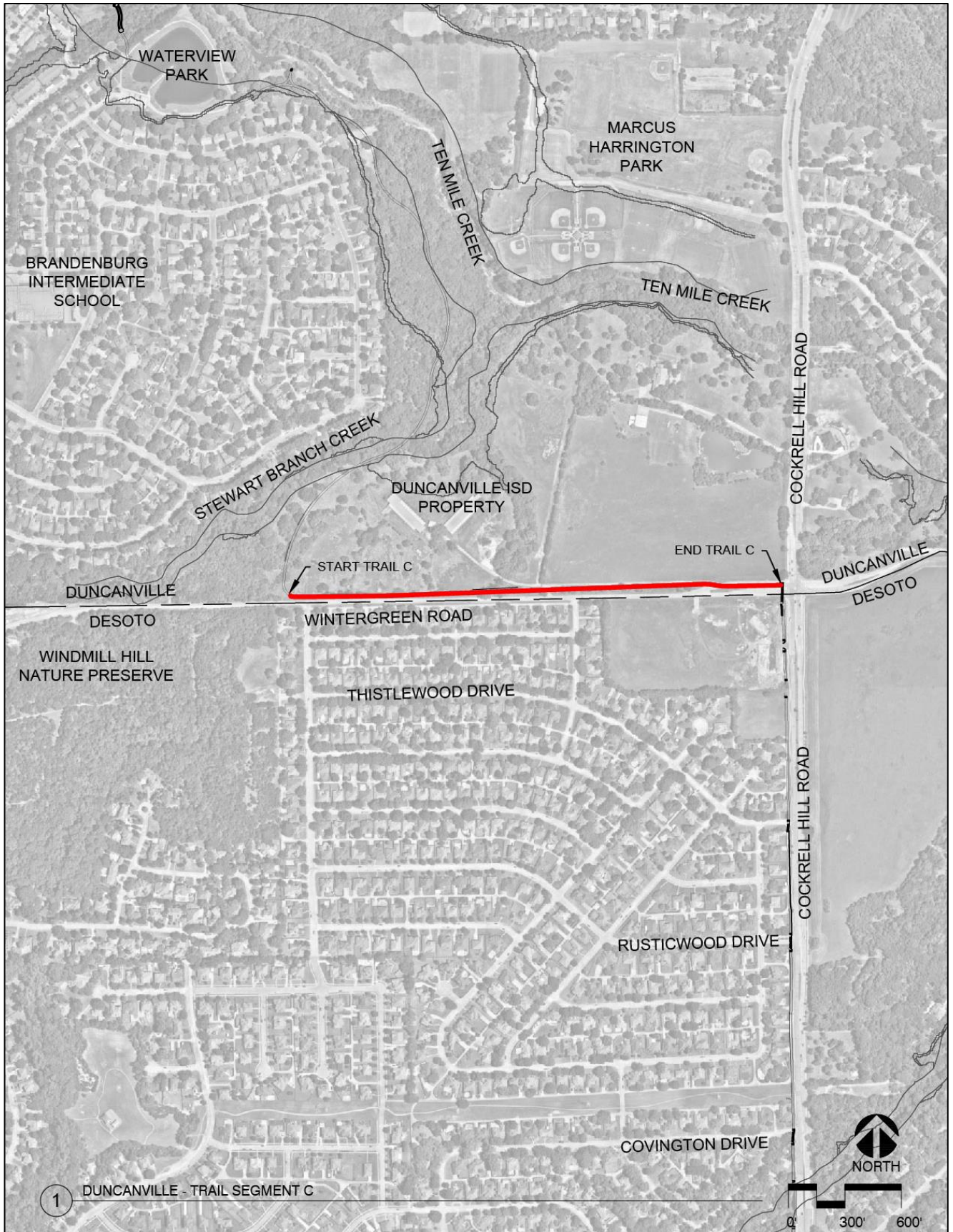
Trail Segment C will serve as a sidepath along the north side Wintergreen Rd. in Duncanville from Ten Mile Creek east to Cockrell Hill Rd. The sidepath is anticipated to be included in the future widening of Wintergreen Rd. west of Cockrell Hill Rd. Currently Wintergreen Rd. has been widened approximately 300 linear feet to east and west of the Cockrell Hill Rd. intersection. Along this segment one private drive will be crossed and will require further coordination in future design packages (refer to Exhibit DU-2 below).

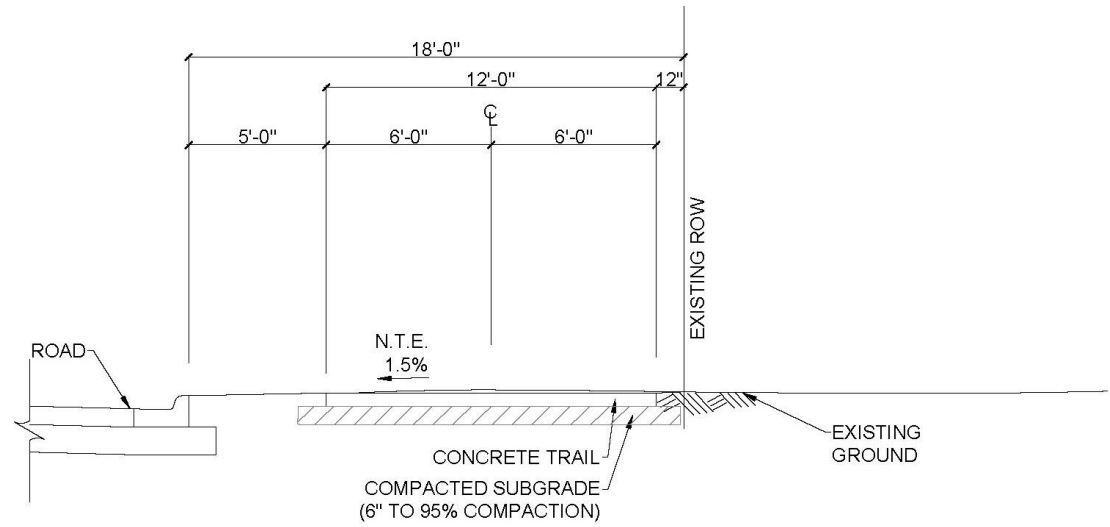
Project Stakeholders

- City of Duncanville
- Private Property Owners
- Duncanville ISD

Alignment and Engineering Constraints

- Final approvals and easements from Private Property Owners
- Coordination with City on the any future widening of Wintergreen Rd.





DU-2

ROADWAY TYPICAL SECTION

N.T.S.

DRAFT

Desoto Trail A

Trail Alignment

Trail Segment A will replace an existing sidewalk with a 12-ft wide sidepath along the west side of Cockrell Hill Rd. in DeSoto from Wintergreen Rd. to Pleasant Run Rd. This alignment has many driveways that require crosswalks and ramps to meet ADA requirements. Existing utilities, fire hydrants, and mailboxes will need to be adjusted within the existing right-of-way to accommodate the 12-foot wide sidepath. A proposed connection to Windmill Hill HOA trail along the west side of Cockrell Hill Rd. just south of Rusticwood Dr. will connect to more residential users and make another park connection to Kiva Park.

A retrofit of Cockrell Hill Rd. bridge over (Bee Branch Creek) will ramp onto the bridge and add a concrete bridge barrier to separate vehicular traffic and the new pedestrian and bicycle traffic along the bridge. An existing shoulder on the bridge will be repurposed to be the sidepath, while maintaining the existing sidewalk.

The two-way cycle track will be 12'-0" wide allowing for two-way bicycle traffic along the bridge while maintaining the existing sidewalk for pedestrians (Refer to Exhibit DS-2).

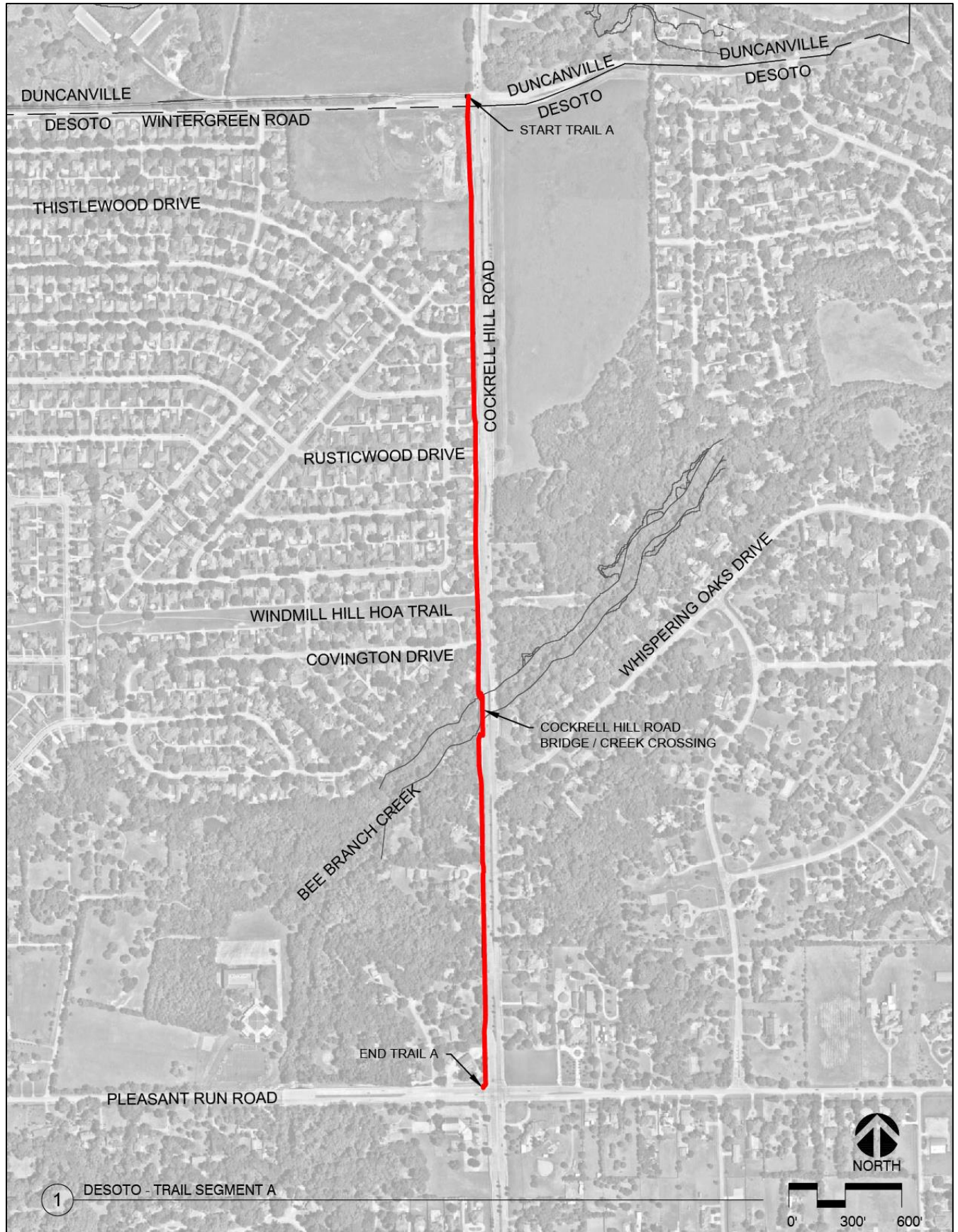
One residential property just south of Whispering Oaks Dr. on the west side of Cockrell Hill Rd. has a 5 ft. retaining wall at back of sidewalk allowing no space for a 12'-0" wide sidepath. A pinch point of 8 ft. wide sidepath is proposed for a segment of 24 linear feet.

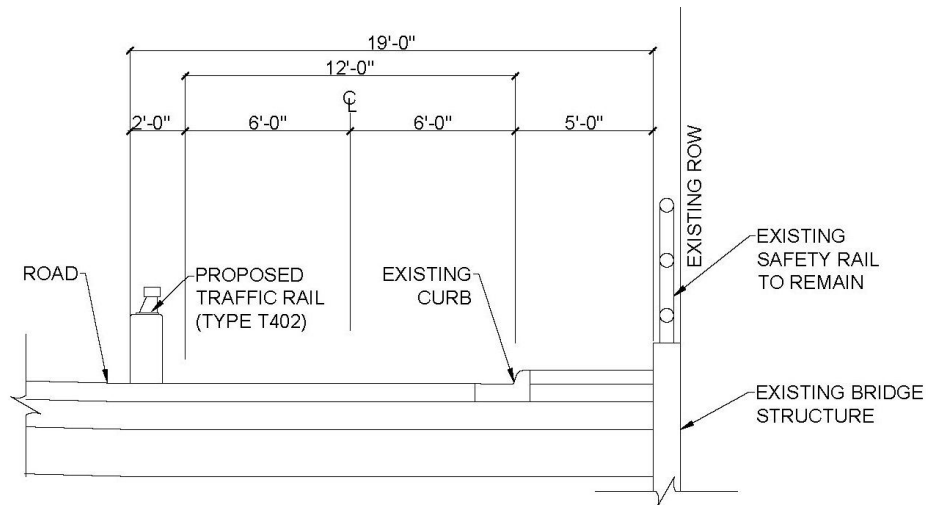
Project Stakeholders

- City of Desoto
- Private Property Owners
- US Post Office

Alignment and Engineering Constraints

- Final approvals and easements from Private Property Owners
- Cockrell Hill Rd. bridge crossing (retrofit)
- Coordination with Windmill Hill HOA for sidepath connection to HOA sidepath





DS-2 COCKRELL HILL ROAD BRIDGE TWO WAY CYCLE TRACK
N.T.S.

DRAFT

Desoto Trail B

Trail Alignment

Trail Segment B will serve as a sidepath on the west side of Westmoreland Rd. from the Daniel Farms development sidepath south to W. Wintergreen Rd. where it will connect with the existing Roy Orr Sidepath. This alignment has many drives that require crosswalks and ramps to meet ADA requirements. There is adequate space to construct the sidepath within the current street right-of-way, however an existing drainage area will need to be adjusted to allow for a 12'-0" width sidepath. The sidepath will cross two legs of the intersection of Wintergreen Rd. and Westmoreland Rd., to the southeast corner. The sidepath will continue as a shared-use path heading eastward along the south side of Wintergreen Rd. and meander around existing trees for approximately 450 feet where it will connect with the existing Roy Orr Sidepath.

Project Stakeholders

- City of Desoto
- Private Property Owners

Alignment and Engineering Constraints

- Final approvals and easements Private Property Owners
- Navigating existing drainage courses and floodplain requirements
- Coordinate with Daniel Farms Development to connect to their planed sidepath system



Desoto Trail C

Trail Alignment

Trail Segment C will connect with the existing Roy Orr Trail as a sidepath extension on the northside of Pleasant Run Rd. to Polk Street, then extend south along the west side of Polk Street to connect with the existing Roy Orr Trail located approximately 250 feet south of the intersection.

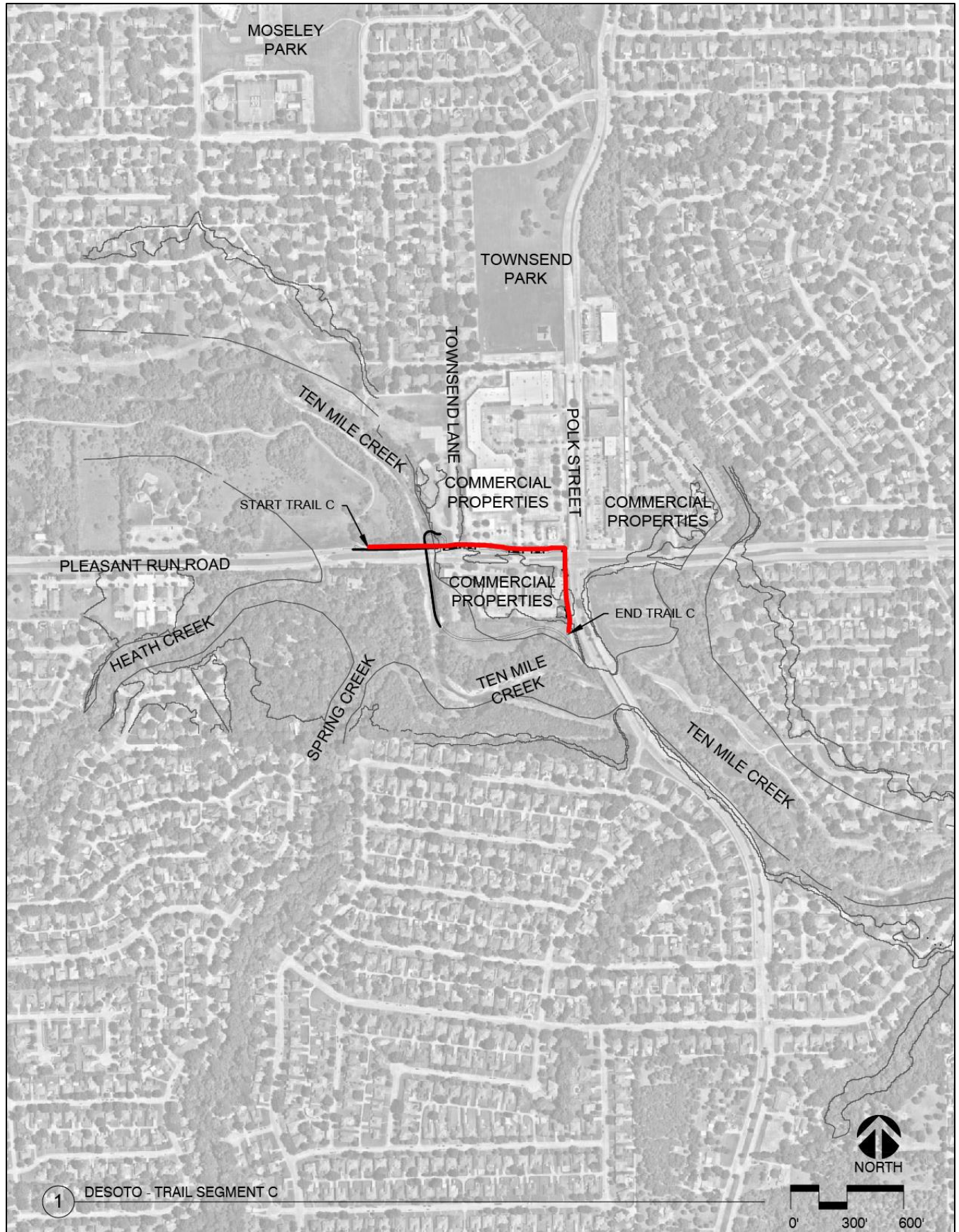
A retrofit of Pleasant Run Rd. bridge will shift the curb to expand the existing sidewalk to 12'-0" wide shared use path along the bridge (Refer to exhibit DS-3 below). A center median has 8'-0" of unused roadway pavement that will accommodate a shift of lanes allowing for the expansion of the existing sidewalk along the bridge. Once across the bridge, due to limited space, many utilities will be required to be adjusted and relocated to accommodate the 12'-0" wide sidepath. Space is limited and some utilities will need to be adjusted and or relocated to allow for a 12'-0" sidepath. At Polk Street, the sidepath will follow Polk Street to the existing Roy Orr Trail, a 5' parkway will be existing between edge of sidepath and edge of roadway. The entry point along Roy Orr Trail is very steep and requires adjustments of grades to meet ADA requirements.

Project Stakeholders

- City of Desoto

Alignment and Engineering Constraints

- Seeking final approvals and easements from Private Property Owners



N.T.S.

Desoto Trail C Alt

Trail Alignment

Trail Segment C Alt is an optional alignment to connect Roy Orr Trail at the intersection of Pleasant Run Rd. and Polk Street. The alternative alignment will cross under Pleasant Run Rd rather than crossing the roadway at-grade at the Polk St. intersection. This alignment does require Pleasant Run Rd. retrofit to accommodate expansion of the sidewalk on the existing bridge. The alternative alignment will serve as a sidepath starting at Pleasant Run Rd. and Townsend Lane and circles around and loop underneath Pleasant Run Rd. to the south side of the roadway and then following around the south of the commercial properties where it would connect back with the existing Roy Orr Trail along Polk St.. The sidepath is proposed to start at the same grade as Pleasant Run Rd. on the east side of the creek and then loop around at 4 to 4.5 percent descent and then continue south under the Pleasant Run Rd. bridge.

The existing conditions under the Pleasant Run Rd. vehicle bridge over Ten Mile Creek will require special construction considerations that will increase the cost of construction. The existing ground is mostly rock and a clear span of about 10 feet is available from the end of the vehicular bridge riprap to the existing rock face. The top of the rock face is about 15 feet above the water in Ten Mile Creek. These confined spaces may require an extensive amount of difficult work and special equipment to build the proposed sidepath section. The 12-ft wide sidepath would be benched into the existing concrete riprap/slope protection. The sidepath will then travel underneath Pleasant Run Rd., utilizing a seawall on the creek side with a one-way valve (Refer to exhibit DS-1 below).

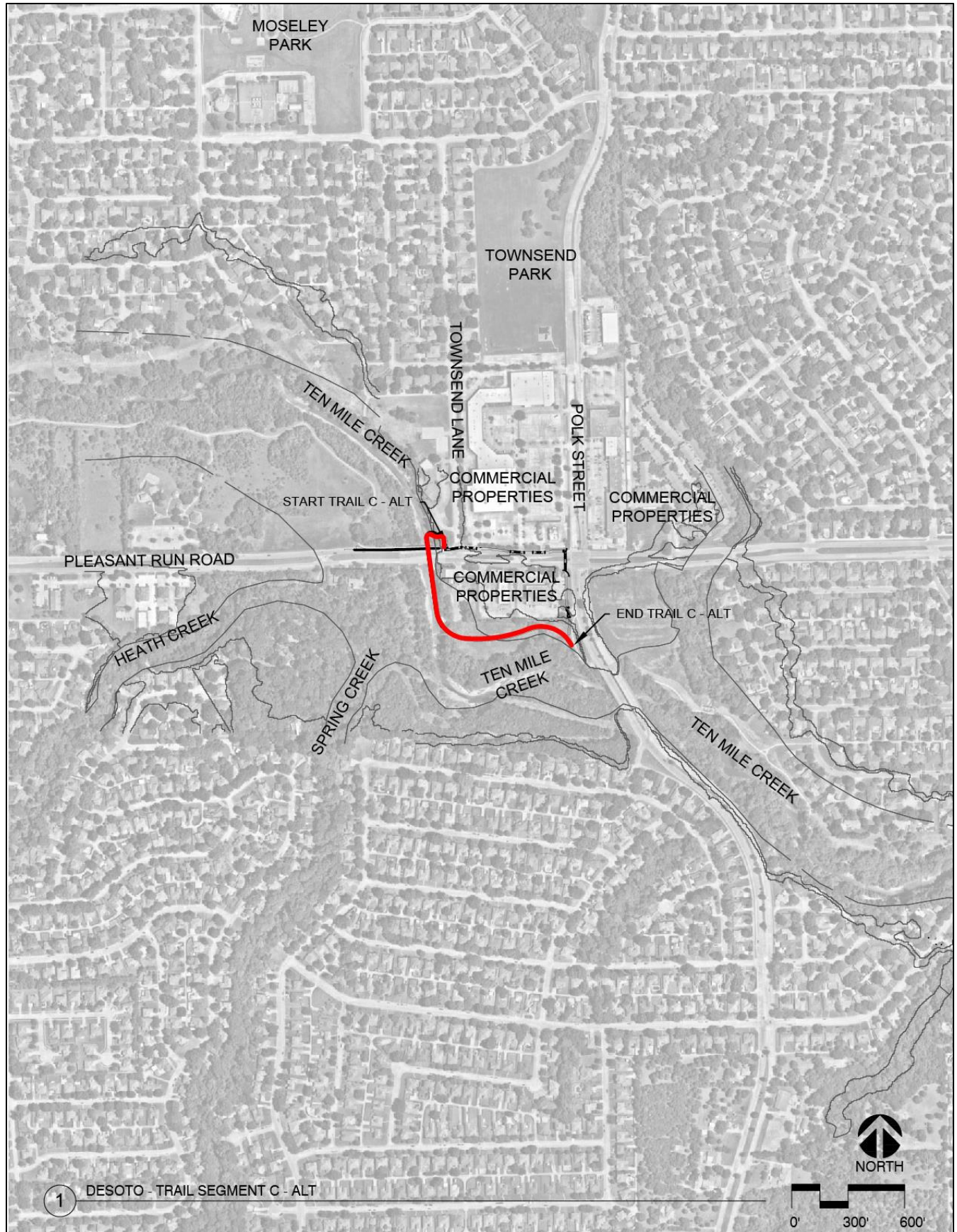
Once across Pleasant Run Rd., the sidepath continues around the commercial properties and connects back to Roy Orr Trail. Along the south side of the commercial properties at the corner of Pleasant Run Rd. and Polk St. have underground utilities running through them. Further investigation will need to happen to locate these lines.

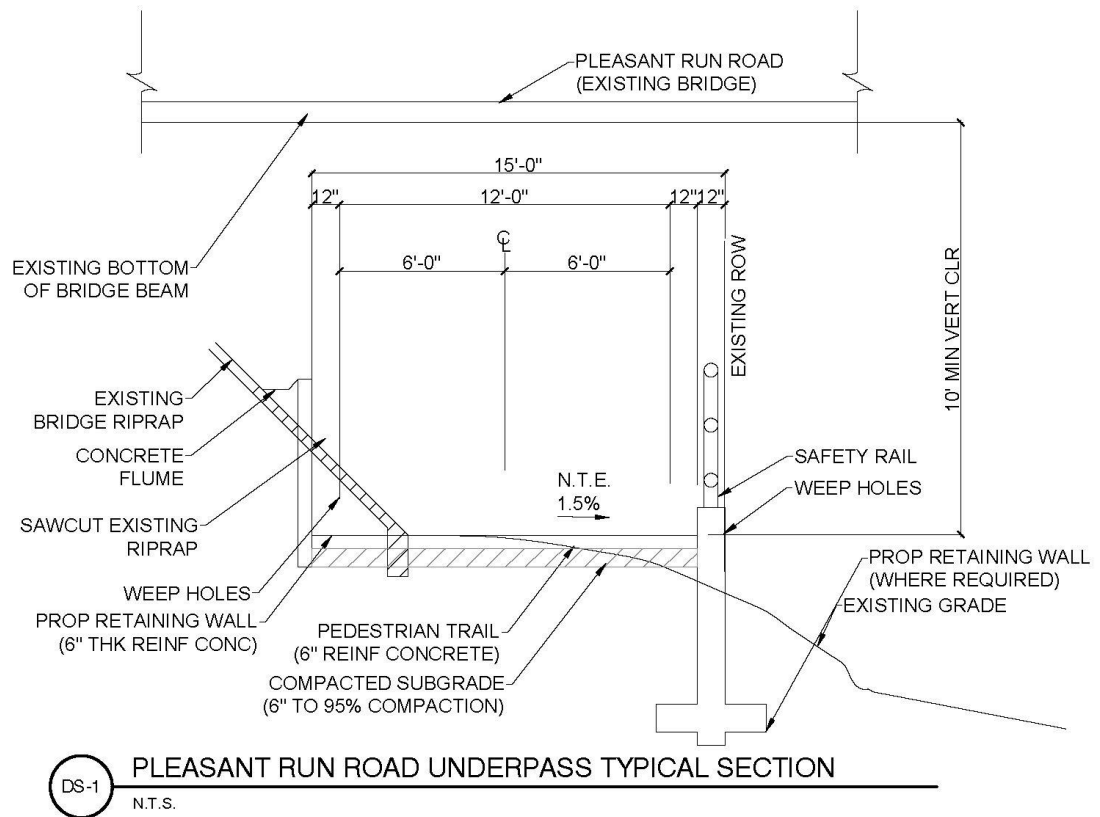
Project Stakeholders

- City of Desoto
- Private Property Owners
- Utility Companies

Alignment and Engineering Constraints

- Terrain/Minimizing the retaining wall needs
- Final approvals and easements from Private Property Owners





Desoto Trail D

Trail Alignment

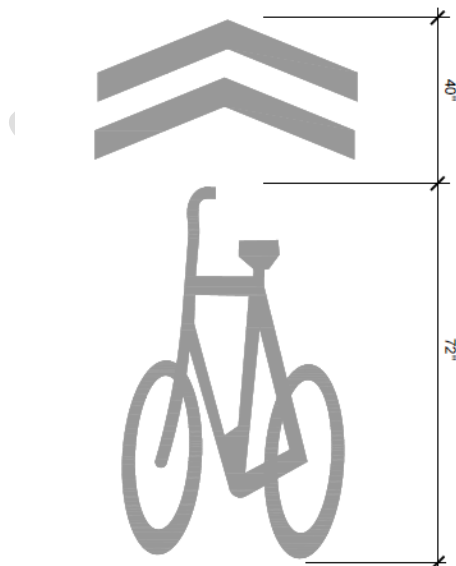
Trail Segment D will serve as an on-street bikeway connection between existing sections of the Roy Orr Trail. On-street shared - lane marking (sharrows) would be installed along Meadows Parkway (approximately 600 feet) and Plantation Dr. (approximately 300 feet) to provide a bikeway connection for Roy Orr Trail. The existing sidewalks along both roadways would be retained for use by pedestrians. A shared lane marking on both roadways was chosen due to the number of residential properties that face this roadway and the amount of on-street parking used by the adjacent homeowners. Multiple signage indicating the start and end of the sharrow and what direction the sidepath continues would be installed to clearly define the bikeway alignment to connect the existing path through the neighborhood. The design proposes shared lane marking signage along with including an additional indicator to vehicles to be aware that cyclists may be present along this stretch of roadway.

Project Stakeholders

- City of Desoto

Alignment and Engineering Constraints

- Seeking final approvals from City of Desoto on pavement markings and signage locations.



3

SHARE LANE MARKING

N.T.S.



Desoto Trail E

Trail Alignment

Trail Segment E will serve as a sidepath connecting Murphy Hills Park Trail along the east of the residential properties that front onto Alpine Drive and connecting through the existing QT convenience store property at E. Belt Line Rd. Tree mitigation will need to be explored for this alignment due to the existing dense vegetation east of the residential properties. An easement will be required through QT property. The sidepath will then cross Ten Mile Creek within TxDOT right-of-way avoiding any easement on private property.

The alignment of the sidepath east of Ten Mile Creek will cross under the IH35E southbound frontage road (SBFR) bridge and the elevated IH35E main lanes. The sidepath will climb the embankment diagonally to meet the IH35E northbound frontage road with an at-grade crossing at the signalized Belt Line Rd intersection in the City of Lancaster where it will continue eastward in Lancaster along the north side of W. Belt Line Rd.

The pedestrian bridge type is a single-span, 114-foot (likely will utilize 110 or 120-foot-long standard length), prefabricated shared use path bridge sitting on cast-in-place concrete abutments. The total width of the bridge is 16 feet. This bridge width is typical for these types of fabricated bridges based on previous experience, but the width of the bridge is customizable. The type of bridge shown is a Keystone Continental Pedestrian Bridge from Contech, the same as for the Bridge Connection to Waterview Park.

The challenge at this location was during the process of aligning the sidepath to minimize impacts to the QuikTrip property by locating the pedestrian in the TxDOT IH-35E ROW and aligned to cross perpendicular to the creek. This was done to minimize bridge length and reduce potential obstacles for hydraulics. The proposed location of the shared use path bridge meets these constraints. The sidepath will require walls on both sides of the sidepath for the portion between the frontage roads. The existing slope is 2:1-3:1 with gabion mattress revetment. The sidepath will require walls with varying heights on both sides of the sidepath for the area underneath IH35E and coordination with TxDOT will be necessary, refer to Appendix 1 for concepts and discussions with TxDOT.

The sidepath crossing underneath the IH 35E SBFR Frontage Rd., will utilize a seawall on the creek side with a one-way valve and ending at the Lancaster/Desoto city limits (Refer to exhibit DS-4 below). Crossing underneath IH 35E requires cutting into the embankment and constructing two retaining walls on both sides of the sidepath preventing the sidepath from flooding.

Project Stakeholders

- City of Desoto
- City of Lancaster
- TxDOT
- QuikTrip
 - Easement Required

Alignment and Engineering Constraints

- Final approvals and easements from TxDOT and Private Property Owners
- Further coordination with City of Lancaster on construction timeline
- ADA
- Terrain, minimizing retaining wall needs
- Profile to accommodate at grade crossing of the NBFR at the signalized W. Belt Line Rd intersection



DRAFT

Lancaster Trail A

Trail Alignment

Trail Segment A will extend along the north side of W. Belt Line Rd. from IH 35E northbound frontage road (NBFR) to the existing Pleasant Run Hike and Bike Path near Rosa Parks-Millbrook Elementary School. The sidepath will be a continuation of the IH 35E crossing at the Lancaster/Desoto city limits, utilizing a seawall on the creek side with a one-way valve. Crossing underneath IH 35E requires cutting into the embankment and constructing two retaining walls on both sides of the sidepath preventing the sidepath from flooding (Refer to Exhibit L-1). Once up to grade at the northbound IH 35E frontage road, the sidepath will cross the frontage road at the signalized intersection and continue along the north side of Belt Line Rd. (Refer to Appendix 1 for concepts and discussions with TxDOT).

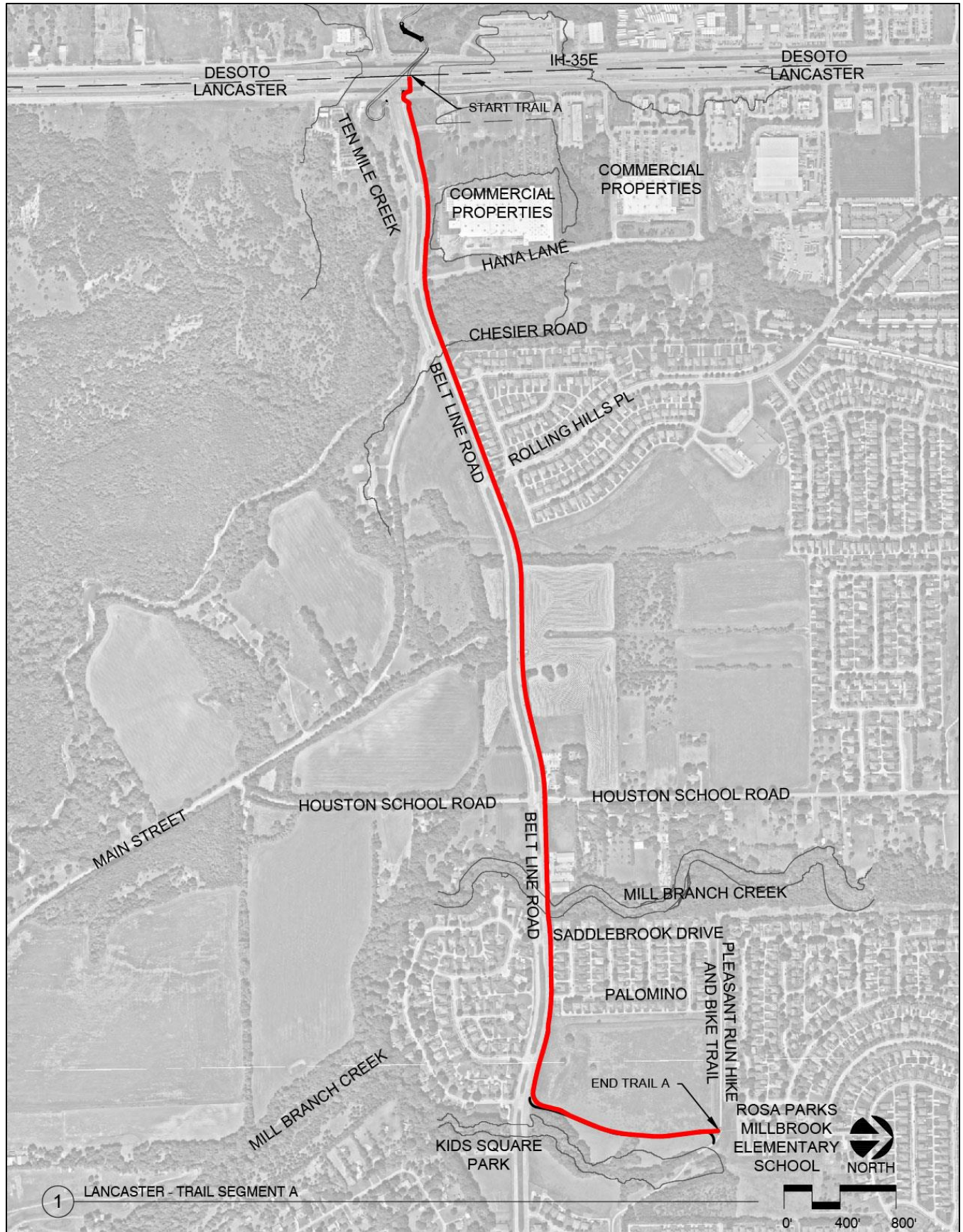
Near Houston School Rd. there is limited space within the W. Belt Line Rd right-of-way to accommodate the replacement of the existing sidewalk with a 12-ft wide sidepath. Along W. Belt Line Rd., the outside vehicle lane curb and the inside median curb would be adjusted thus keeping all drive lanes consistent along Belt Line Rd. (Refer to Exhibit L-2). East of Palomino Drive, the roadway curb will remain, and the sidepath will continue (Refer to Exhibit L-3). Then connect to the existing sidewalk connecting Belt Line Rd. to Pleasant Run Hike and Bike Trail near Rosa Parks-Millbrook Elementary School.

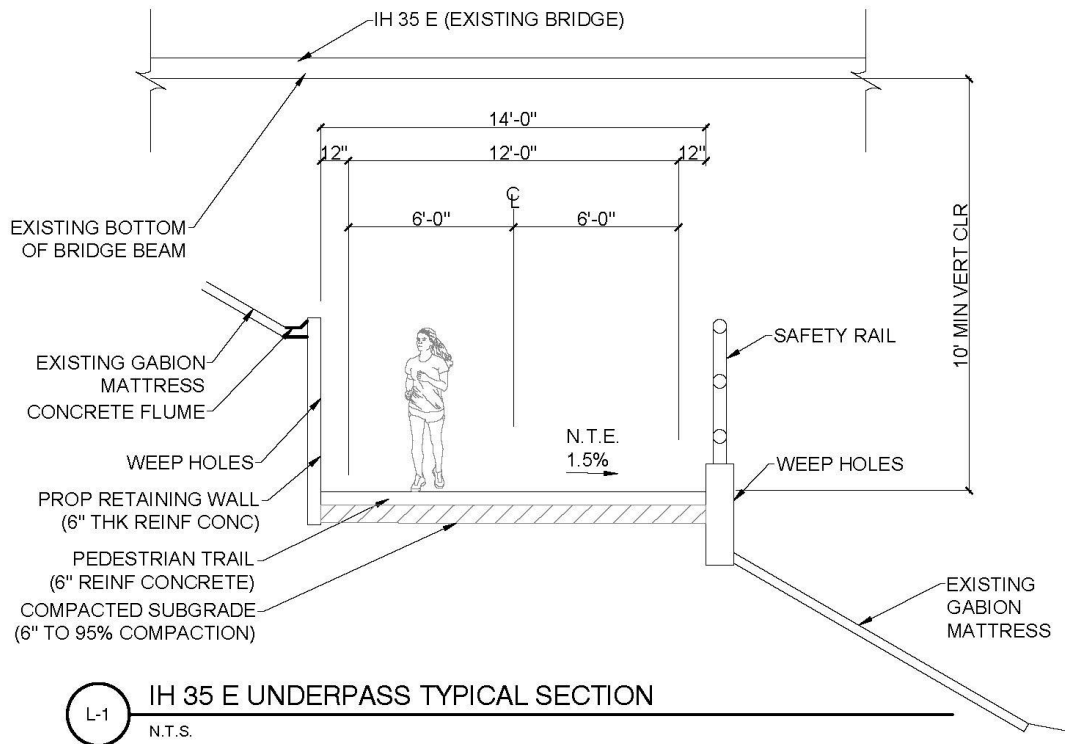
Project Stakeholders

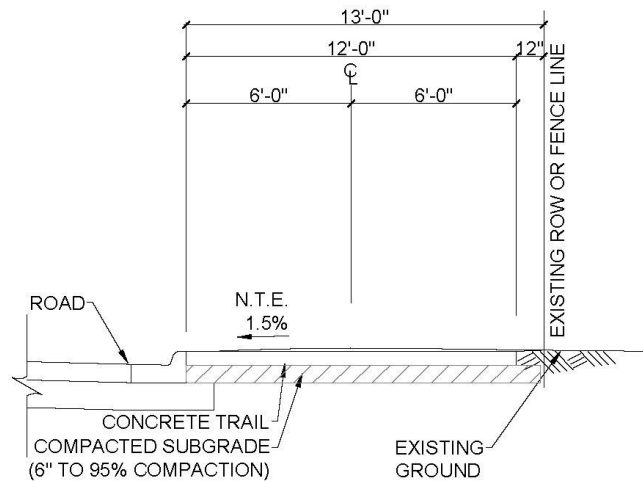
- City of Lancaster
- City of Desoto
- TxDOT
- Private Property Owners

Alignment and Engineering Constraints

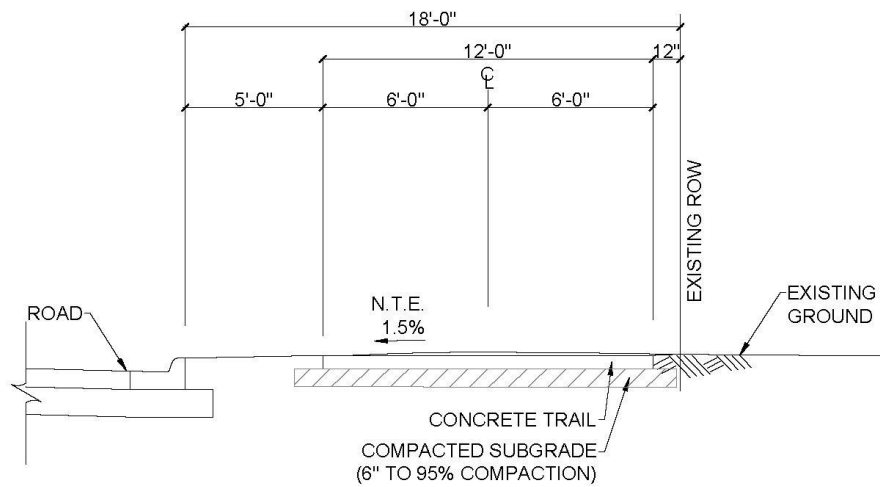
- Final approvals and easements from TxDOT and Private Property Owners
- Further coordination with city of Desoto on construction timeline for the IH35E crossing





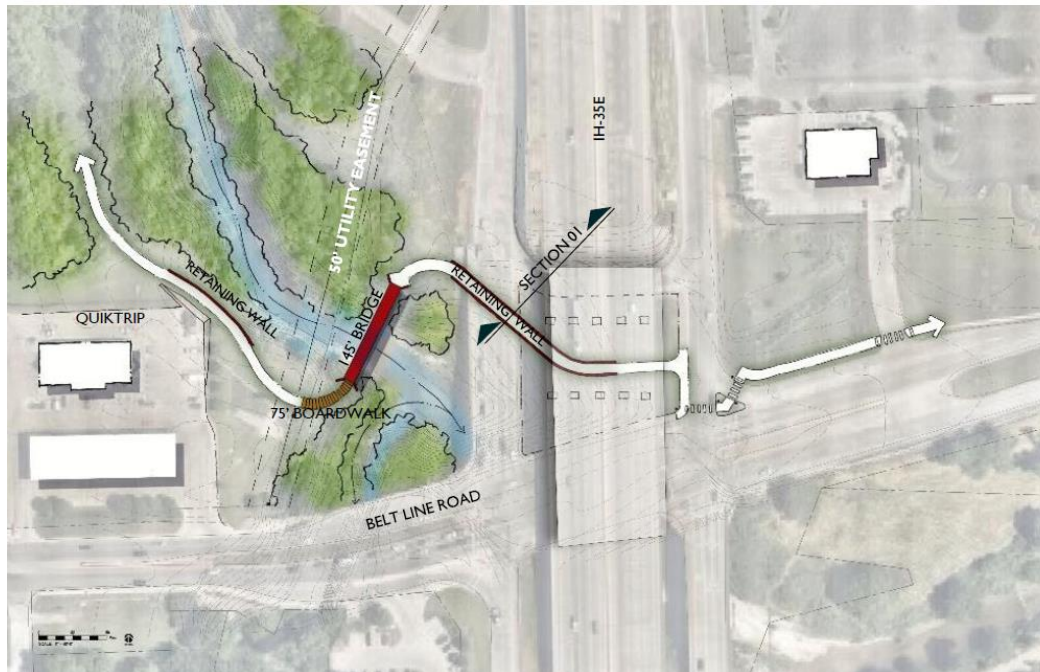


L-2 ADJACENT TO ROADWAY TYPICAL SECTION
N.T.S.



L-3 ROADWAY TYPICAL SECTION
N.T.S.

I. IH-35E BICYCLE/PEDESTRIAN CROSSING – CONCEPT A



CONCEPT GOALS

- 1 PROVIDE A SAFE BICYCLE/PEDESTRIAN EAST-WEST CROSSING UNDER IH-35E
- 2 FIND AN APPROPRIATE LOCATION FOR THE PROPOSED BICYCLE/PEDESTRIAN BRIDGE
- 3 ELEVATE THE TRAIL TO LIMIT WATER INUNDATION AND MAINTENANCE

CONCEPT SOLUTION

- 1 UTILIZES TxDOT ROW TO CROSS CREEK ON THE EAST SIDE OF THE EXISTING OVERHEAD ELECTRICAL LINE
- 2 UTILIZE A 75' BOARDWALK TO NAVIGATE THE CREEK SIDE SLOPES AND REDUCE IMPACT TO VALLEY STORAGE
- 3 UTILIZE A LOW AND HIGH WALL TO MAINTAIN PROPER ADA CROSS SLOPES UNDER IH-35 E SERVICE ROAD

Lancaster Trail A Alternate

Trail Alignment

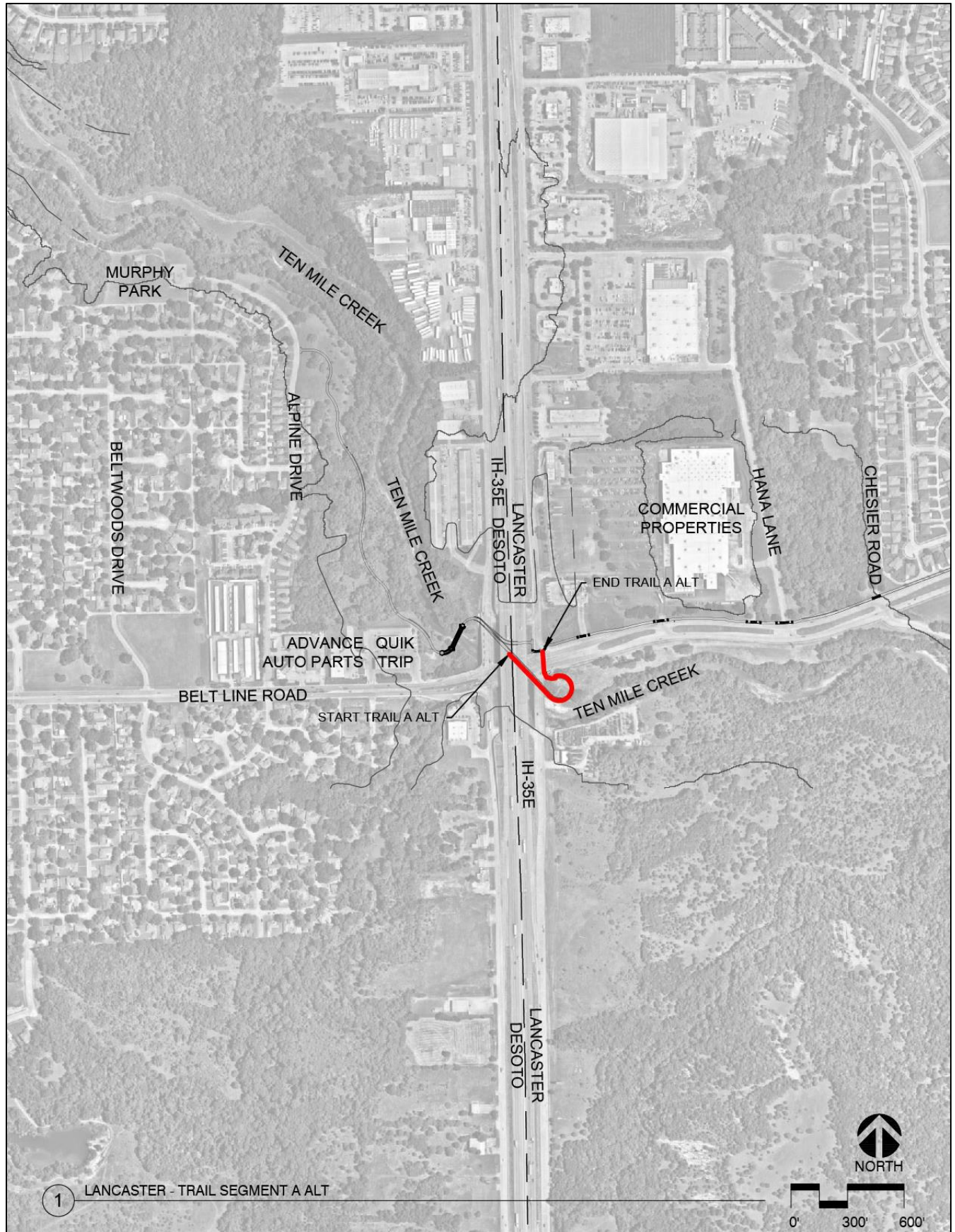
Trail Segment A – Alternate will serve as an optional sidepath alignment which carries underneath Belt Line Rd. and traverses on the south side of W. Belt Line Rd. in Lancaster. The sidepath will start underneath the IH 35E SB Frontage Rd. in the Desoto city limits utilizing a seawall on the creek side with a one-way valve, refer to Appendix 1 for concepts and discussions with TxDOT. The crossing underneath IH 35E and Belt Line Rd. requires the process of cutting into the embankment and the construction of two retaining walls on both sides of the sidepath, to prevent the sidepath from flooding (Refer to Exhibit L-1). Once on the southeast side on Belt Line Rd. and IH 35E frontage road the sidepath will traverse up to the same elevation as Belt Line Rd. Once at grade, the sidepath will then cross Belt line Rd. and end on the north side of the intersection where it will meet back with.

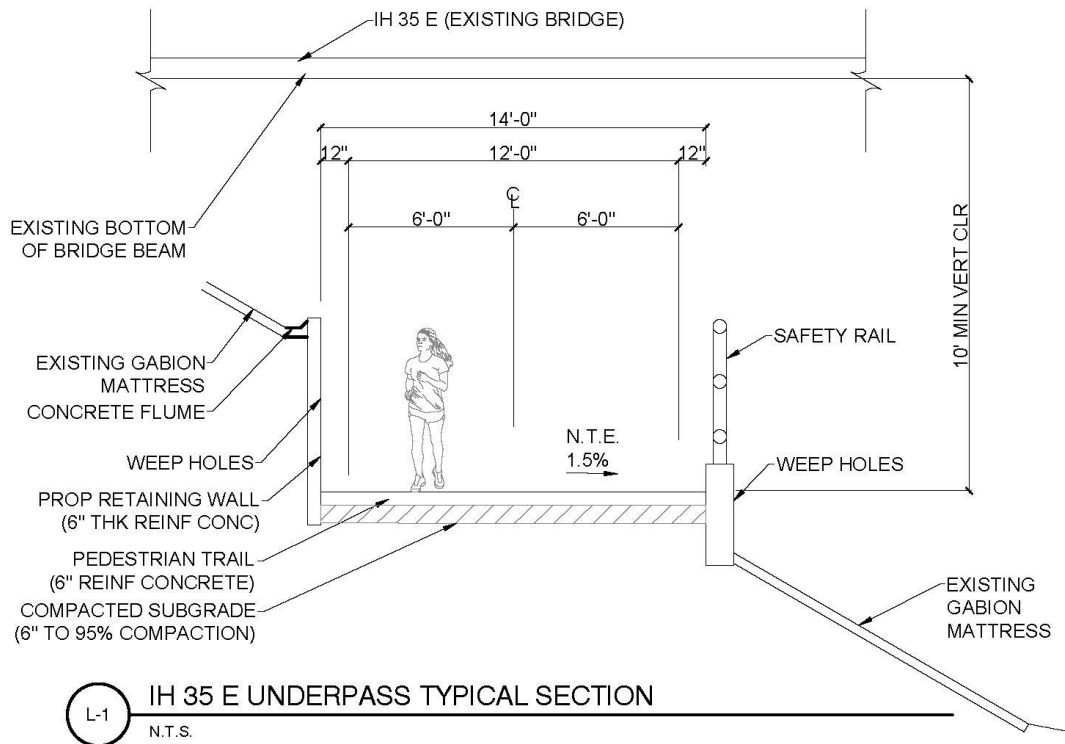
Project Stakeholders

- City of Lancaster
- City of Desoto
- TxDOT

Alignment and Engineering Constraints

- Final approvals and easements from TxDOT and Private Property Owners
- Coordination between City of Desoto on construction timeline of IH35E crossing





I. IH-35E BICYCLE/PEDESTRIAN CROSSING – CONCEPT C



CONCEPT GOALS

- 1 PROVIDE A SAFE BICYCLE/PEDESTRIAN EAST-WEST CROSSING UNDER IH-35E
- 2 FIND AN APPROPRIATE LOCATION FOR THE PROPOSED BICYCLE/PEDESTRIAN BRIDGE
- 3 ELEVATE THE TRAIL TO LIMIT WATER INUNDATION AND MAINTENANCE

CONCEPT SOLUTION

- 1 UTILIZES TXDOT ROW TO CROSS CREEK ON THE EAST SIDE OF THE EXISTING OVERHEAD ELECTRICAL LINE
- 2 UTILIZE A 75' BOARDWALK TO NAVIGATE THE CREEK SIDE SLOPES AND REDUCE IMPACT TO VALLEY STORAGE
- 3 UTILIZE A LOW AND HIGH WALL TO MAINTAIN PROPER ADA CROSS SLOPES UNDER IH-35 E SERVICE ROAD
- 4 CONNECTION TO SOUTH SIDE OF BELT LINE ROAD

Lancaster Trail B

Trail Alignment

Trail Segment B will serve as a sidepath along W. Belt Line Rd. from Pleasant Run Rd. Hike and Bike Sidepath to W. Main St., then along the north side of Main Street from Pleasant Run Rd. to Dallas Avenue (SH342).

The sidepath would replace the existing sidewalk along the north side of W. Belt Line Rd. from the existing Pleasant Run Hike and Bike Sidepath (approximately 200 feet west of Cloverleaf Dr.) to the intersection of W Main St. (Refer to Exhibit L-2). The sidepath alignment should not affect the existing overhead utility poles in the corridor.

The existing drainage swale along Main Street can be modified where necessary to accommodate the sidepath within the wide parkway. Detailed field survey would be required to verify the feasibility of regrading the ditches (Refer to Exhibit L-4). The safety of sidepath and road users must be considered when designing modifications to the ditch system due to the possibility of steep side slopes of that may occur when accommodating the sidepath

An existing dual barrel drainage structure is present near east of the intersection of Belt Line Rd. and Quail Hollow Drive. This structure appears to be in good shape but may need slight modification to accommodate the sidepath. Detailed survey would be needed to assess the feasibility of reuse of the structure. There is also an existing bridge in-between Quail Hollow Drive and Annette Street along Belt Line Rd. with ample, unused pavement width to accommodate the full sidepath width.

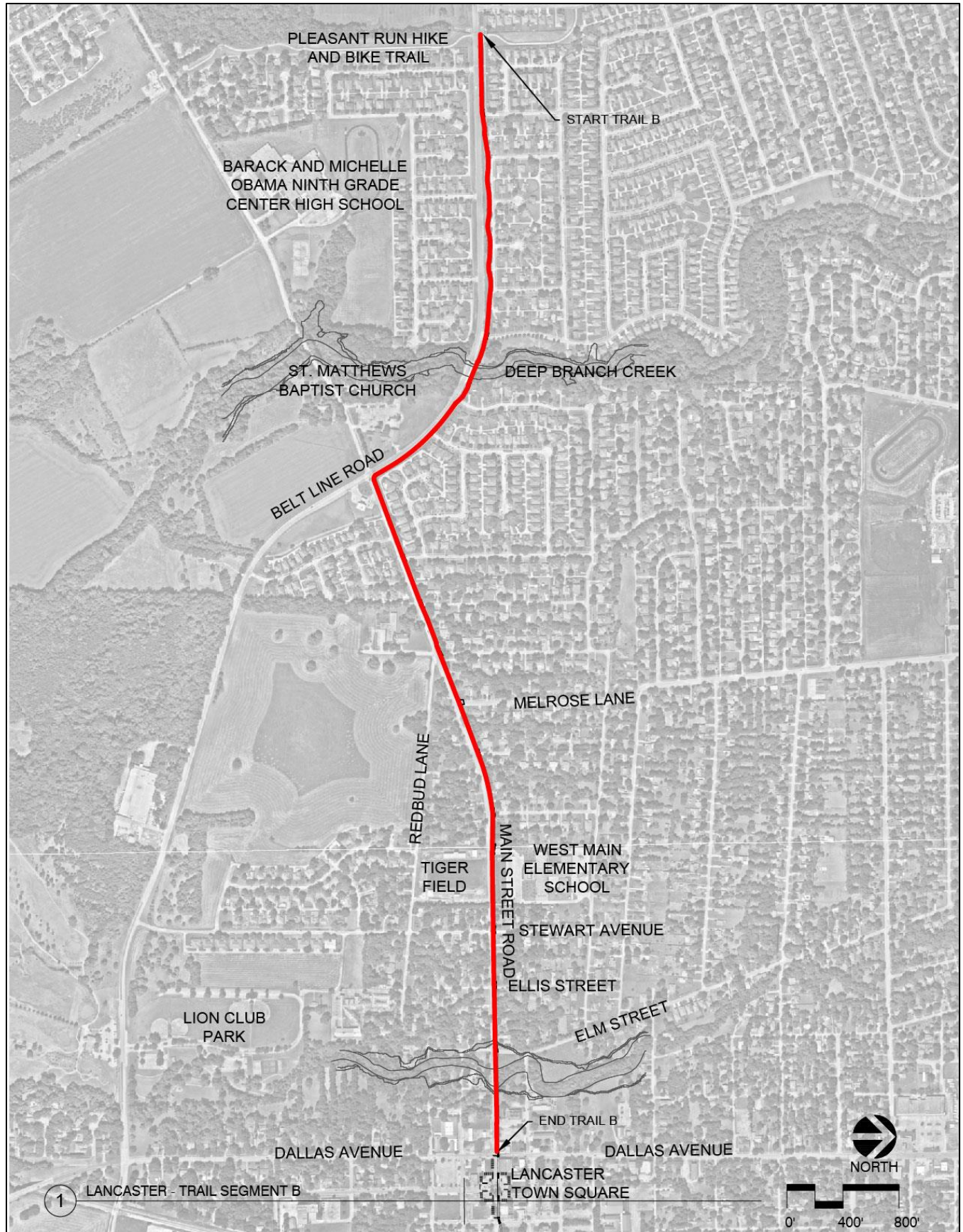
Along Main Street east of W. Belt Line Rd near West Main Elementary School there is limited space within the street right-of-way. A curb adjustment to the outside vehicle lane would be necessary in order to replace the existing sidewalk with a 12'-0" wide sidepath. Two additional areas require curbs to be adjusted along Main Street between Belt Line Rd. and Lancaster Town Square at Dallas Ave (SH342).

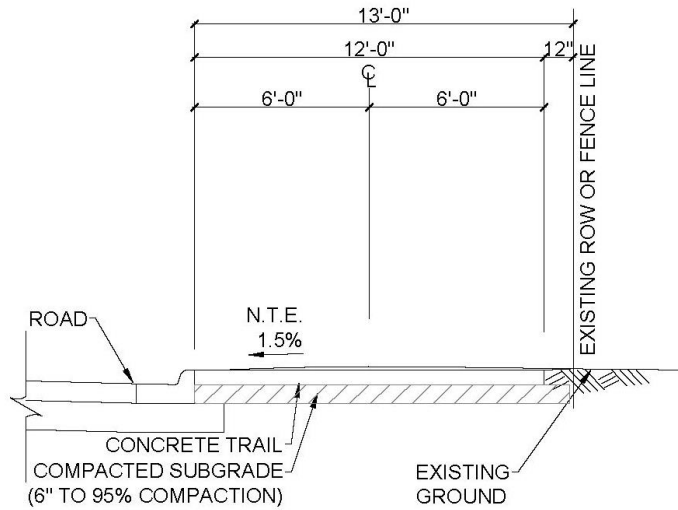
Project Stakeholders

- City of Lancaster
- Franchise Utility Owners

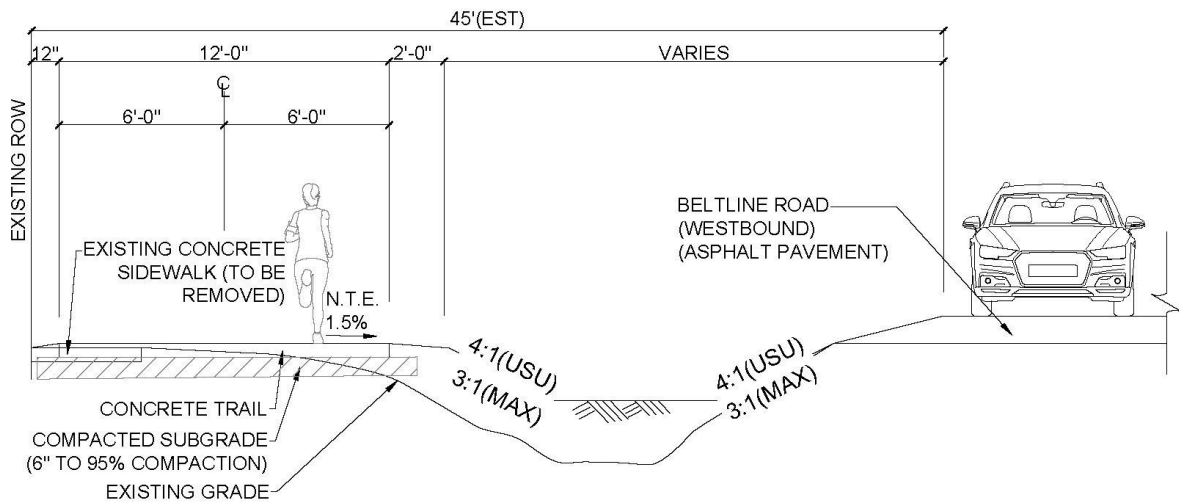
Alignment and Engineering Constraints

- Final approvals and easements from Private Property Owners
- Further approval from city on curb adjustments along W. Main Street
- Terrain/Minimizing the retaining wall needs
- Existing drainage ditch on north side of W. Belt Line Rd.





L-2 ADJACENT TO ROADWAY TYPICAL SECTION
N.T.S.



L-4 BELTLINE ROAD TYPICAL SECTION
N.T.S.



Lancaster Trail C

Trail Alignment

Trail Segment C will serve as a sidepath along E. Main Street through Lancaster Town Square east to Lancaster Hutchins Rd., then along the west side of N. Lancaster Hutchins Rd. from E. Main Street to E. Pleasant Run Rd. Various concepts to reconfigure Lancaster Town Square were identified during the study process. City staff selected a preferred concept that would reconfigure parking layout and an enlarged central gathering area to create a more pedestrian focused space. The existing Lancaster Downton Square layout has 75 parking spaces, and with the proposed design we will be adding two additional parking spaces making 77 total parking spaces. All the reconfiguration concepts discussions with city staff are provided in Appendix (2).

East of Henry Street, on the eastern side of Lancaster Town Square, the sidepath will continue along the north side of Main Street. An at-grade crossing of the (BNSF) railroad would be installed with the sidepath continuing east to connect with Rocky Crest Park.

A series of drainage swales are located adjacent to the E. Main Street right-of-way lines. The drainage swales will shift from the right of way line inward between the proposed sidepath and the roadway (Refer to Exhibit L-5).

The sidepath is proposed to be located one foot inside the ROW and is generally sloped towards N. Lancaster-Hutchins Rd. The sidepath alignment should not affect the existing overhead utility poles in the corridor. Private driveway approaches may need to be rebuilt based on drainage and sidepath implications.

The existing ditch along Lancaster Hutchins Rd appears to have enough room to be relocated when the sidepath is installed and detailed field survey would be required to verify the feasibility of shifting the drainage swale. Due to potential drainage from steep side slopes, the safety of sidepath and road users must be considered when designing the ditch and sidepath. In tight areas, the open ditch drainage system along Lancaster Hutchins Rd may have to be converted to an enclosed pipe. This alternative would have fewer safety issues for sidepath and road users but would increase the construction costs. For this reason, the construction of extensive enclosed drainage system should be deferred until the roadway would need to be widened.

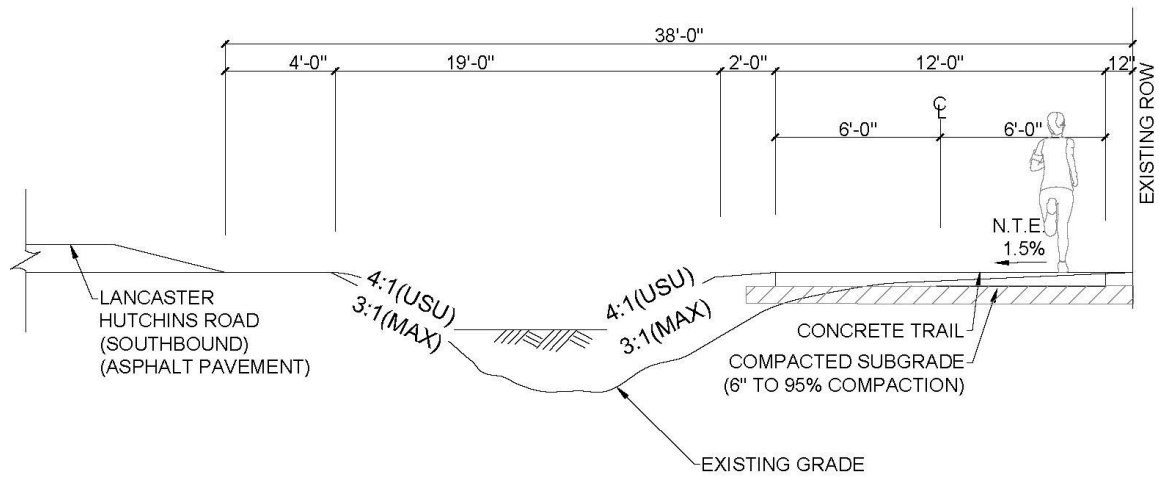
Project Stakeholders

- City of Lancaster
- St. Paul Free Will Baptist Church
- New Friendship Church
- Private Residential and Commercial Property Owners
 - Some tree removal north of E 3rd St needed
 - Some clearing and grubbing required for a couple block south of Pleasant Run
- Franchise Utility Owners
- BNSF Railroad Companies

Alignment and Engineering Constraints

- Final approvals and easements from Private Property Owners
- Navigating existing drainage courses and floodplain requirements
- Managing the sidepath cross slopes along the BNSF Railroad
- Further design of Lancaster Town Square
- Terrain/Minimizing the retaining wall needs
- Existing drainage ditch on west side of roadway
- Large drainage outfall at 531 Lancaster Hutchins





L-5 LANCASTER HUTCHINS ROAD TYPICAL SECTION
N.T.S.

DRAFT

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Kathryn.rush@dallascityhall.com

DRAFT

Appendix 1

Southern Dallas Co. Veloweb – TXDOT Design Review Meeting

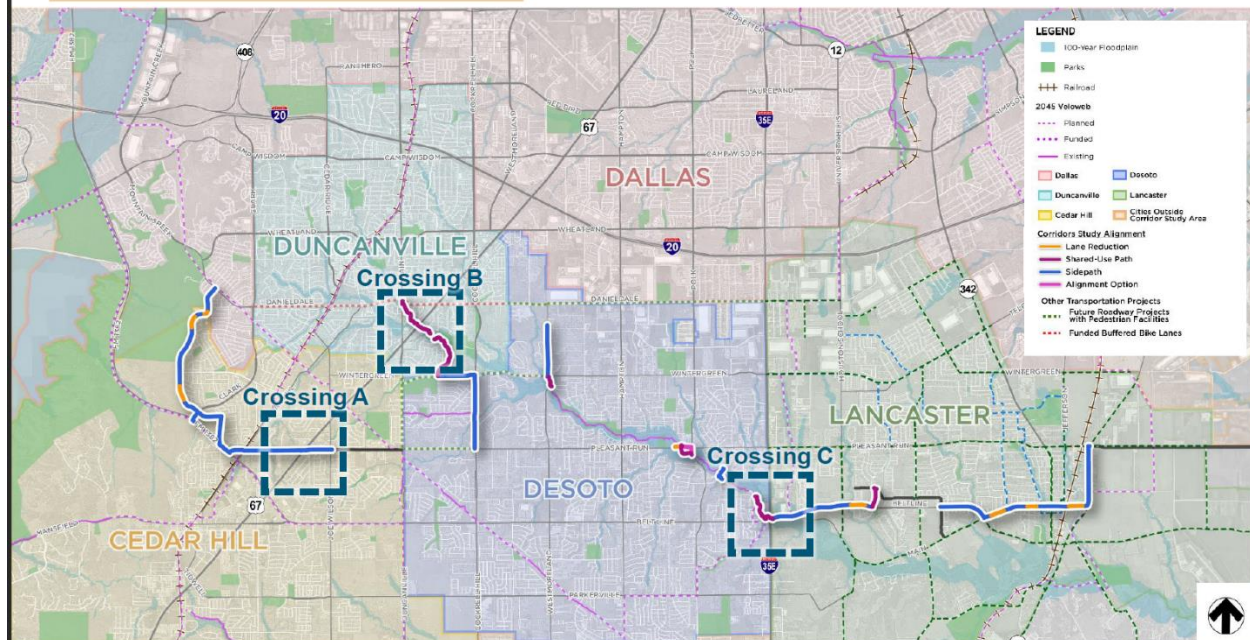
Meeting Date: March 2, 2021
Location: Microsoft TEAMS

Attendees:

NCTCOG –	Kevin Kokes, Matt Fall, Pat Rohmer, Robert Kozub
Halff Associates –	David Buchanan, Andrew Ehlers
TxDOT -	Maher Ghanayem, Liang Ding, Zaheerul Arefeen
City of Cedar Hill –	Robert Woodbury
City of DeSoto –	Tony Irvin, Nathan Busby
City of Duncanville –	Bart Stevenson, Timothy Hamilton
City of Lancaster –	Michael Rasco
Dallas County-	Micah Baker, Minesha Reese

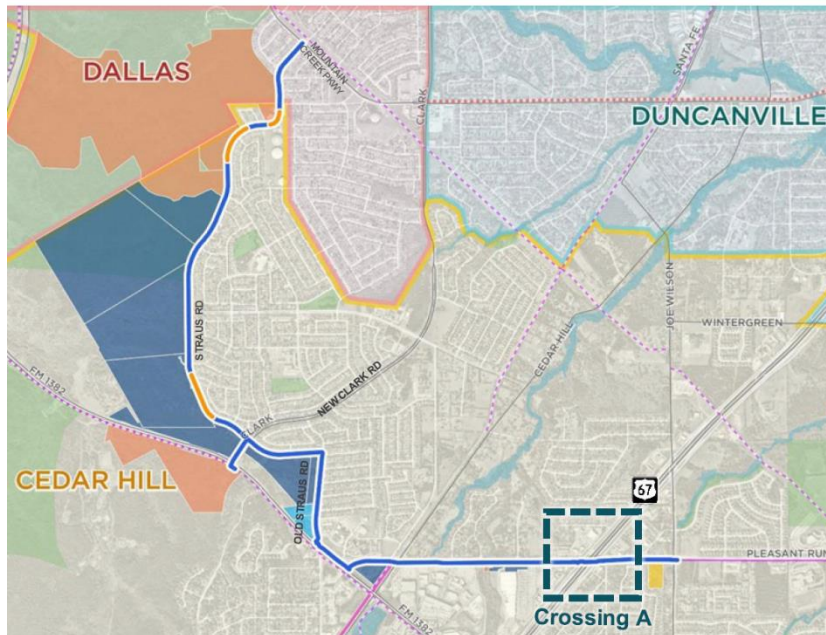
Overview (see exhibit below)

PROJECT CORRIDORS



1. Alignment study to identify the preferred alignment across in the Southern Dallas County. Highway crossings include US 67 at Pleasant Run Rd. (Cedar Hill), US 67 at Ten Mile Creek (Duncanville) and IH35E at Belt Line Rd. in DeSoto and Lancaster.
2. Final deliverable is a 5% design schematic, Opinion of Probable Construction Cost (OPCC) and environmental report.

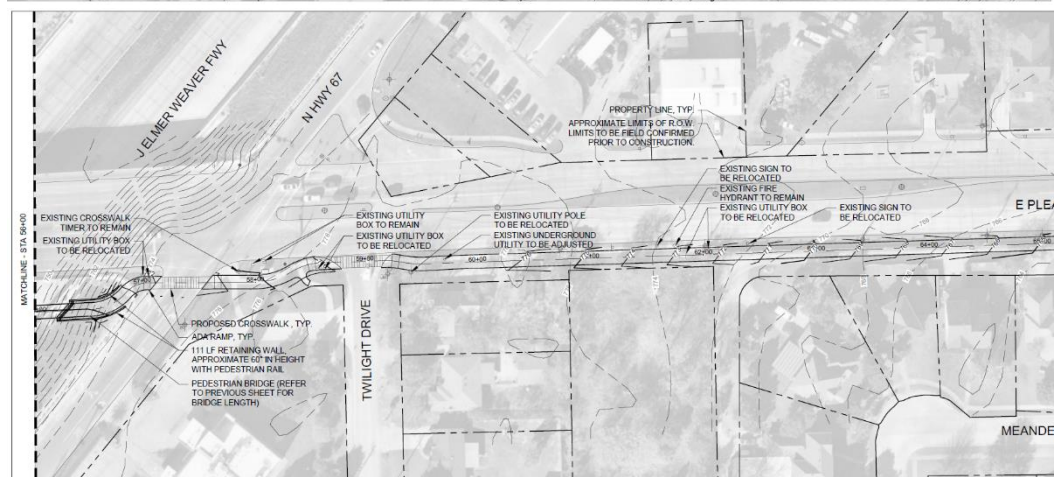
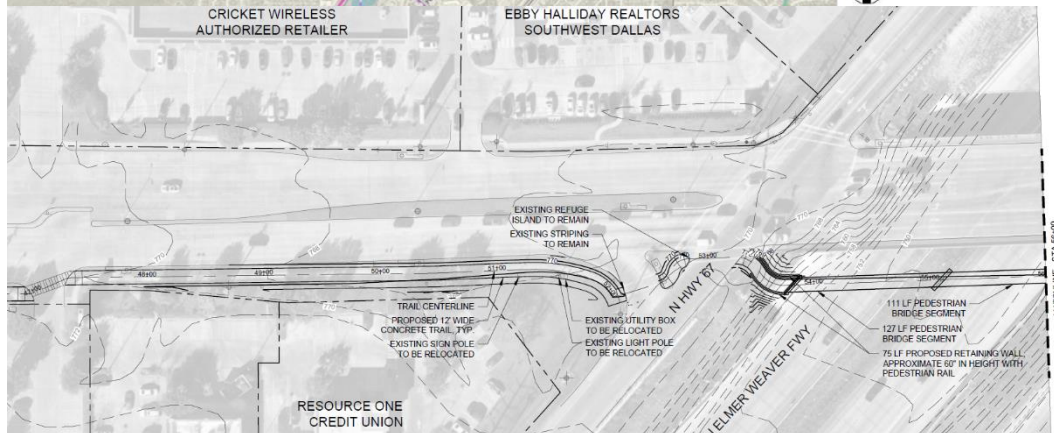
Crossing A: Cedar Hill (US 67 at Pleasant Run Rd.)

CEDAR HILL - ALIGNMENT**Cedar Hill Alignment****1. Crossing A: US 67 Crossing on Pleasant Run Road****Constraint**

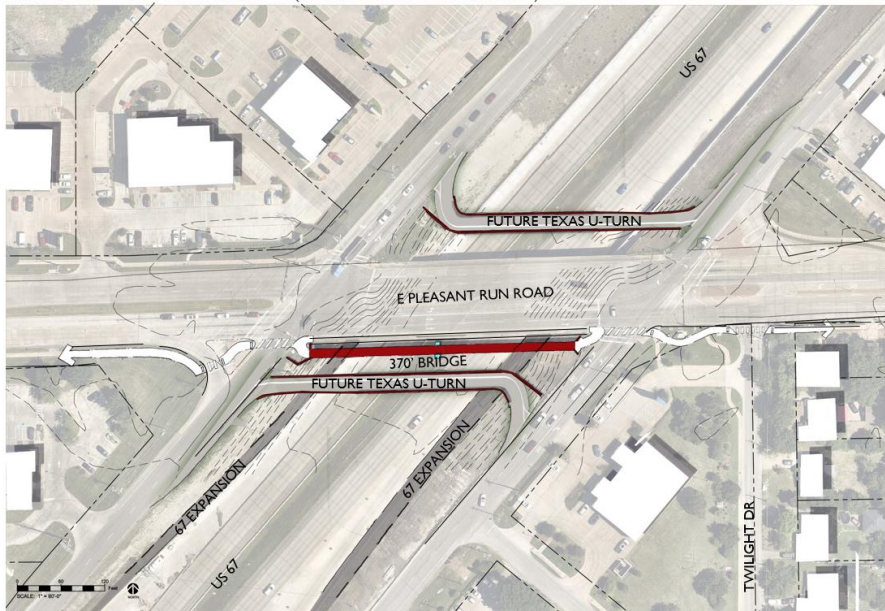
- Provide a safe pedestrian and bicycle crossing with minimal pedestrian vehicular conflict
- Utilize existing open space for approach

Solution

- Utilizes a separated pedestrian bridge with intermittent piers to shorten bridge lengths and reduce cost
- Utilizes the existing space along the open areas of US 67 frontage road to create accessible trail connections to the bridge crossing

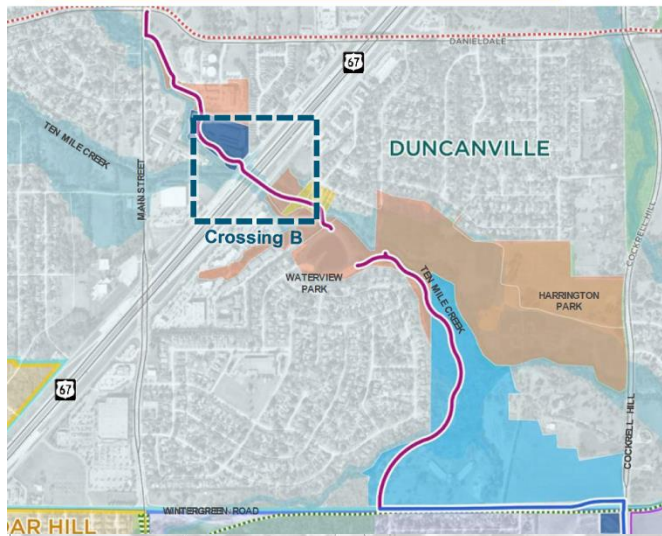


1. Stand- alone pedestrian bridge proposed on the south side of Pleasant Run Rd.
2. In response to Robert Woodbury's question regarding the potential implementation of Texas U-Turns, TXDOT confirmed none are planned. Halff Associates affirmed concepts were considered and the proposed location of the pedestrian bridge would not interfere with future Texas U-Turn implantation. The graphic below was presented at the September 11, 2020 meeting with TXDOT.



Crossing B: Duncanville US67 at Ten Mile Creek

DUNCANVILLE - ALIGNMENT



Duncanville Alignment

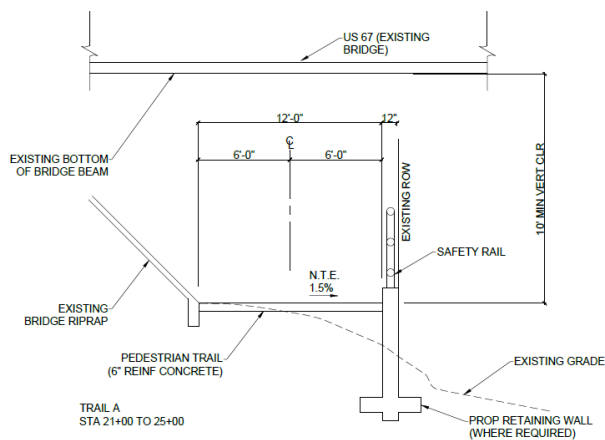
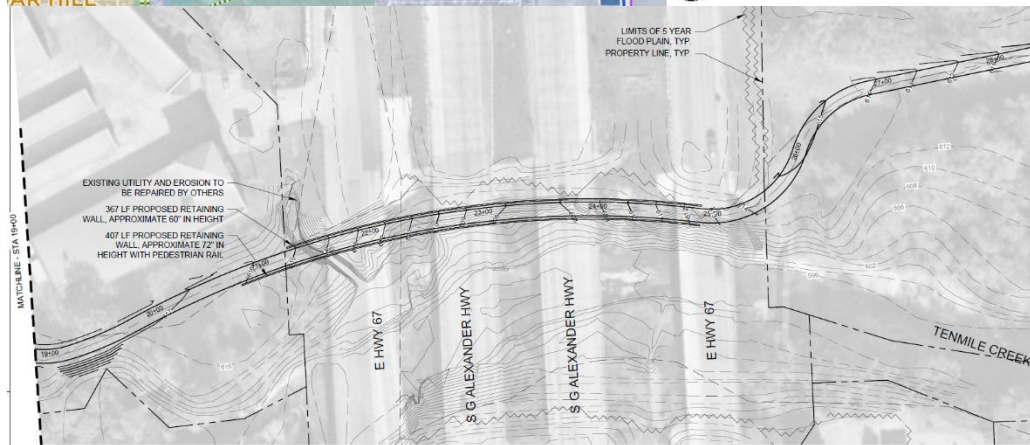
1. Crossing B: US 67 Undercrossing at Ten-Mile Creek

Constraints

- Elevate the trail to maintain proper vertical clearances and minimize prolonged flooding and reduce maintenance issues

Solution

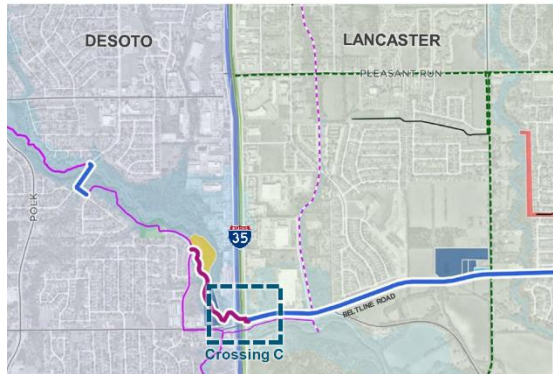
- Utilize a combination of low and high walls to maintain proper ADA cross slopes under US 67 service road



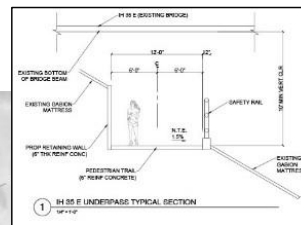
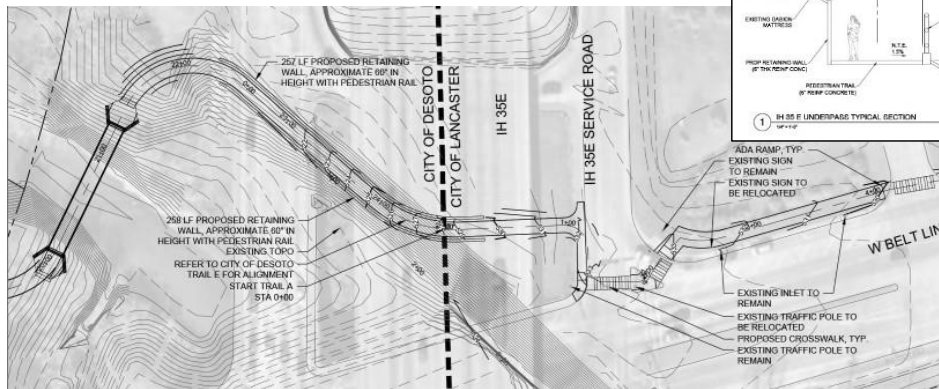
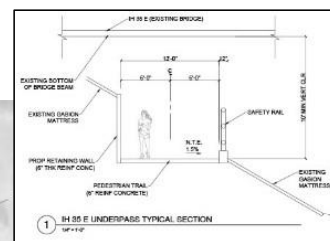
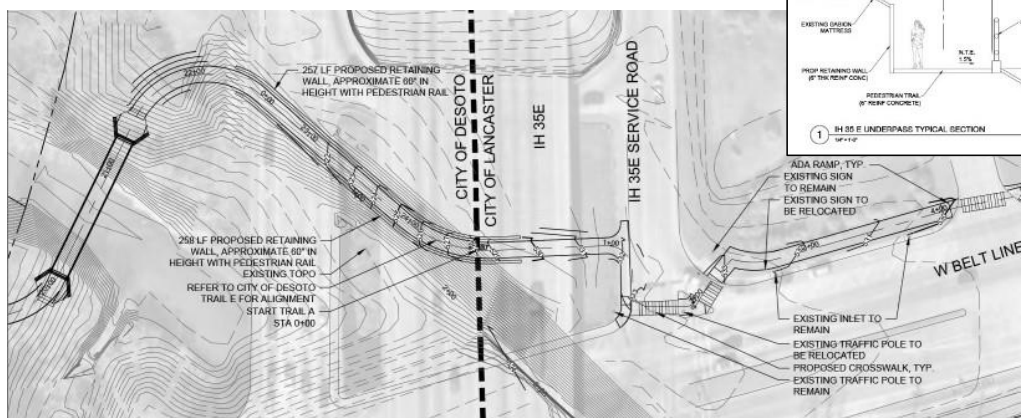
4 UNDER US 67 CROSSING TYPICAL SECTION
1/4" = 1'-0"

1. Proposed crossing under US67 to Waterview Park.

2. NCTCOG pointed out the existing erosion concern under the US 67 bridge. TxDOT staff verified the issue was to be addressed by the TxDOT Area Office Maintenance Department (Nathan Petter and Amanda Moser). Halff Associates will provide photos to Duncanville, NCTCOG and TxDOT for reference and evaluation. Maher G. also noted this location to be on-system and under the TxDOT jurisdiction. However, rehabilitation costs could be allocated to city or county if the trail construction is not administered/let by TxDOT. Trail construction would begin depending on funding, FY 2023 at the earliest.
3. Typical Section
 - Halff Associates presented the proposed typical section, noting the trail to be designed as highly elevated as possible to minimize impacts and use of the existing ledge for this purpose.
 - TxDOT staff noted typically 2-ft. offsets are needed on both sides of the path and confirmed 1-ft. offsets were acceptable.
 - Halff Associates verified a 42-inch height was proposed for the safety rail and not chain-link fence.
 - TxDOT staff requested typical section be revised to include drainage details illustrating water flow under the trail, through the existing bridge riprap, under the pedestrian trail and through the proposed retaining wall.

Crossing C: DeSoto/Lancaster (IH 35E at Belt Line Rd.)**DESOTO - ALIGNMENT****DeSoto Alignment****2. Crossing C: IH 35-E Undercrossing at Belt Line Road**

- Constraints**
 - Provide a safe bicycle and pedestrian east-west crossing under IH-35E
 - Find an appropriate location for the proposed bicycle and pedestrian bridge
 - Design trail to maintain proper vertical clearances and minimize prolonged flooding and reduce maintenance costs
- Solution**
 - Creek crossing between overhead electrical line and IH-35E southbound frontage road
 - Utilize a 75' boardwalk to navigate the creek side slopes and reduce impact to valley storage
 - Utilize a low and high wall to maintain proper ADA cross slopes under IH-35 E service road

DESOTO- IH-35 UNDERCROSSING**DESOTO- IH-35 UNDERCROSSING**

1. Typical Section – Halff Assoc. to include drainage flow details.

2. Lighting

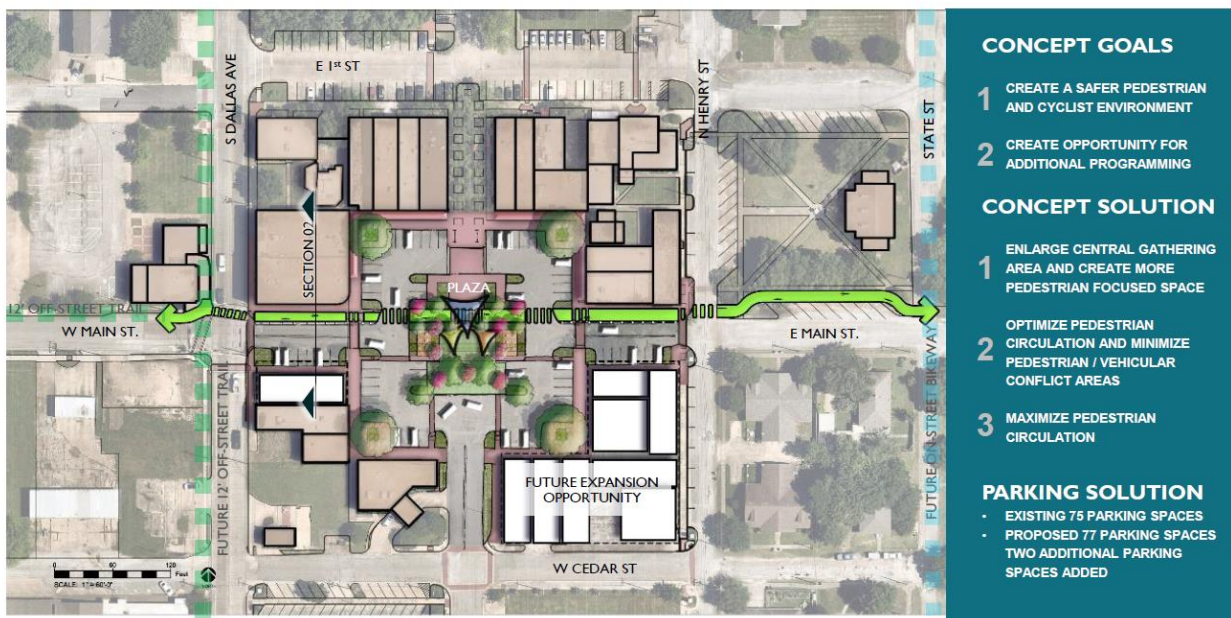
- TxDOT suggests can add lighting to top of safety rail. Halff Assoc. recommended lighting embedded within wall or independent solar lighting or hanging lighting fixtures. Evaluation of lighting fixtures will be provided to determine the best options for inundation.
- Lighting already included in OPCCs for under crossings (including inflation). David Buchanan will add to concepts and include lighting in OPCCs.

Next Steps / Action Items

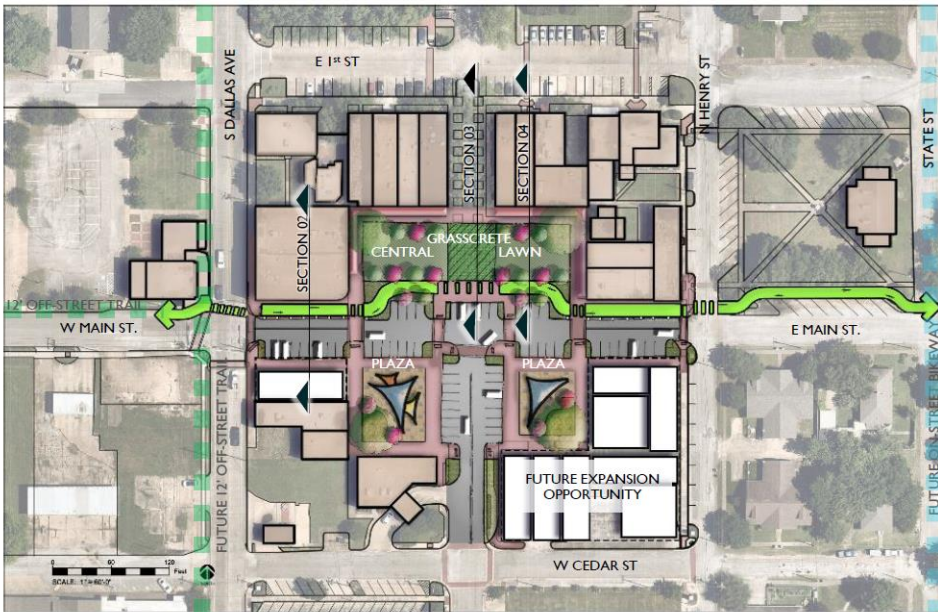
1. TxDOT staff provide comments on 5% schematic, cost estimate and environmental report to NCTCOG by March 15th.
2. NCTCOG - Follow up meeting tentatively, March 29th, if needed. Final review meeting if needed - present final deliverables
3. Halff Associates
 - Revise typical sections to add offsets from retaining wall and railing. OPCCs should include for the worst-case scenario for the reinforced concrete retaining walls.
 - Revise typical sections to include drainage detail with water flow under the trail
 - Add lighting to detail and OPCCs.
 - Provide photos of erosion under US67 in Duncanville to City staff, NCTCOG and TxDOT Area Office.

Appendix 1

4. DOWNTOWN LANCASTER – CONCEPT A



4. DOWNTOWN LANCASTER – CONCEPT B



CONCEPT GOALS

- 1 CREATE A SAFER PEDESTRIAN AND CYCLIST ENVIRONMENT
- 2 CREATE OPPORTUNITY FOR ADDITIONAL PROGRAMMING

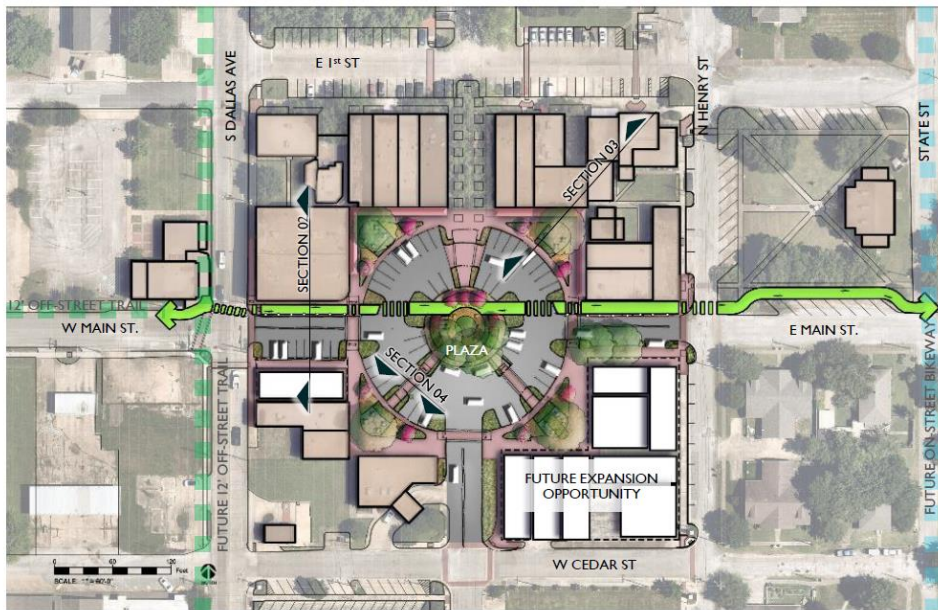
CONCEPT SOLUTION

- 1 CREATION OF A CENTRAL LAWN AREA TO FOCUS THE SPACE MORE ON THE PEDESTRIAN
- 2 UTILIZE GRASSCRETE TO ALLOW FOR FARMERS MARKET OR FOOD TRUCKS TO DRIVE ON THE CENTRAL LAWN AREA
- 3 OPTIMIZE PEDESTRIAN CIRCULATION AND MINIMIZE PEDESTRIAN / VEHICULAR CONFLICT AREAS.

PARKING SOLUTION

- EXISTING 75 PARKING SPACES
- PROPOSED 60 PARKING SPACES

4. DOWNTOWN LANCASTER – CONCEPT C



CONCEPT GOALS

- 1 CREATE A SAFER PEDESTRIAN AND CYCLIST ENVIRONMENT
- 2 CREATE OPPORTUNITY FOR ADDITIONAL PROGRAMMING

CONCEPT SOLUTION

- 1 PROVIDE A CENTRAL REFUGE FOR CYCLIST BY PROVIDING SHADE, SEATING, AND BIKE MAINTENANCE TOOLS.
- 2 ACTIVATE CORNERS FOR PEDESTRIAN REST AND SHADE
- 3 MAINTAIN EXISTING TRAFFIC PATTERN
- 4 SLOW DOWN TRAFFIC THROUGHOUT WITH RAISED PEDESTRIAN CROSSINGS.

PARKING SOLUTION

- EXISTING 75 PARKING SPACES
- PROPOSED 56 PARKING SPACES

CITY OF LANCASTER CITY COUNCIL

City Council Special Work Session and Regular Meeting

7.

Meeting Date: 09/25/2023

Policy Statement: This request supports the City Council 2023-2024 Policy Agenda

Goal(s): Sound Infrastructure
Quality Development

Submitted by: Nyliah Acosta, Assistant Director of Development Services

Agenda Caption:

M23-32 Conduct a public hearing and consider an ordinance granting a special exception to the City Code of Ordinances, Chapter 6- Reverse Frontage Lots, 6.07.006 (a) and 6.07.006 (b) to: 1) not meet the required 10-foot side yard setback along Westridge Ave to construct a fence on the property line; 2) have an 8-foot tall fence deviating from the 4-foot height maximum; and 3) not meet the fifty percent (50%) opaqueness requirement and have a hundred percent (100%) opaque fence, on the property addressed as 632 W. 5th St. known as Lot 1, Block 1, Westridge Acres Addition, City of Lancaster, Dallas County, Texas.

Background:

1. **Location and Size:**

The subject property is located at 632 W. 5th St and is approximately .22 of an acre in size.

2. **Current Zoning:**

The subject property is currently zoned Single-Family Residential (SF-6).

3. **Adjacent Properties:**

North: Single-Family Residential (SF-6); Single-Family Dwelling

South: Single-Family Residential (SF-6); Single-Family Dwelling

East: Single-Family Residential (SF-6); Single-Family Dwelling

West: Single-Family Residential (SF-6); Single-Family Dwelling

4. **Comprehensive plan Compatibility:**

The Comprehensive Plan designates this site as Mixed Use. The use of a single-family dwelling is compatible with the Comprehensive Plan.

Operational Considerations:

The subject property is an existing single-family dwelling in the Westridge Acres neighborhood. The site currently has a 5-foot tall chain link fence located on the property line. The applicant is proposing to replace the fence with an 8-foot tall opaque wooden picket fence, stating "the reason is for security purposes due to break-ins that have occurred." The existing fence sits on the property line, and has a corner clip for visibility at the southwest corner adjacent to the southern property's driveway. In addition, the current fence is approximately 21-feet behind the edge of the curb.

The City Code of Ordinances, Chapter 6- Reverse Frontage Lots, 6.07.006 (a) and 6.07.006 (b) state, "On all reverse frontage lots located on property zoned for residential use, or used for residential use, it shall be unlawful to construct, maintain, suffer or permit a fence within the required side yard area that is

adjacent to a front yard area at a distance closer than ten (10) feet of the side property line. It shall be an affirmation of defense to subsection (a) above that the fence is four (4) feet or less in height and the fence allows at least fifty (50) percent through vision."

Westridge is a designated 60-foot Collector, as outlined in the Master Thoroughfare Plan. However, approximately 75-feet of rights-of-way currently exist. This illustrates that there is enough ROW currently which should not impact the location of the fence in the future as no additional rights-of-way are required. The proposed fence is proposed to be located approximately 22-feet behind the adjacent neighbor's driveway. The fence will not inhibit the adjacent property's visibility from driving out of their driveway. The fence will be required to maintain a 15x10 visibility triangle from the adjacent public driveway and Westridge Ave.

Public Information Considerations:

On September 10, 2023, a notice for this public hearing appeared in the Focus Daily Newspaper. Staff mailed notifications of this public hearing to property owners within 200-feet of the subject site, and staff has not received any letters of support or opposition. This item is being considered at a Regular Meeting of the City Council and is noticed in accordance with the Texas Open Meetings Act.

Options/Alternatives:

1. The City Council may approve the request.
2. The City Council may approve the request with conditions and state those conditions.
3. The City Council may deny the request.

Recommendation:

Staff recommends approval as presented.

Attachments

Ordinance

Location Map

Fence Example

ORDINANCE NO.

AN ORDINANCE OF THE CITY OF LANCASTER, TEXAS GRANTING A SPECIAL EXCEPTION (M23-32) TO THE CITY CODE OF ORDINANCES, CHAPTER 6- (REVERSE FRONTAGE LOTS), 6.07.006 (a) AND 6.07.006 (b) TO: 1) NOT MEET THE REQUIRED 10-FOOT SIDE YARD SETBACK ALONG WESTRIDGE AVE. TO CONSTRUCT A FENCE ON THE PROPERTY LINE ; 2) HAVE AN 8-FOOT TALL FENCE DEVIATING FROM THE 4-FOOT HEIGHT MAXIMUM; AND 3) NOT MEET THE FIFTY PERCENT (50%) OPAQUENESS REQUIREMENT AND HAVE A HUNDRED (100%) OPAQUE FENCE. THE FENCE WILL BE REQUIRED TO MAINTAIN ALL VISIBILITY TRIANGLE REQUIREMENTS BY CITY ORDINANCE AND DESIGN FOR THE PROPERTY ADDRESSED AS 632 W. 5TH STREET, DESCRIBED AS LOT 1, BLOCK 1, WESTRIDGE ACRES ADDITION, CITY OF LANCASTER, DALLAS COUNTY, TEXAS, BEING IN SUBSTANTIAL CONFORMANCE TO THE ATTACHED EXHIBIT ATTACHED HERETO AND INCORPORATED HEREIN FOR ALL PURPOSES; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000) DOLLARS FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Lancaster, Texas has been presented with three (3) requests to: 1) not meet the required 10-foot side yard setback along Westridge Ave. to construct a fence on the property line; 2) have an 8-foot tall fence deviating from the 4-foot height maximum; and 3) not meet the fifty (50%) opaqueness requirement and have a hundred (100%) opaque fence; And

WHEREAS, the City Council of the City of Lancaster, in compliance with the laws of the State of Texas with reference to the granting of three (3) special exceptions have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all persons interested; and

WHEREAS, the City Council of the City of Lancaster, Texas finds that it is in the best interest to approve such exceptions in conformance with the attached exhibits.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the City of Lancaster, Texas hereby grants three (3) exceptions to: 1) not meet the required 10-foot side yard setback along Westridge Ave. to construct a fence on the property line; 2) have an 8-foot tall fence deviating from the 4-foot height maximum; and 3) not meet the fifty percent (50%) opaqueness requirement and have a hundred (100%) opaque fence. For 632 W. 5th Street, Lancaster, Texas, in conformance with the Exhibits attached hereto, and expressly maintaining all visibility triangle requirements by City ordinance and design standards.

SECTION 2. Except as expressly amended herein; Ordinance Number 2011-03-06, Chapter 6 Code of Ordinances of the City of Lancaster, Texas, as amended, shall remain in full force and effect, save and except as amended by this ordinance.

SECTION 3. If any article, paragraph, subdivision, clause or provision of this ordinance or the Lancaster Development Code be adjudged invalid or held unconstitutional for any reason, such judgment or holding shall not affect the validity of this ordinance as a whole or any part or provision thereof, or of the Lancaster Development Code, other than the part so declared to be invalid or unconstitutional.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance or the Lancaster Development Code of the City of Lancaster, Texas, shall be deemed guilty of a misdemeanor and, upon conviction in the municipal court of the City of Lancaster, Texas, shall be subject to a fine not to exceed the sum of Two Thousand (\$2,000.00) dollars for each offense, and

SECTION 5. This ordinance shall take effect immediately from and after its passage and the publication of the caption as the law and charter in such cases provide.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 25th day of September, 2023.

ATTEST:

Sorangel O. Arenas, City Secretary

APPROVED:

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney

SURVEY PLAT



BARRY S. RHODES, Registered Professional Land Surveyor (214) 326-1090
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at
No. 832 W 5th STREET in the City of Lancaster, Texas.
Being Lot 1, of Johnson and McElanahan Revised Subdivision of Lot 21, Block 1, of Westridge Acres Addition, an
Addition to the City of Lancaster, Dallas County, Texas, according to the Map or Plat thereof recorded in Volume
24, Page 123, of the Map and/or Plat Records, of Dallas County, Texas.



W 5TH STREET
(PLAT IN 5TH STREET)



Corner of fence
clipped for
visibility triangle

THE PLAN HEREON IS TRUE, CORRECT, AND ACCURATE REPRESENTATION OF THE PROPERTY AS DETERMINED BY SURVEY, THE LINES AND DIMENSIONS OF SAID PROPERTY BEING AS INDICATED BY THE PLATHER, SHEL, LOCARD AND TOWN OF BUILDING AND DIMENSIONS ARE AS SHOWN AND NO IMPROVEMENTS BEING WITHIN THE BOUNDARIES OF THE PROPERTY, SET BACK FROM PROPERTY LINES THE DISTANCE INDICATED, OR VISIBLE AND APPARENT ENCUMBRANCES.

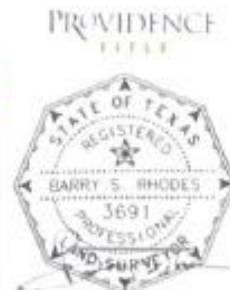
DEED AND ABSTRACTING WORK FURNISHED BY PROVIDENCE TITLE

THERE ARE NO ENCUMBRANCES, CONTRACTS, OR PROTECTIONS, EXCEPT AS SHOWN

Scale 1" = 20'
Date 09/03/2021
C. F. No. 110004868
Job no. 202109157
Drawn by D.D.

USE OF THIS SURVEY FOR ANY OTHER PURPOSE
OR OTHER PARTIES SHALL BE AT THEIR RISK.
AND UNDERSIGNED IS NOT RESPONSIBLE TO
OTHER FOR ANY LOSS RESULTING THEREFROM

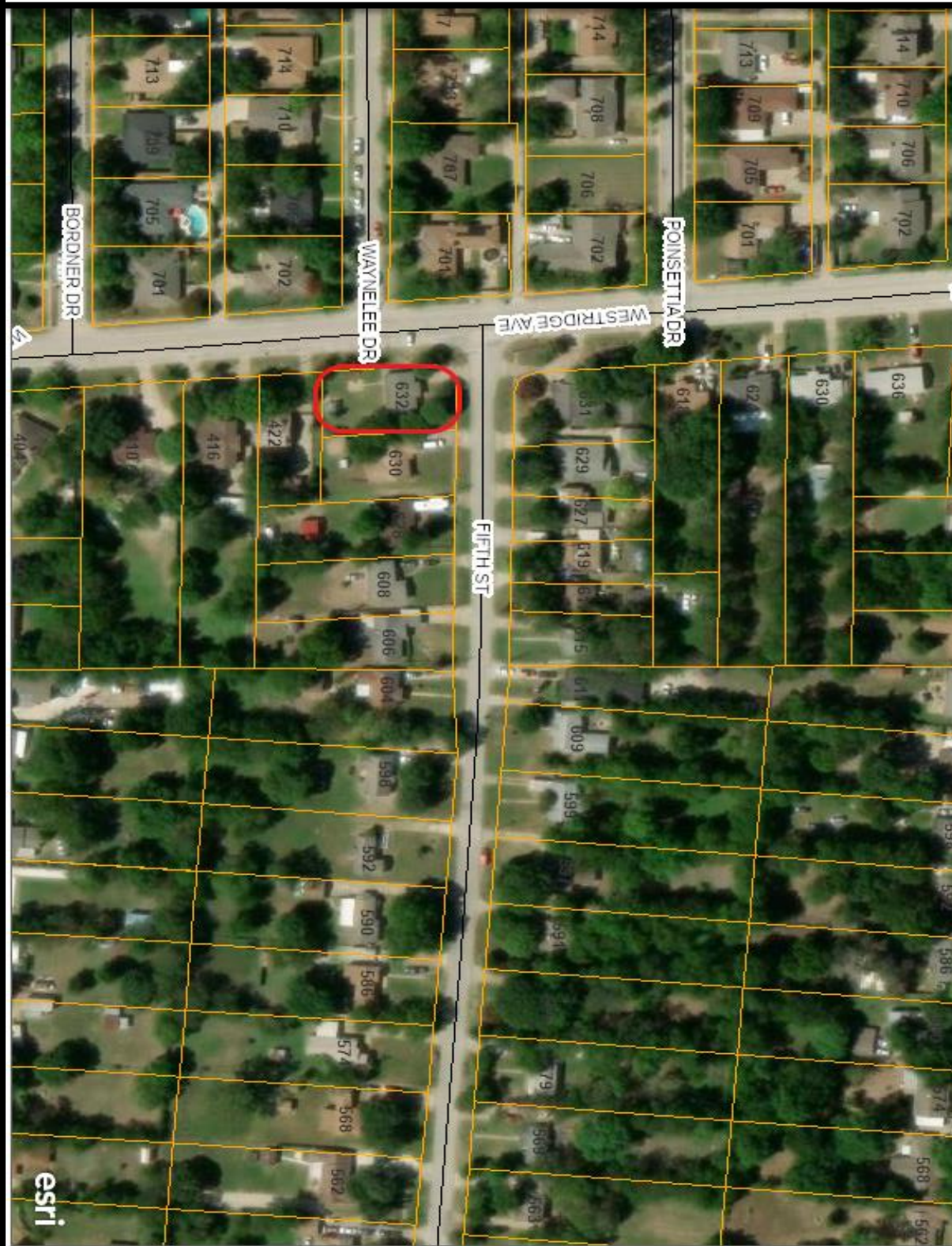
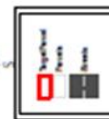
THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR
PRUDENTIAL TITLE

[illegible]

632 W 5th St
Zoned SF-6



DISCLAIMER / LIMITATION OF LIABILITY
The information on this map is provided by the City of Lancaster as a public service. We are continually updating the data in order to provide the most accurate information possible. Such information is intended for reference only. The City of Lancaster does not guarantee the accuracy of the information on this map. All information is provided "As-Is" without warranty of any kind.





5/8 in. x 6 in. x 8 ft. Western Red Cedar Flat-Top Fence Picket

★★★★☆ (127) ✓



CITY OF LANCASTER CITY COUNCIL

City Council Special Work Session and Regular Meeting

8.

Meeting Date: 09/25/2023

Policy Statement: This request supports the City Council 2023-2024 Policy Agenda

Goal(s): Healthy, Safe & Engaged Community
Sound Infrastructure
Quality Development

Submitted by: Vicki D. Coleman, Director of Development Services

Agenda Caption:

Z23-11 Conduct a public hearing and consider an ordinance granting a rezoning request from an Agricultural Open District (A-O) to Planned Development (PD) with Single-Family Residential (SF-2) uses on 31.29 acres. The property is addressed as 1747 North Houston School Road, located north of the intersection of North Houston School Road and West Pleasant Run Road. The property is known as Tract 6 of the Marady Parks Addition, Abstract 1120 Pg 345, in the City of Lancaster, Dallas County, Texas.

Background:

1. **Location and Size:** The property is located north of the intersection of North Houston School Road and West Pleasant Run Road and is approximately 31.29 acres in size.
2. **Current Zoning:** The subject parcel is currently zoned Agricultural Open.
3. **Adjacent Properties:**
North: Agricultural Open (AO) - Single family homes
South: Planned Development (PD); Multi-Family (MF-16) - Apartments
East: Agricultural Open (AO) - Single- family homes
West: Multi-Family (MF-16) - Undeveloped
4. **Comprehensive Plan Compatibility:** The Future Land Use Plan of the Comprehensive Plan designates this site as Suburban Neighborhood. The proposed zoning district is consistent with the Future Land Use Plan of the Comprehensive Plan; however, the proposed density is not consistent with the City Council's vision of 1-2 single-family dwelling units per acre. The applicant proposes a density of 2.88 units per acre.
5. **Case History:**

Date	Body	Action
9/5/23	P&Z	Z23-11 Recommended Approval of AO to Planned Development with SF-2 Uses
6/26/23	CC	Z23-08 Denied AO to SF-4
6/6/23	P&Z	Z23-08 Recommended Denial of AO to SF-4
9/26/22	CC	Z22-15 Denied AO to SF-6
9/6/22	P&Z	Z22-15 Recommended Denial of AO to SF-6

Operational Considerations:

Pursuant to Section 14.1101 of the Lancaster Development Code (LDC), when reviewing a zoning change application, there are five (5) considerations that must be made when deciding on a zoning change application. The following is an analysis of these considerations:

Consistency with the Comprehensive Plan: The City's Future Land Use Plan of the Comprehensive Plan identifies this site as suitable for Suburban Neighborhood uses. The Future Land Use Plan states that, "Suburban neighborhoods will continue to be the dominant place type in Lancaster, providing a variety of residential products ranging from townhomes to single-family detached. These neighborhoods would generally be formed as subdivisions with residential densities ranging from 2-8 dwelling units per acre." The proposed density is 2.88 units per acre. The proposed density is within the range indicated in the Comprehensive Plan; however, it is inconsistent with City Council Goals and Objectives which advocate for "low density, high-quality single-family residential development." Low-density developments include densities ranging from 1 to 2 units per acre. It should be noted, amenities such as a trailhead, community center, pool, tennis court and playground have been provided. These are desired amenities that enhance the overall development.

Potential Impact on Adjacent Development: This subject property is surrounded by residential uses on the north, east, and west sides. The properties to the south are developed with three separate apartment complexes. City Council has expressed a vision to move away from the traditional neighborhood development patterns that already exist in Lancaster.

Availability of utilities and access: The subject property is served by City of Lancaster water and sewer. The applicant will be responsible for connecting to those utilities. Access to this site would be provided from North Houston School Road.

Timing of Development as it relates to Lancaster's Capital Improvement Plan (CIP): The Master Thoroughfare Plan (MTP) identifies North Houston School Road as a 100-foot Major Arterial Type B. Rights-of-way dedication will occur at the time of platting. Construction and acceptance of the public rights-of-way is required prior to the submittal of the final plat and application for building permits.

Site conditions such as vegetation, topography, and flood plain: The subject property is currently undeveloped. Upon construction of this site, factors such as vegetation, topography and flood plain issues will be addressed as part of the plat and civil engineering process and more specifically during the civil review before construction. A portion of this property is in the floodplain and will require a flood study. All FEMA floodplain regulations are applicable.

Based upon an analysis of the five (5) considerations that must be taken into consideration when reviewing a change in zoning application, the proposed zoning change request to a Planned Development (PD) with SF-2 uses is appropriate. A development agreement has been proposed to ensure building elevations, materials, and amenities as shown in the supplemental documents, are provided. In addition, further restrictions and/or design standards may be included in the Planned Development as Council sees necessary in order to secure a high quality development through thoughtful design, enhanced architectural elements, elevated materials, and amenities to ensure an enhanced quality of life for residents while promoting a sense of community.

Legal Considerations:

This item is being considered at a Regular Meeting of the City Council noticed in accordance with the Texas Open Meetings Act.

Public Information Considerations:

On August 24, 2023, a notice for this public hearing appeared in the Focus Daily Newspaper. Staff also mailed notices to property owners within 200 feet of the subject site and posted a sign on the property. At the time of this report, staff has not received any letters of support or opposition.

Options/Alternatives:

1. City Council may approve the zoning change request, as presented.
2. City Council may approve with conditions and state those conditions.
3. City Council may deny the request.

Recommendation:

On September 5, 2023, at their Regular Meeting, the Planning and Zoning Commission recommended approval of a Planned Development (PD) with SF-2 uses. Staff concurs.

Attachments

Ordinance

Location Map

Letter of Intent

Exhibit A

Exhibit B

Exhibit C

Exhibit D

Exhibit E

ORDINANCE NO.

AN ORDINANCE OF THE CITY OF LANCASTER, TEXAS, CHANGE OF THE ZONING (Z23-11) DESIGNATION ON 31.29 ACRES OF LAND, APPROXIMATELY 1,282 FEET NORTH FROM THE INTERSECTION OF PLEASANT RUN ROAD AND NORTH HOUSTON SCHOOL ROAD, ADDRESSED AS 1747 NORTH HOUSTON SCHOOL ROAD DESCRIBED AS TRACT 6 OUT OF THE MARADY PARKS SURVEY ABSTRACT NO. 1120, PAGE 345, FROM AGRICULTURAL OPEN (AO) DISTRICT TO PLANNED DEVELOPMENT (PD) DISTRICT WITH SINGLE-FAMILY USES; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEAL CLAUSE; PROVIDING A PENALTY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the City Council, in accordance with the City's Code of Ordinances, state law and all other applicable ordinances of the City, have given the required notices and have held the required public hearings regarding the amendment of the City's zoning laws by changing the zoning on the property referenced in the exhibit attached hereto as "Exhibit A", incorporated by reference ("the Property"); and

WHEREAS, all legal requirements, conditions and prerequisites have been complied with prior to the case coming before the City Council for the City of Lancaster, including all mandated public notices and public hearings; and

WHEREAS, the City Council, after determining that all legal requirements of notice and hearing have been met, has determined that the following amendment would provide for and would be in the best interest of the health, safety, morals and general welfare of the City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. All of the above premises are hereby found to be true and correct and are hereby approved and incorporated into the body of this Ordinance as set forth here in their entirety.

SECTION 2. From the after the effective date of this Ordinance, Zoning Case No. Z23-11, the zoning of the 31.29-acre parcel comprising the Property is hereby changed from AO, Agricultural Open District to Planned Development District (PD) with Single-Family uses. The property is more particularly described in "Exhibit A" Zoning Exhibit attached hereto and made a part hereof for all purposes. The City's Zoning Map shall be amended to reflect the zoning amendment referenced herein.

SECTION 3. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. The City Council hereby declares that it would have passed this ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

SECTION 4. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the repeal prevent a prosecution from being commenced for any violation if occurring prior to the repeal of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 5. Any person, firm, corporation or business entity violating this Ordinance shall be deemed guilty of a misdemeanor, and upon conviction thereof shall be subject to a fine not to exceed \$2,000.00, and each day that such violation shall continue shall be considered a separate offense. These penal provisions shall not prevent an action on behalf of the City of Lancaster to enjoin any violation or threatened violation of the terms of this Ordinance, or an action for mandatory injunction to remove any previous violation hereof.

SECTION 6. Effective upon passage and publication.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 25th day of September, 2023.

ATTEST:

Sorangel O. Arenas, City Secretary

APPROVED:

Clyde C. Hairston, Mayor

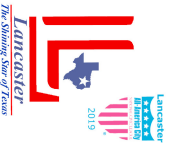
APPROVED AS TO FORM:

David T. Ritter, City Attorney

City of Lancaster

1747 N Houston School Rd

Zoned: AO

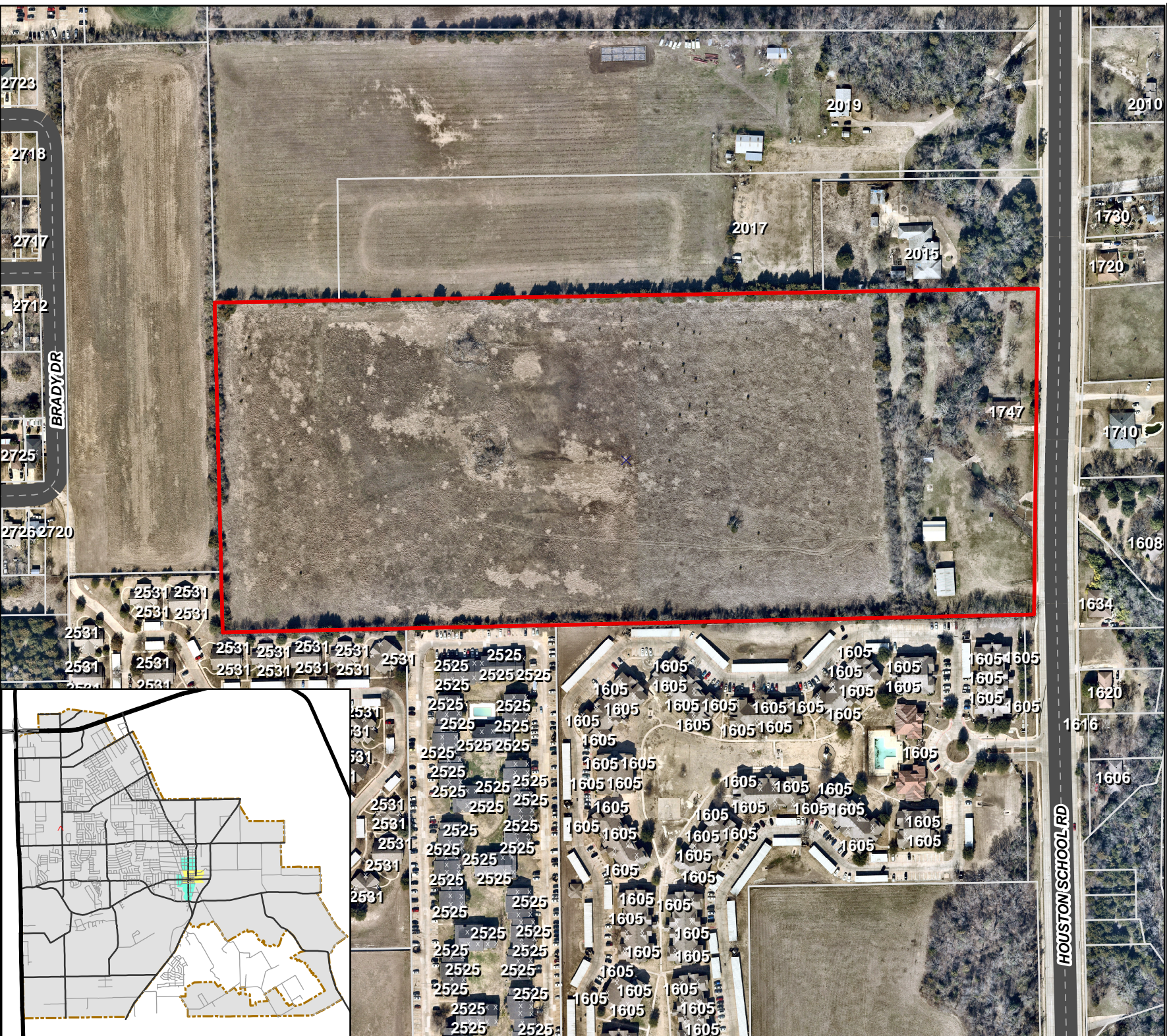


DISCLAIMER / LIMITATION OF LIABILITY
The information on this map is provided by the City of Lancaster as a public service. We are continually updating the data in order to provide the most accurate information possible. Such information is intended for reference only. The City of Lancaster does not guarantee the accuracy of the information, data or maps. All information is provided "As-Is" without warranty of any kind.



0 70 140 280 Feet

Date: 8/15/2022



Date: August 29, 2023

To: Planning Department
City of Lancaster
211 North Henry Street
Lancaster, TX 75146

Re: Letter of Intent for a Zoning Change Request for the property located at 1747 North Houston School Road, Lancaster, TX 75146 (Tract 6, Marady Parks Survey, Abstract No. 1120, Pg 345).

To Whom It May Concern:

This letter is to inform the City of our intent to request rezoning for the 31.29 acre tract of land situated in the Marady Parks Survey, Abstract No. 1120, Pg 345, being all of Tract 6. The subject site is currently zoned as A and we are seeking a rezoning to PD with an SF-2 base.

The point of beginning of the property is approximately 1311 feet North of West Pleasant Run Road. The property is sided by North Houston School Road to the East, two apartment communities and a 55+ community to the South, a vacant lot zoned for MF-16 to the West, and three mostly vacant lots to the North (some residential and other buildings on each of these lots).

The majority of the lot is vacant, however there is one residence on the east side of the property adjacent to the street that will be demolished. The purpose of the rezoning is to allow for future platting and development as single family residences. Our goal is to create high-end, modern, luxury homes, with square footages ranging from 2,500 to 4,000. The development will also include a variety of green space, clubhouse and a future proposed trailhead.

We look forward to working with the City of Lancaster to bring a new modern look to the city. If you have any questions or comments, please feel free to contact me at 817-448-5034.

Sincerely,


Mr. Imtiaz Pirzada

LEGAL DESCRIPTION:

BEING a tract of land situated in the Mereda Parks Survey, Abstract Number 1120, Dallas County, Texas, and being all of that tract of land described in deed to Patsy Gale O'Rear Brundage, as recorded in Instrument Number 201000284280 of the Official Public records of Dallas County, Texas (O.P.R.D.C.T.), and being more particularly described by metes and bounds as follows:

BEGINNING at a 518-inch iron rod with a cap stamped "TXDPT" found on the west right-of-way line of North Houston School Road (a variable width public right-of-way) for the southeast corner of the herein described tract and the southwest corner of that tract of land described in deed to Dallas County, as recorded in Instrument Number 20080166707, O.P.R.D.C.T. said corner being on the north line of Lot 1, Block A of Primrose Houston School Road Addition, an addition to the City of Dallas as recorded in Volume 2004068, Page 176, O.P.R.D.C.T.;

THENCE South 88 degrees 36 minutes 38 seconds West, departing said west right-of-way line and along the common north line of said Lot 1 and south line of the herein described tract, passing at a distance of 1,054.99 the northwest corner of said Lot 1, and continuing along the south line of the herein described tract, in all a total cumulative distance of 1,827.83 feet to a 112-inch iron rod with cap stamped "Pacheco-Koch" found for the southwest corner of the herein described tract, said comer being on the east line of that trat of land described in deed to SLJ Company, as recorded in Volume 98149, Page 1370 of the Deed Records of Dallas County, Texas;

THENCE North 01 degrees 17 minutes 44 seconds West, along the common said east line and west line of the herein descnbed tract, a distance of 749.98 feet to a 1-inch iron pipe found for the northwest corner of the herein described tract;

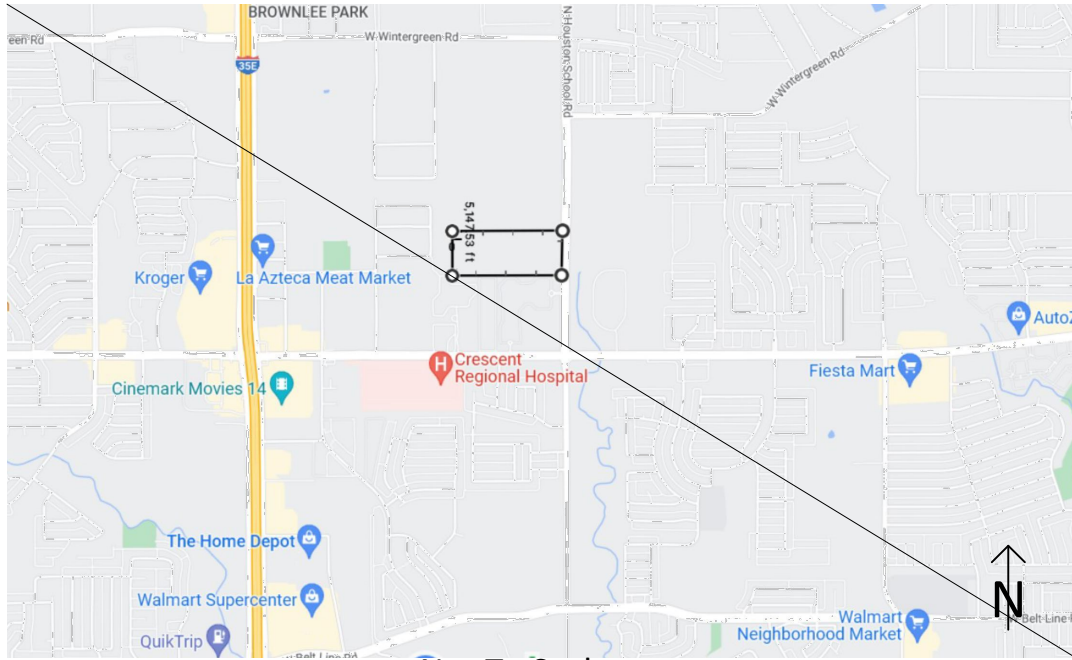
THENCE North 89 degrees 08 minutes 39 seconds East, along the north line of the herein described tract, a distance of 1,853.78 feet to a 112-inch iron rod with a yellow plastic cap stamped "GEONAV""(herein after referred to as :with cap") set for the point of curvature of a non-tangent circular curve to the having a radius of 7160.00 feet, whose chord bears South 01 degrees 09 minutes 50 seconds West, a distance of 273.02 feet, said corner being the common northeast corner of the herein described tract and northwest corner of said Dallas County tract, said corner also being on the aforementioned west right-of-way line of North Houston School Road;

THENCE Southerly, along the common said east line and said west right-of-way line and along said curve, through a central angle of 02 degrees 11 minutes 06 seconds, an arc distance of 273.04 feet to a 1/2-inch iron rod with cap set for the point of reverse curvature of a tangent circular curve to the left having a radius of 7,259.99 feet, whose chord bears South 00 degrees 40 minutes31 seconds West, a distance of 400.64 feet;

THENCE Southerly, continuing along said common line and along said curve, through a central angle of 03 degrees 09 minutes 44 seconds, an arc distance of 400.69 feet to a 1/2-inch iron rod with cap set for corner;

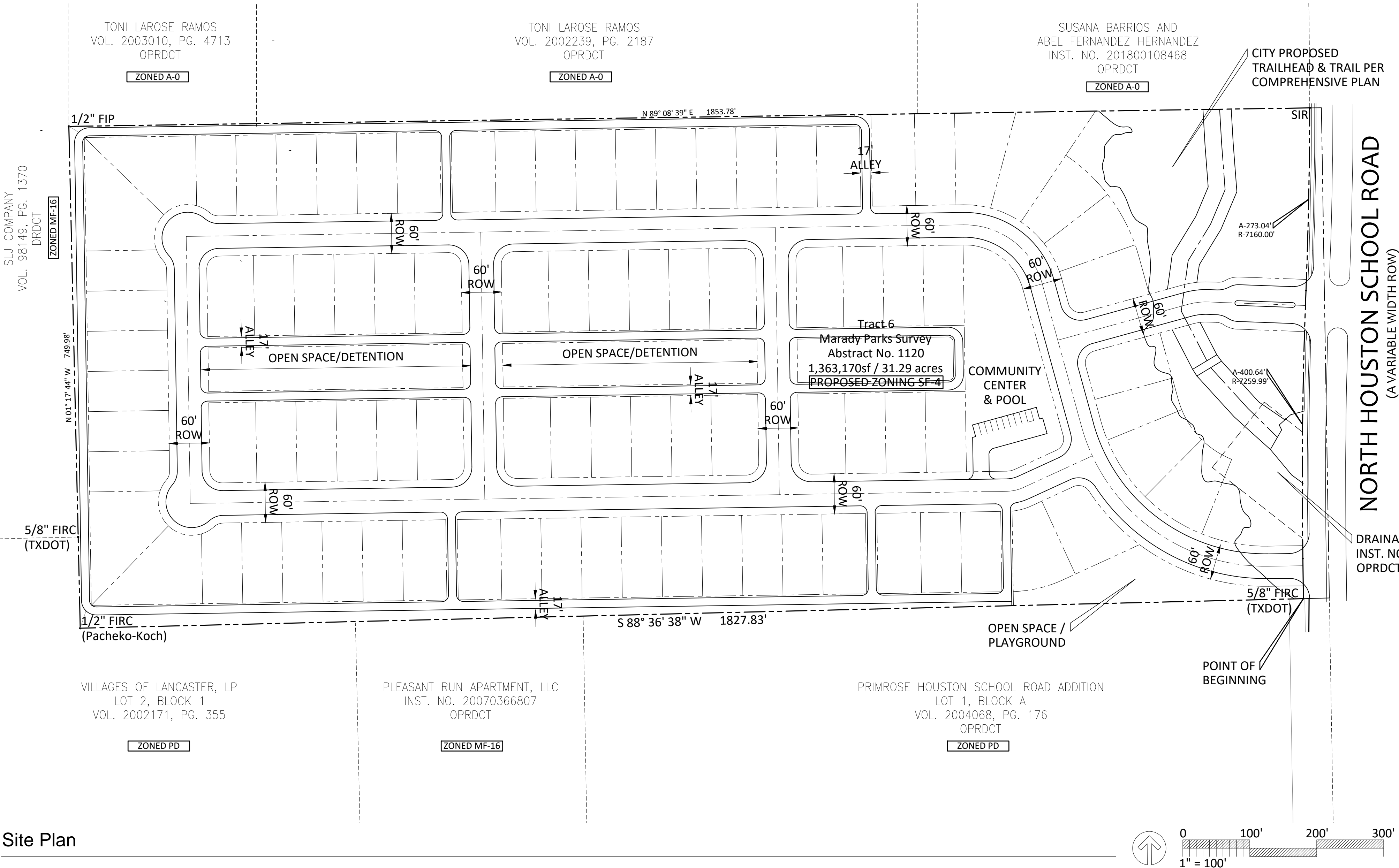
THENCE South 00 degrees 54 minutes 21 seconds East, continuing along said common line, a distance of 59.59 feet to the POINT OF BEGINNING AND CONTAINING 1,363,170 square feet or 31.29 acres of land, more or less.

VICINITY MAP



SUMMARY TABLE		
	ALLOW/REQD	PROVIDED
ZONING	A	PD (SF-2 Base)
USE	Vacant	Single Family
LOT AREA	1,363,170 sq.ft. / 31.29 acres	
R.O.W. AREA	237,431 sq.ft. / 5.45 acres	
ALLEY AREA	117,779 sq.ft. / 2.70 acres	
OPEN SPACE AREA	284,255 sq.ft. / 6.53 acres	
REMAINING AREA	723,705 sq.ft. / 16.61 acres	
NUMBER OF HOUSE LOTS	90	
LINKS/NODES	1.5 ratio	12/8 (1.5 ratio)
DENSITY	2.88 units per acre	
LOT SIZE RANGE	6,240sf - 13,301sf	
D.U. SIZE RANGE	Min 3,000 sf - 4,000sf	

- NOTES:
1. ACCORDING TO MAP NO. 48113C0635K, THIS PROPERTY LIES IN ZONE "X" AND DOES NOT LIE WITHIN THE 100 YEAR FLOOD ZONE.
 2. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW, DOING SO IS SUBJECT TO FINES AND THE WITHHOLDING OF UTILITIES AND BUILDING PERMITS.



1 Site Plan



210 Industrial Drive, Forney, TX 75126
p: 817-448-5034

Prj. #20072 ISSUE RECORD		
DATE:	ISSUED FOR:	COMMENTS:
Drawing File: 1747NHOUSTONSCHOOL-230731_LDWG		
Confidential/Copyright (c) NMECM 2022		

STAMP:

LEGEND:
SIR
FIRC
P.O.B.
R.O.W.
C.M.
W.E.
Basis of Bearings
Drain. & Det.

Set Iron Rod (w/ Cap)
Found Iron Rod (w/ Cap)
Point Of Beginning
Right-Of-Way
Controlling Monument
Water Easement
NAD 83
Drainage and Detention

CONTACTS:

OWNER OF RECORD:
A&N Asset Management
302 Highpoint Drive
Murphy, TX 75094
P: 817-448-5034
E: ihpir@hotmail.com

SURVEYOR:

GEONAV
3410 Midcourt Road
Suite 110
Carrollton, TX 75006
P: 972-243-2409

APPLICANT:

NME Construction Mgmt.
210 Industrial Drive
Forney, TX 75126
P: 817-448-5034
E: imtiaaz@nmecm.com

Date: 07-31-2023

Scale: 1" = 100'

Drawn By: N. P. K.

Page: Z1

1 of 1

City Signature Block for Tract 6, Marady Parks Survey
Abstract No. 1120 - 31.29acres / 1,363,170sf

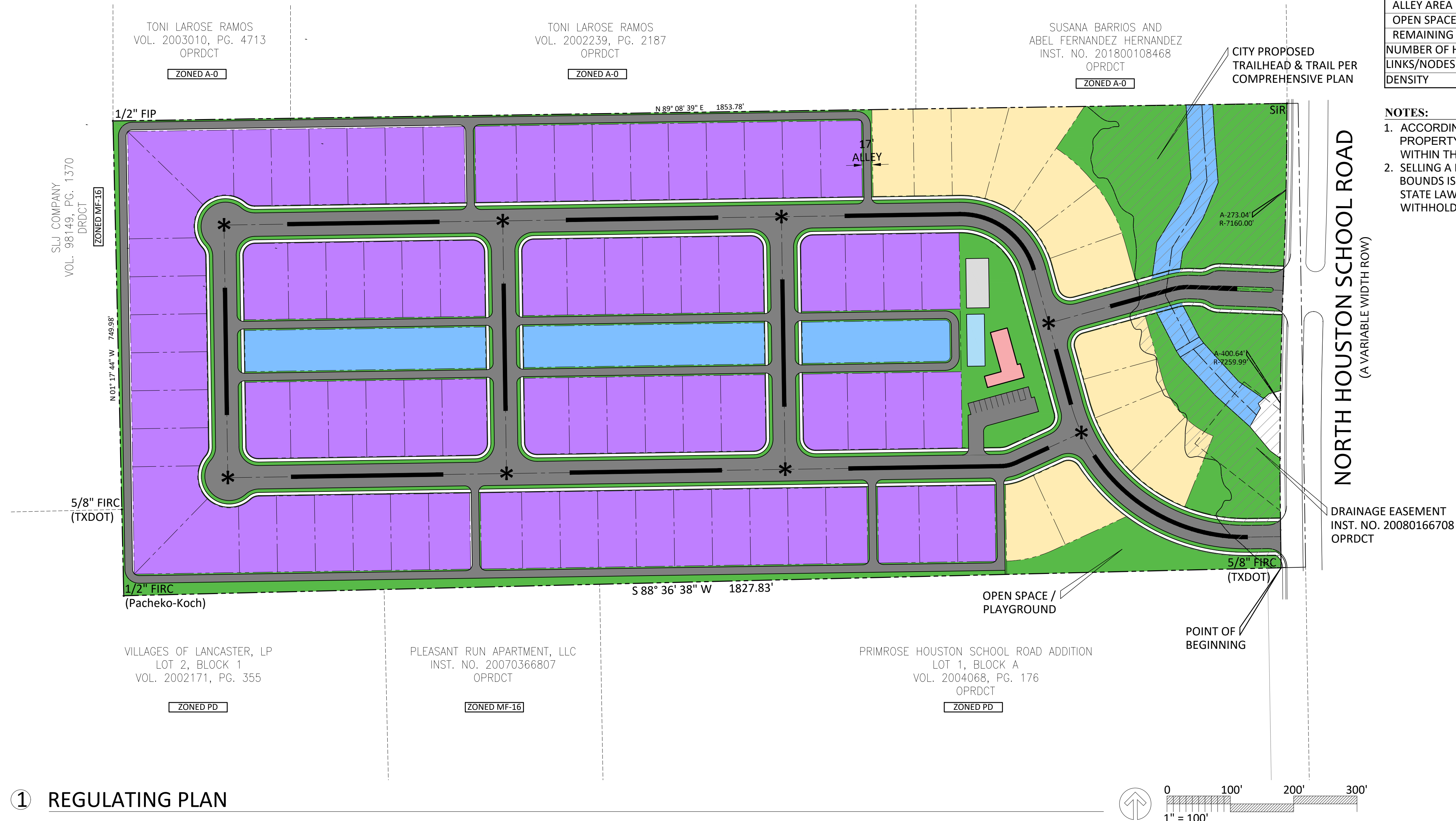
Case #: Z23-11

Site Plan
Tract 6, Marady Parks Survey,
Abstract No. 1120, Pg 345
1747 North Houston School Road
Lancaster, Dallas County, TX 75146

[illegible]

SUMMARY TABLE		
	ALLOW/REQD	PROVIDED
ZONING	A	PD (SF-2 Base)
USE	Vacant	Single Family
LOT AREA	1,363,170 sq.ft. / 31.29 acres	
R.O.W. AREA	237,431 sq.ft. / 5.45 acres	
ALLEY AREA	117,779 sq.ft. / 2.70 acres	
OPEN SPACE AREA	284,255 sq.ft. / 6.53 acres	
REMAINING AREA	723,705 sq.ft. / 16.61 acres	
NUMBER OF HOUSE LOTS	90	
LINKS/NODES	1.5 ratio	12/8 (1.5 ratio)
DENSITY	2.88 units per acre	

1. ACCORDING TO MAP NO. 48113C0635K, THIS PROPERTY LIES IN ZONE "X" AND DOES NOT LIE WITHIN THE 100 YEAR FLOOD ZONE.
2. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW, DOING SO IS SUBJECT TO FINES AND THE WITHHOLDING OF UTILITIES AND BUILDING PERMITS.









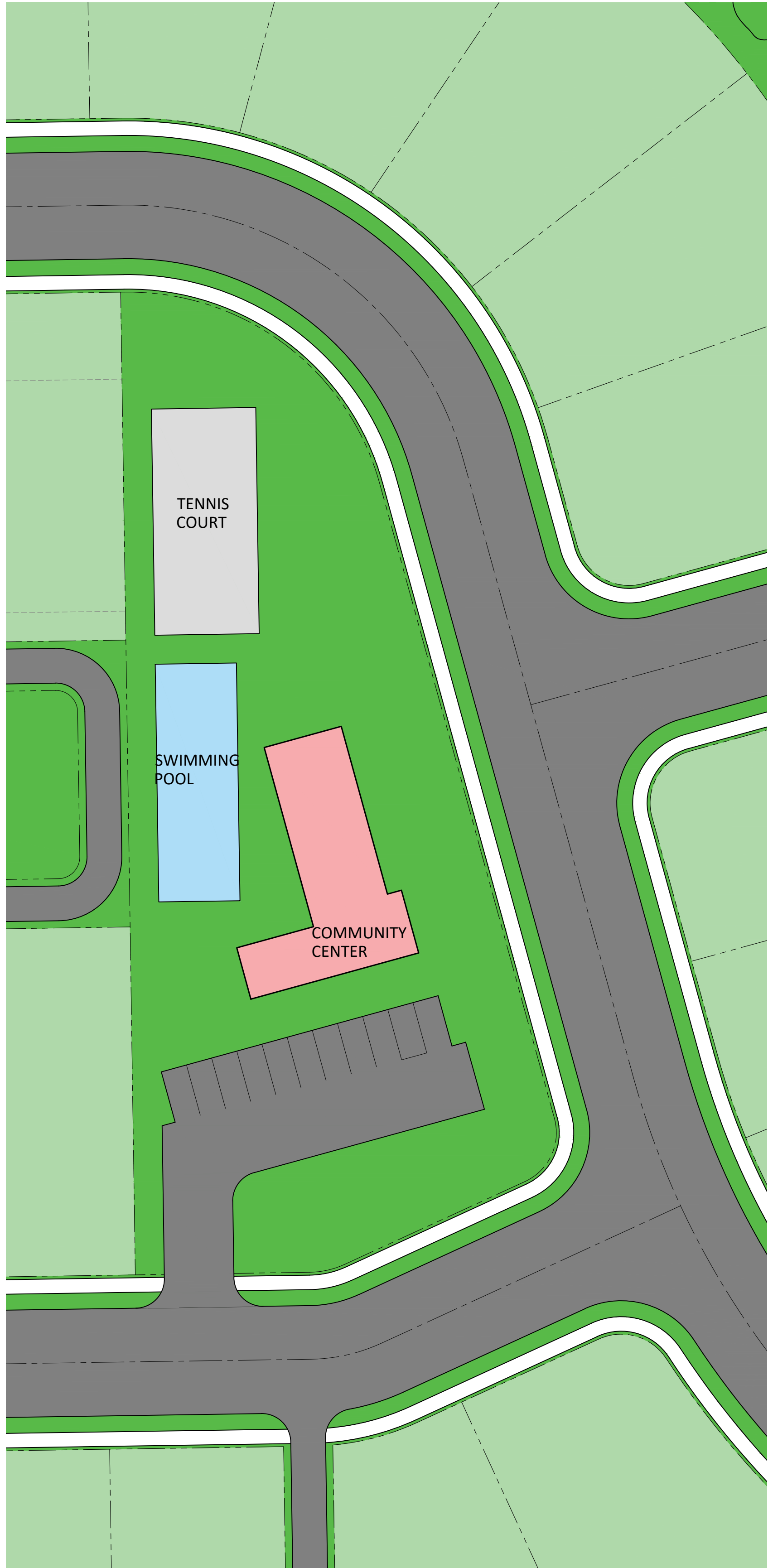
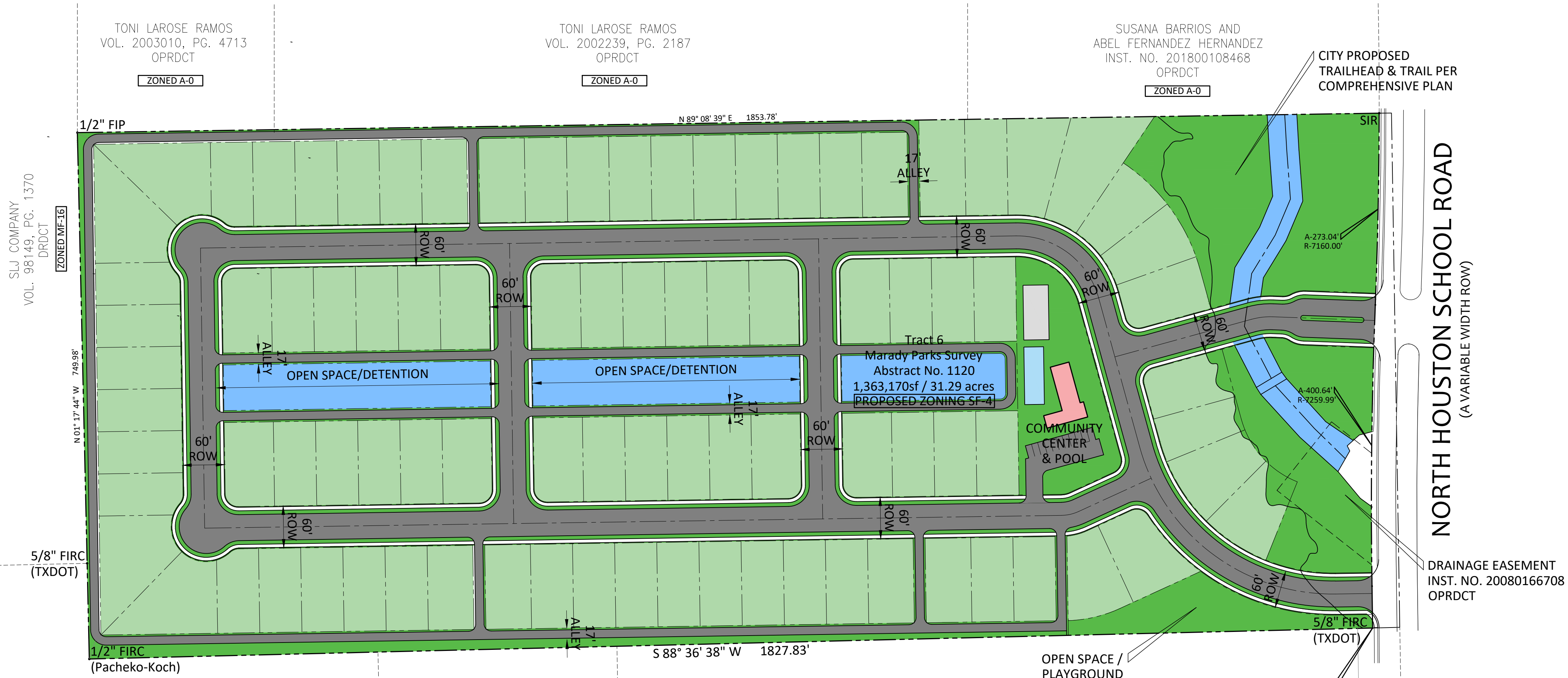
LEGEND	
SINGLE FAMILY RESIDENCE (Front Loaded Garage)	
SINGLE FAMILY RESIDENCE (Rear Loaded Garage)	
OPEN SPACE (General Location)	
ZONE AE FLOODPLAIN	
LINK	
NODE	

Exhibit C



② ENLARGED PLAN: Community Center



① OPEN SPACE / LANDSCAPING PLAN

Prj. #20072 ISSUE RECORD		
DATE:	ISSUED FOR:	COMMENTS:

STAMP:

LEGEND:

- SIR
- FIRC
- P.O.B.
- R.O.W.
- C.M.
- W.E.
- Basis of Bearings
- Drain. & Det.

Set Iron Rod (w/ Cap)
Found Iron Rod (w/ Cap)
Point Of Beginning
Right-Of-Way
Controlling Monument
Water Easement
NAD 83
Drainage and Detention

CONTACTS:

OWNER OF RECORD:
A&N Asset Management
302 Highpoint Drive
Murphy, TX 75094
P: 817-448-5034
E: ihpir@hotmail.com

SURVEYOR:
GEONAV
3410 Midcourt Road
Suite 110
Carrollton, TX 75006
P: 972-243-2409

APPLICANT:
NME Construction Mgmt.
210 Industrial Drive
Forney, TX 75126
P: 817-448-5034
E: imtiaaz@nmecm.com

Date: 02-10-2023
Scale: 1" = 100'
Drawn By: N. P. K.
Page: 23
1 of 1

Case #: Z23-11

Site Plan
Tract 6, Marady Parks Survey,
Abstract No. 1120, Pg 345
1747 North Houston School Road
Lancaster, Dallas County, TX 75146





MYA CITI HOME LANCASTER



MYA CITI HOME LANCASTER



MYA CITI HOME LANCASTER



MYA CITY HOME LANCASTER



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MYA CITI HOME LANCASTER

Exhibit E
Design Elements/Development Standards

In consideration for the approval of the requested zoning change to a Planned Development (PD) (Z23-11), the developer includes the following design elements/development standards to correspond to the approval from the Planning and Zoning Commission and City Council, along with other items as listed below:

Design Elements/Development Standards

1. **Development:** The development of the Property will be in accordance with allowable uses in the SF-2 base zoning district.
2. **Site Plan:** The development shall generally conform to the Site Plan as shown in Exhibit A.
3. **Setbacks:** All dimensional setbacks will follow the SF-2 standards.
4. **Garage Placement:** Garage placement will follow Exhibit B. Thirteen lots will be front loaded; the remaining 77 lots will be rear loaded.
5. **Dwelling Size:** The minimum living area size for any residence shall be 3,000 square feet.
6. **Architectural Style:** Structures shall be of a Contemporary or Modern style. Structures shall substantially conform with the renderings provided in Exhibit D in terms of building materials, and architectural features.
7. **Amenities:** Developer shall provide a clubhouse with a minimum of 2,500 square feet, a swimming pool, playground, tennis court and a trailhead as detailed by the City's Trails Master Plan.
8. **Open Space:** All common areas/open spaces will include landscaping and irrigation. All landscape, irrigation, screening walls and entry features will be submitted, approved, installed, and constructed in accordance with prevailing City standards. All trees and plant materials shall be selected from the approved planting list in the zoning ordinance.
9. **HOA Standards:** The HOA shall establish and enforce deed restrictions to include language governing if a dwelling is damaged/and or beyond repair any/all construction shall provide similar materials as shown on Exhibit D.

Maintenance

1. Landscape Maintenance:

- a. The HOA or PID shall be jointly and severally responsible for the maintenance of all landscaping. The HOA or PID is responsible for regular mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to the maintenance of landscaping.

- b. All required landscaping shall be maintained in a neat and orderly manner at all times. Landscaped areas shall be kept free of trash, litter, weeds and other such material or plants not a part of the landscaping. All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- c. Failure to maintain any landscape area in compliance with this section is considered a violation of this Ordinance and shall be subject to penalties of this Ordinance. If at any time the approved landscaping is found to be in nonconformance to the standards and criteria of this section, the building official or designee shall issue notice to the owner, HOA or PID citing the violation and describing the action required to comply with this section.

2. Amenity Maintenance:

- a. The HOA shall be responsible for the maintenance and upkeep of all amenity facilities (clubhouse, swimming pool, playground, tennis court and a trailhead, to include: landscaping, fencing, building repair/maintenance and trash pickup.

CITY OF LANCASTER CITY COUNCIL

City Council Special Work Session and Regular Meeting

9.

Meeting Date: 09/25/2023

Policy Statement: This request supports the City Council 2023-2024 Policy Agenda

Goal(s): Sound Infrastructure
Quality Development

Submitted by: Vicki D. Coleman, Director of Development Services

Agenda Caption:

Z23-10 Conduct a public hearing and consider a Specific Use Permit for an Oncor substation located on E. Belt Line Road west of Ferris Road addressed as 1350 E. Belt Line Road, being 11.89 acres out of the Jones Green Abstract 504 Page 145, City of Lancaster, Dallas County, Texas.

Background:

1. **Location and Size:** The property is located on E. Belt Line Road west of Ferris Road, addressed as 1350 E. Belt Line Road. The property is 11.89 acres in size.
2. **Current Zoning:** The subject property is currently zoned Agricultural Open (AO), and Lanport Overlay.
3. **Adjacent Properties:**
North: Agricultural Open (AO), Lanport Overlay- Ranch
South: Agricultural Open (AO), Lanport Overlay- Undeveloped Land
East: Agricultural Open (AO), Lanport Overlay- Undeveloped Land
West: Agricultural Open (AO), Lanport Overlay- Undeveloped Land
4. **Comprehensive Plan Compatibility:** The Future Land Use Plan of the Comprehensive Plan designates the site as Aviation.
5. **Case History:**

Date	Body	Action
09/05/2023	P&Z	Z23-10 Approved SUP for Oncor Substation
08/28/2023	CC	M23-27 Approved an Exception for Landscaping
01/28/2008	CC	Approval of Lanport Overlay
10/16/1989	CC	Zoning Map Update

Operational Considerations:

The applicant is requesting a Specific Use Permit (SUP) for the purpose of developing the 11.89-acre site with a new substation for Oncor. The proposed substation will include a 91,000 square feet pad with a perimeter fence for security. The proposed fence is an eight (8) foot masonry wall that borders the pad with two (2) access gates on the north wall. The substation can be accessed off E. Belt Line Road by one (1) proposed improved driveway connection. The substation will consist of electrical structures sixty-five (65) feet in height and two 432 square feet prefabricated metal buildings that are uninhabitable and used for the operation of the structures on site.

Oncor has stated the substation is necessary to address the increase in electrical power demand due to growth in the area.

Legal Considerations:

This item is being considered at a Regular Meeting of the City Council noticed in accordance with the Texas Open Meetings Act.

Public Information Considerations:

On August 23, 2023, a notice for this public hearing appeared in the Focus Daily Newspaper. Staff also mailed notifications of this public hearing to property owners within 200 feet of the subject site and posted a sign on the property. No letters of support or opposition have been received.

Options/Alternatives:

1. The City Council may approve the request.
2. The City Council may approve the request with conditions and state those conditions.
3. The City Council may deny the request

Recommendation:

On September 5, 2023, at their Regular Meeting, the Planning and Zoning Commission recommended approval with the conditions of installing and maintaining: 1) an 8-foot masonry wall around the substation; and 2) maintain landscaping in compliance with the approved landscape plan and provide irrigation as required. Staff concurs.

Attachments

Ordinance

Location Map

Letter of Intent

Landscape Plan

Landscape Plan LP1.02

Landscape Detail LP3.01

Landscape Detail 3.02

Site Plan

Elevation

ORDINANCE NO.

AN ORDINANCE OF THE CITY OF LANCASTER, TEXAS, GRANTING (Z23-10) A SPECIFIC USE PERMIT (SUP) FOR AN ONCOR SUBSTATION ON PROPERTY LOCATED ON E. BELT LINE ROAD WEST OF FERRIS ROAD. THE PROPERTY IS 11.89 ACRES IN SIZE, OUT OF THE JONES GREEN ABSTRACT 504 PAGE 145, IN THE CITY OF LANCASTER, DALLAS COUNTY, TEXAS, PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEAL CLAUSE; PROVIDING A PENALTY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the City Council, in accordance with the City's Code of Ordinances, state law and all other applicable ordinances of the City, have given the required notices and have held the required public hearings regarding the amendment of the City's zoning laws by changing the zoning on the property referenced above; and

WHEREAS, all legal requirements, conditions and prerequisites have been complied with prior to the case coming before the City Council for the City of Lancaster, including all mandated public notices and public hearings; and

WHEREAS, the City Council, after determining that all legal requirements of notice and hearing have been met, has determined that the following amendment would provide for and would be in the best interest of the health, safety, morals and general welfare of the City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. All of the above premises are hereby found to be true and correct and are hereby approved and incorporated into the body of this Ordinance as if copied in their entirety.

SECTION 2. From and after the effective date of this Ordinance, the Zoning Case No. Z23-10, the zoning map of the City of Lancaster, be hereby amended to grant an SUP for an Oncor Substation on the property located on E. Belt Line Road west of Ferris Road. The property is 11.89 acres in size, out of the Jones Green Abstract 504 Page 145, in the City of Lancaster, Dallas County, Texas. The City's Zoning Map shall be amended to reflect the zoning amendment referenced herein. Additionally, the SUP will include the following conditions: 1) an 8-foot masonry wall around the substation; and 2) maintain landscaping in compliance with the approved landscape plan and provide irrigation as required by City ordinance.

SECTION 3. The property shall be developed and used in accordance with the development standards under the Lancaster Development Code and ordinances of the City of Lancaster.

SECTION 4. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. The City Council hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

SECTION 5. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the repeal prevent a prosecution from being commenced for any violation if occurring prior to the repeal of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 6. Any person, firm, corporation or business entity violating this Ordinance shall be deemed guilty of a misdemeanor, and upon conviction thereof shall be subject to a fine not to exceed \$2,000.00, and each day that such violation shall continue shall be considered a separate offense. These penal provisions shall not prevent an action on behalf of the City of Lancaster to enjoin any violation or threatened violation of the terms of this Ordinance, or an action for mandatory injunction to remove any previous violation hereof.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 25th day of September, 2023

ATTEST:

Sorangel O. Arenas, City Secretary

APPROVED:

Clyde C. Hairston, Mayor

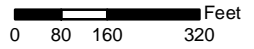
APPROVED AS TO FORM:

David T. Ritter, City Attorney

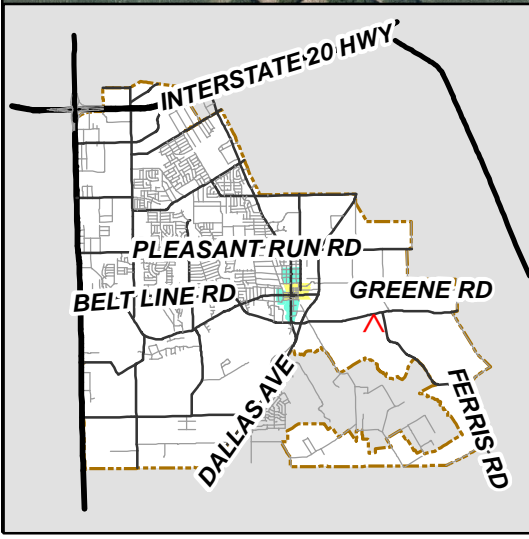
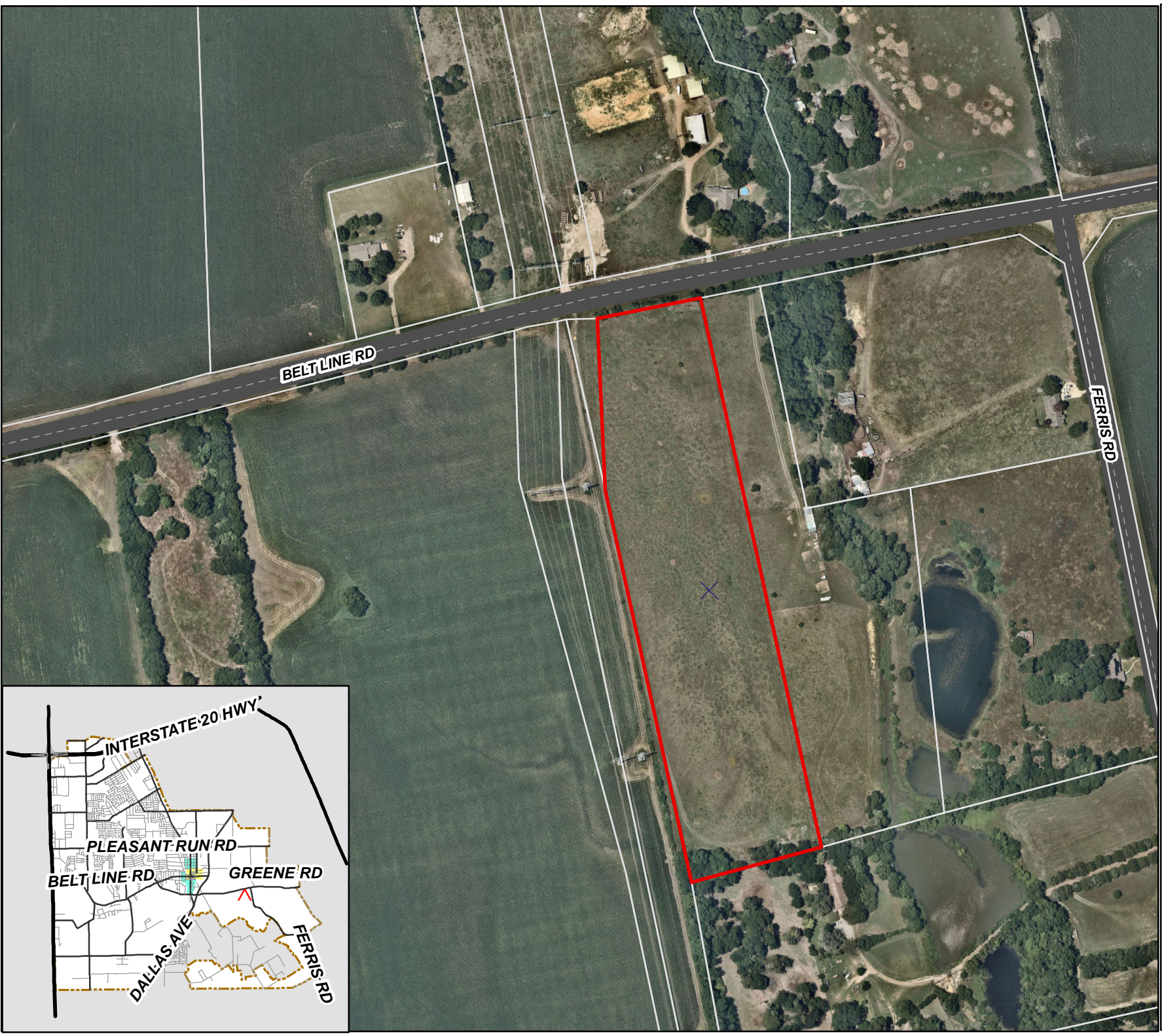
City of Lancaster
1350 E Belt Line Rd
Zoned: AO
LANPORT Overlay



DISCLAIMER / LIMITATION OF LIABILITY
The information on this map is provided by the City of as a public service. We are continually updating the data in order to provide the most accurate information possible. Such information is intended for reference only. The City of Lancaster does not guarantee the accuracy of the information, data or maps. All information is provided "As-Is" without warranty of any kind.



Date: 8/16/2023





July 18, 2023

City of Lancaster
211 N Henry Street
Lancaster, TX 75146

Re: *Oncor Ten Mile Substation*
 Letter of Intent – SUP Submittal

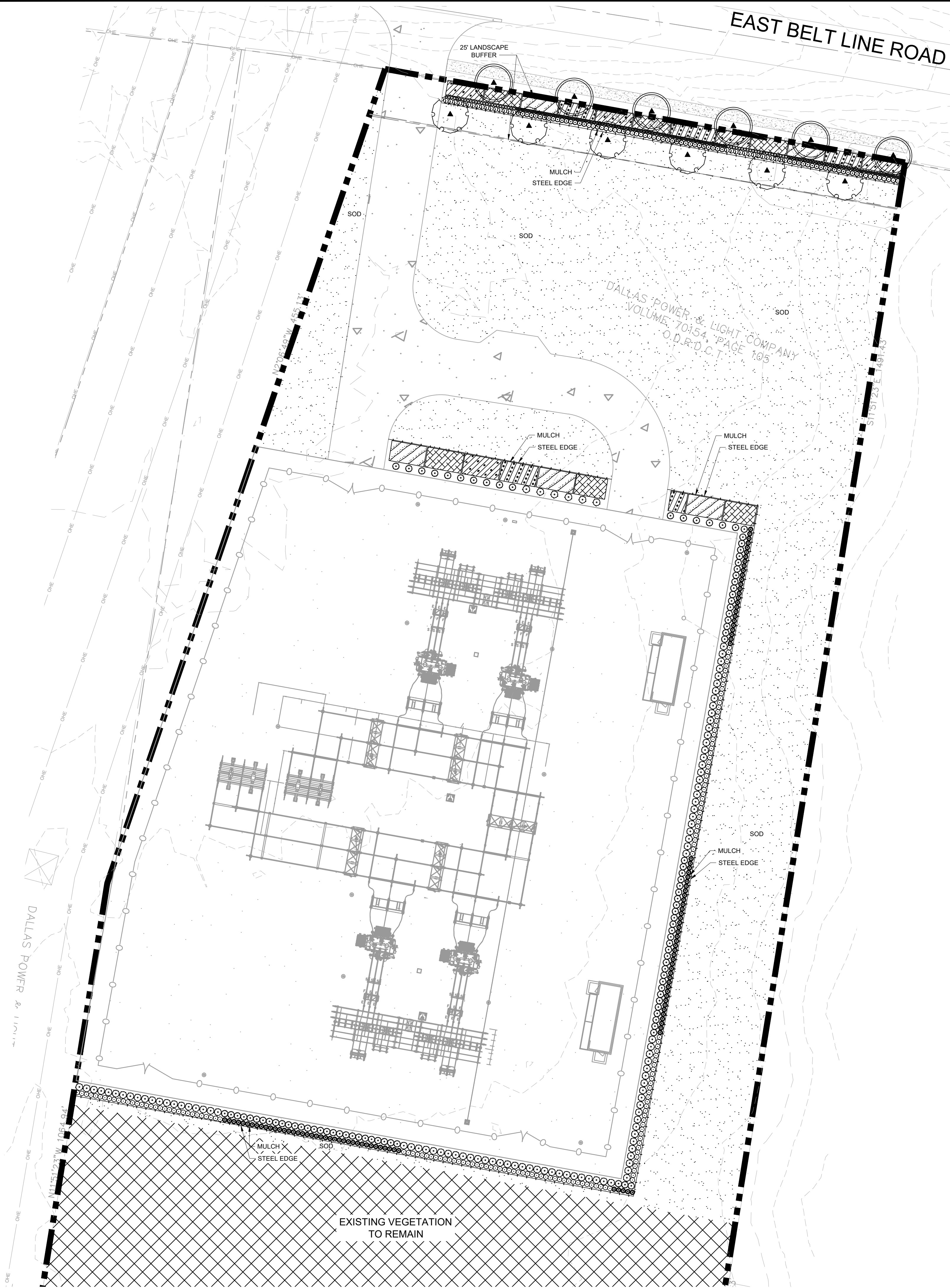
The proposed project includes an electrical substation located near the E Belt Line Road and Ferris Road intersection in the City of Lancaster. Staff has determined that this project will require a SUP for this property. The 11.90 acre subject property is vacant with existing transmission lines to the west, E Belt Line Road to the north and agricultural land to the east and south.

The proposed electrical substation will include a 308 ft x 336 ft pad with a perimeter fence for security. The proposed fence is an eight (8) foot masonry wall that borders the pad with 2-15 foot access gates located on the north side of the wall. The substation can be accessed off E Belt Line Road by two (2) proposed driveway connections. The substation will consist of electrical structures and two 432 sf prefabricated metal buildings that are uninhabitable and used for operation of the structures onsite. The tallest electrical structure is a static mast that measures 65' in height. No water or sewer service will be required. Traffic impact will be negligible for this project since the proposed equipment will be operated remotely.

Please contact me at (972.385.3500) or rob.myers@kimley-horn.com should you have any questions or need any additional information.

Sincerely,

Rob Myers, P.E.
Associate



PLANT SCHEDULE

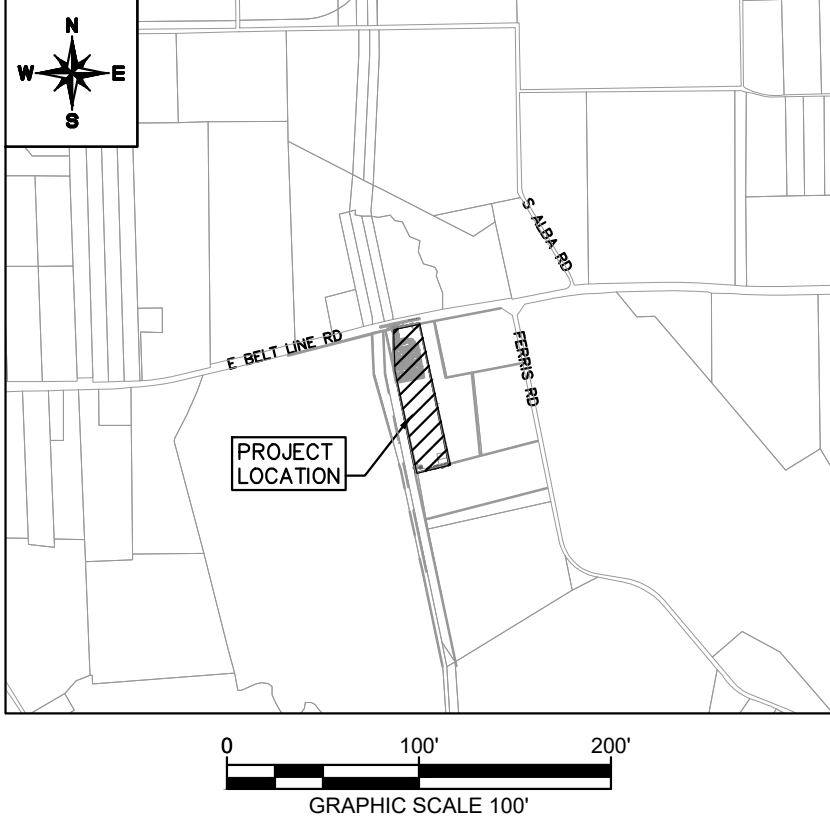
TREES	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	QV	6	Quercus virginiana / Southern Live Oak	4" cal, 16" ht, 6" spr	Full, Straight, Single Leader
	UP	6	Ulmus parvifolia / Lacebark Elm	3" cal, 14" ht, 6" spr	Full, Straight, Single Leader
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	BEB	48	Berberis thunbergii 'Atropurpurea Nana' / Dwarf Redleaf Japanese Barberry	12" ht, 12" spr, 18" oc	Full
	BEA	26	Berberis thunbergii 'Atropurpurea' / Red Leaf Japanese Barberry	24" ht, 24" spr, 36" oc	Full
	EGG	53	Euonymus fortunei 'Golden Prince' TM / Golden Prince Euonymus	24" ht, 18" spr, 30" oc	Full
	ILB	93	Ilex cornuta 'Burfordii' / Burford Holly	36" ht, 30" spr, 42" oc	Full
	IDB	46	Ilex cornuta 'Dwarf Burford' / Dwarf Burford Holly	24" ht, 18" spr, 30" oc	Full
	MCW	104	Myrica cerifera / Wax Myrtle	36" ht, 24" spr, 48" oc	Full
	PIT	65	Pittosporum tobira / Pittosporum	24" ht, 18" spr, 30" oc	Full
	RHC	30	Rhaphiolepis indica 'Clara' / Indian Hawthorn	24" ht, 18" spr, 30" oc	Full
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	CDG	109	Cortaderia selloana 'Pumila' / Dwarf Pampas Grass	18" ht, 36" oc	Full
	MUB	156	Muhlenbergia lindheimeri / Lindheimeri Muhly	24" ht, 36" oc	Full
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	CDS	789	Carex divulsa / Berkeley Sedge	12" ht, 12" spr, 18" oc	Full, 1 gallon min.
	LAL	421	Lantana montevidensis / Trailing Lantana	12" ht, 12" spr, 18" oc	Full, 1 gallon min.
	VER	398	Verbena montevidensis / Verbena	12" ht, 12" spr, 18" oc	Full, 1 gallon min.
MISC	CODE	QTY	COMMON NAME	SPECIFICATIONS	
	SOD	TBD	Cynodon dactylon / Common Bermuda	Solid sod, rolled tight with sand filled joints, 100% weed, disease, and pest free	
	STEEL EDGE	TBD	Steel edging	1/2" x 6" black	
	MULCH	TBD	Shredded Hardwood	Dark brown, 3" depth, all trees in sod to receive 4" dia mulch ring	

PLANTING NOTES

- ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL.
- LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
- REFERENCE IRRIGATION PLAN FOR BED IRRIGATION INFORMATION.
- STAKING AND GUYING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATE METHODS, ASSUMING FULL RESPONSIBILITY FOR THEIR IMPLEMENTATION. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
- PROVIDE A STEEL EDGE OR CONCRETE MOW STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE SITE PLAN.
- ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH, UNLESS OTHERWISE SPECIFIED.
- PROVIDE GRASS SEEDING OR LAY BERMUDA SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/ OR LIMITS OF DISTURBANCE OUTSIDE R.O.W. OR PROPOSED LANDSCAPE EASEMENT. PROVIDE IRRIGATION AS NECESSARY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.
- CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
- ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SODDED, SHALL BE REESTABLISHED WITH BERMUDA SOD AND IRRIGATED.
- ALL LANDSCAPE BEDS TO HAVE TOPSOIL/BEDDING MIX THAT MEETS LANDSCAPE SPECIFICATIONS. INSTALL TO DEPTHS, PER PLANTING DETAILS (12" DEPTH MIN.). FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
- ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, pH RANGE OF 5.5-7.4, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES.
- ALL DISTURBED AREAS IN R.O.W. TO BE RE-ESTABLISHED WITH BERMUDA SEED OR SOD AND IRRIGATED UNLESS OTHERWISE SHOWN ON PLANS.
- ALL TREES TO BE PLACED A MINIMUM OF 4' FROM ANY UTILITY.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

VICINITY MAP



CITY OF LANCASTER, TX LANDSCAPE REQUIREMENTS

SEC. 14.804 - MANDATORY PROVISIONS

REQUIRED	PROVIDED
(a.2.) STREET TREE REQUIREMENT: 1 STREET TREE PER EVERY 50 LF OF STREET FRONTAGE	
E BELT LINE ROAD	
- 280 LF / 50 LF = 5.6 (6)	6 TREES 12 TREES
(b.1.A.) MINIMUM LANDSCAPE REQUIREMENTS AT LEAST 20% OF THE SITE SHALL BE PERMANENTLY LANDSCAPED	
20% OR 103,636 SF	14% OR 74,682 SF
(b.1.B.2.) STREET YARDS LESS THAN 10,000 SF IN STREET YARDS OF LESS THAN TEN THOUSAND (10,000) SQUARE FEET, ONE (1) TREE PER ONE THOUSAND (1,000) SQUARE FEET, OR FRACTION THEREOF, OF STREET YARD. 5,588 SF = 6 TREES	
6 TREES	6 TREES
(c.1.) LANDSCAPING FOR NON-RESIDENTIAL LAND USES A MINIMUM TEN-FOOT (10') LANDSCAPE BUFFER IS REQUIRED	
10 FOOT BUFFER	25 FOOT BUFFER
(B.1.B.5.) SHRUBBERY REQUIRED AT LEAST ONE SHRUB SHALL BE REQUIRED FOR EVERY 50 SF OF THE REQUIRED LANDSCAPE AREA	
2,073 SHRUBS	574 SHRUBS
(B6) GROUND COVER REQUIRED AT LEAST 10% OF THE REQUIRED LANDSCAPE AREA SHALL BE MAINTAINED IN GROUND COVER.	
10% OR 10,364 SF	3.1% OR 3,222 SF
SCREENING REQUIRED	
6' WOODEN FENCE	8' MASONRY WALL

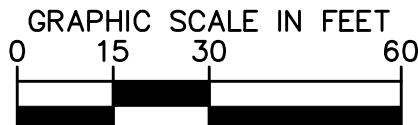
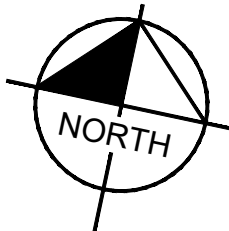
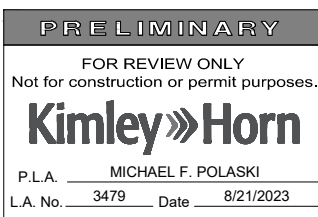
LANDSCAPE PLAN FOR ONCOR TEN MILE SUBSTATION

CITY OF LANCASTER, DALLAS COUNTY, TX 75181
BEING 11.89 ACRES
OUT OF
JONES GREEN SURVEY, ABSTRACT NO. 504
IN
CITY OF LANCASTER, DALLAS COUNTY, TEXAS

OWNER/DEVELOPER:
Oncor
777 Main St, Suite 707
Fort Worth, TX 76102
Tel: (817) 215-6807
Contact: Seth Sampson

ENGINEER/SURVEYOR:
Kimley»Horn
6160 Warren Parkway, Suite 210
Frisco, TX 75034
Tel: (972) 335-3580
Contact: Rob Myers, P.E.

DESIGNED	DRAWN	CHECKED	SCALE	DATE	KH PROJECT NO.	LP 1.01
KS	KS	MFP	AS SHOWN	8/16/2023	064424941	





PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	QV	6	Quercus virginiana / Southern Live Oak	4" cal, 16' ht, 6' spr	Full, Straight, Single Leader
	UP	6	Ulmus parvifolia / Lacebark Elm	3" cal, 14' ht, 6' spr	Full, Straight, Single Leader

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	BEB	48	Berberis thunbergii 'Atropurpurea Nana' / Dwarf Redleaf Japanese Barberry	12" ht, 12" spr, 18" oc	Full
	BEA	26	Berberis thunbergii 'Atropurpurea' / Red Leaf Japanese Barberry	24" ht, 24" spr, 36" oc	Full
	EGG	53	Euonymus fortunei 'Golden Prince' TM / Golden Prince Euonymus	24" ht, 18" spr, 30" oc	Full
	ILB	93	Ilex cornuta 'Burfordii' / Burford Holly	36" ht, 30" spr, 42" oc	Full
	IDB	46	Ilex cornuta 'Dwarf Burford' / Dwarf Burford Holly	24" ht, 18" spr, 30" oc	Full
	MCW	104	Myrica cerifera / Wax Myrtle	36" ht, 24" spr, 48" oc	Full
	PIT	65	Pittosporum tobira / Pittosporum	24" ht, 18" spr, 30" oc	Full
	RHC	30	Rhaphiolepis indica 'Clara' / Indian Hawthorn	24" ht, 18" spr, 30" oc	Full

GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	CDG	109	Cortaderia selloana 'Pumila' / Dwarf Pampas Grass	18" ht, 36" oc	Full
	MUB	156	Muhlenbergia lindheimeri / Lindheimeri Muhly	24" ht, 36" oc	Full

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	CDS	789	Carex divulsa / Berkeley Sedge	12" ht, 12" spr, 18" oc	Full, 1 gallon min.
	LAL	421	Lantana montevidensis / Trailing Lantana	12" ht, 12" spr, 18" oc	Full, 1 gallon min.
	VER	398	Verbena montevidensis / Verbena	12" ht, 12" spr, 18" oc	Full, 1 gallon min.

MISC	CODE	QTY	COMMON NAME	SPECIFICATIONS
	SOD	TBD	Cynodon dactylon / Common Bermuda	Solid sod, rolled tight with sand filled joints, 100% weed, disease, and pest free
	STEEL EDGE	TBD	Steel edging	1/2" x 6" black
	MULCH	TBD	Shredded Hardwood	Dark brown, 3" depth, all trees in sod to receive 4" dia mulch ring

PLANTING NOTES

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CITY OF LANCASTER, TX LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED
SEC. 14.804 - MANDATORY PROVISIONS		
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E BELT LINE ROAD - 280 LF / 50 LF = 5.6 (6)	6 TREES	6 TREES
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(c.1.) LANDSCAPING FOR NON-RESIDENTIAL LAND USES A MINIMUM TEN-FOOT (10') LANDSCAPE BUFFER IS REQUIRED	10 FOOT BUFFER	25 FOOT BUFFER
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SCREENING REQUIRED	6' WOODEN FENCE	8' MASONRY WALL

LANDSCAPE PLAN
FOR
ONCOR TEN MILE SUBSTATION

CITY OF LANCASTER, DALLAS COUNTY, TX 75181
BEING 11.89 ACRES
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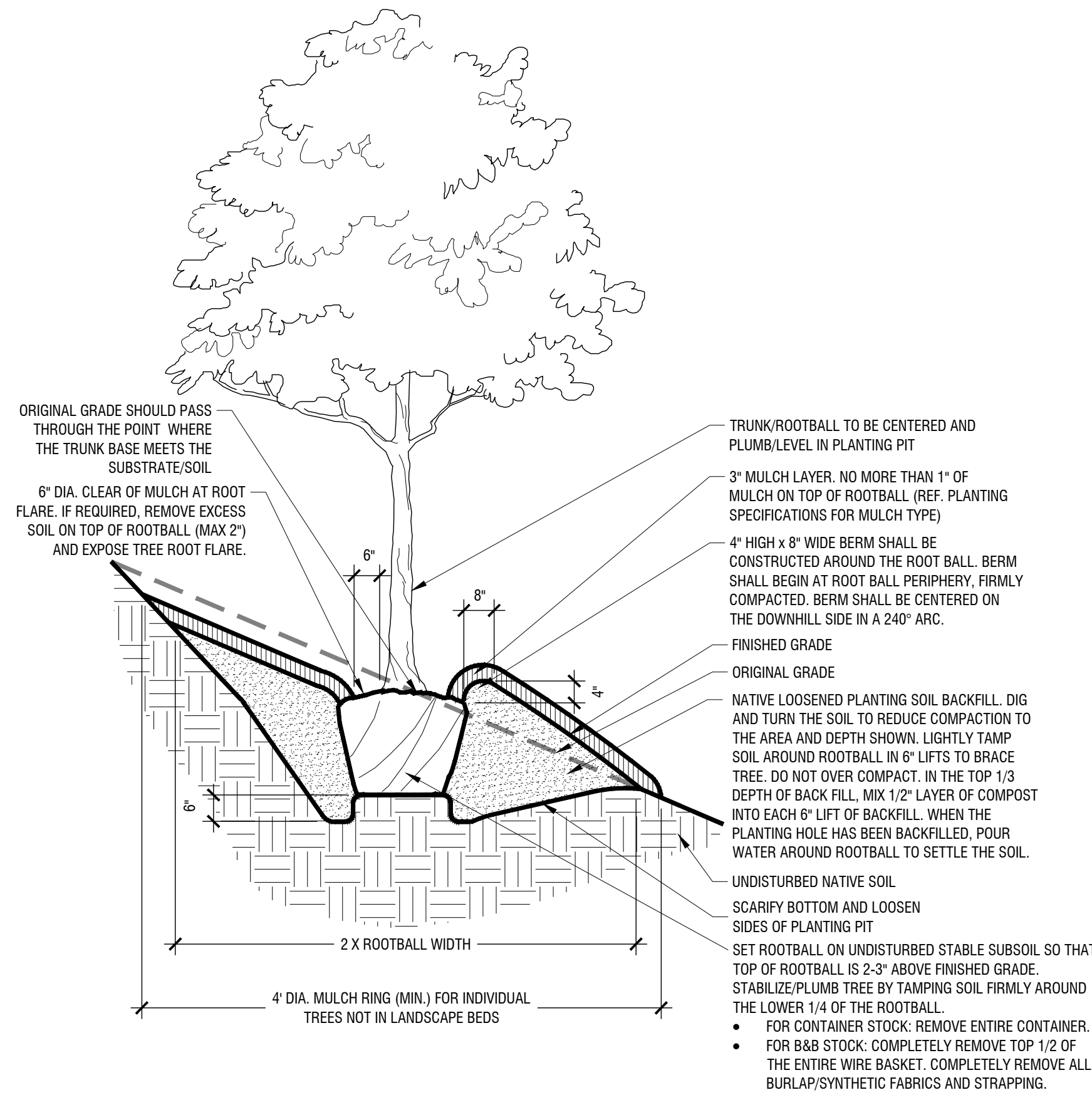
OWNER/DEVELOPER:
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ENGINEER/SURVEYOR:
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Tel: (972) 335-3580
Contact: Rob Myers, P.E.

DESIGNED	DRAWN	CHECKED	SCALE	DATE	KH PROJECT NO.	LP 1.02
KS	KS	MFP	AS SHOWN	8/16/2023	064424941	

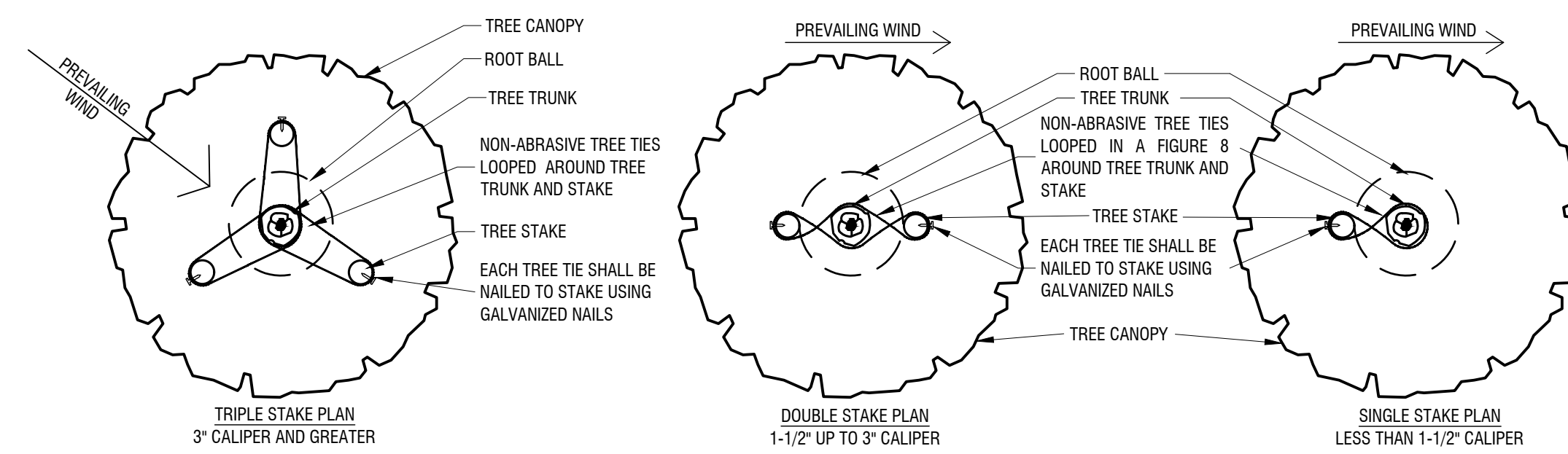
NOTES:

1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. REF. TREE STAKING DETAIL THIS SHEET.

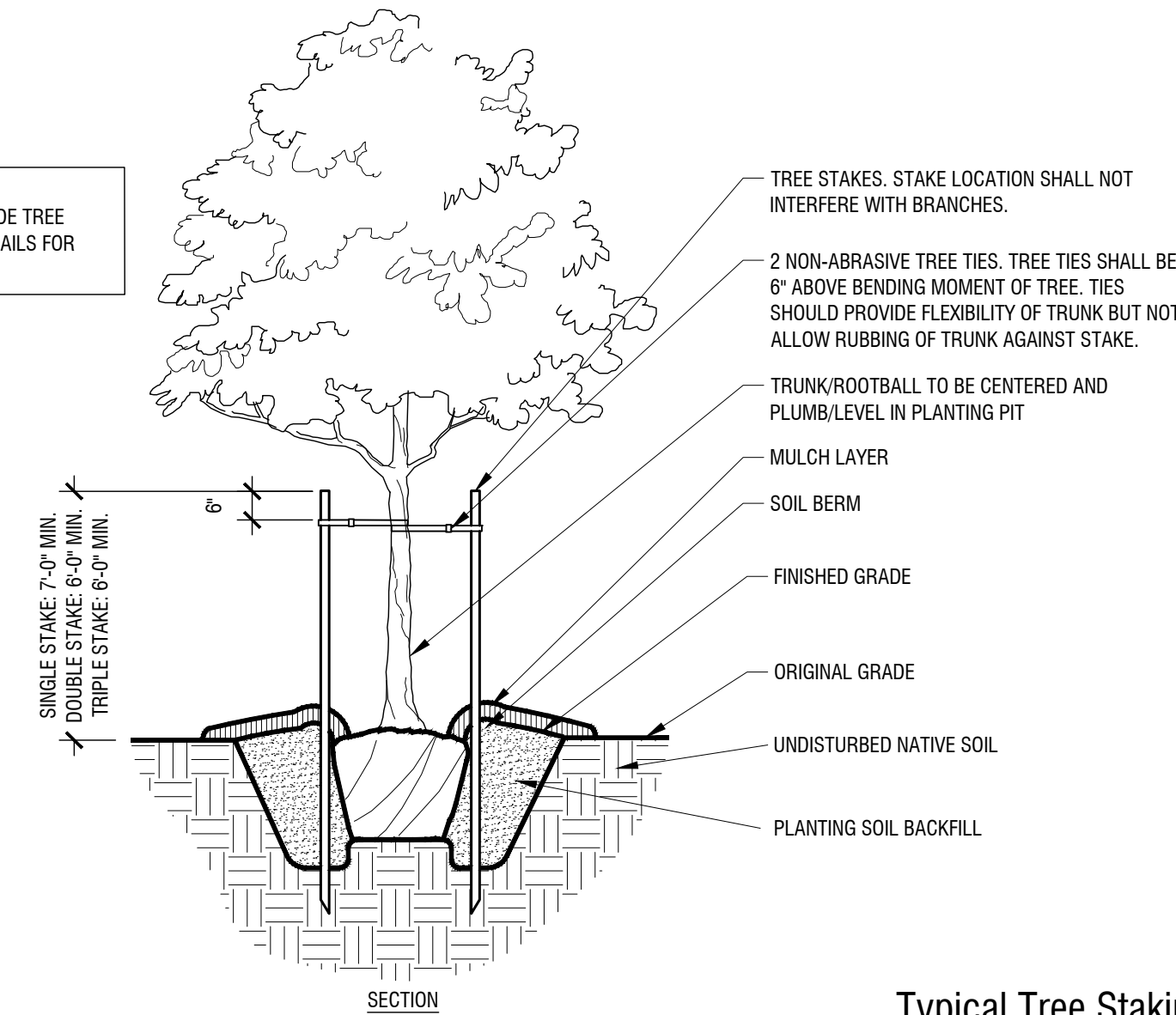


Tree Planting On 5-25% Slopes (20:1 to 4:1 Slopes)

Scale: NTS

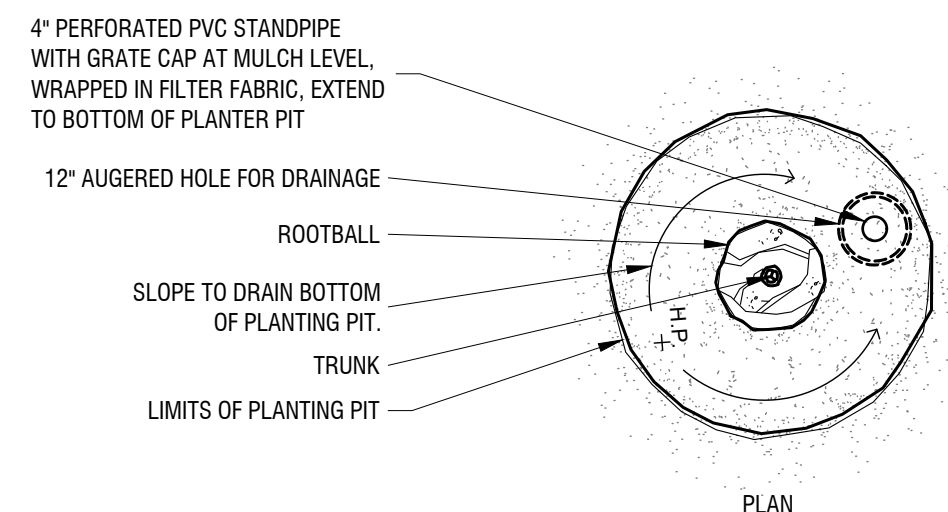


NOTES:
1. THIS DETAIL IS FOR ABOVE GRADE TREE STAKING ONLY. REF. OTHER DETAILS FOR TYPICAL TREE PLANTING.



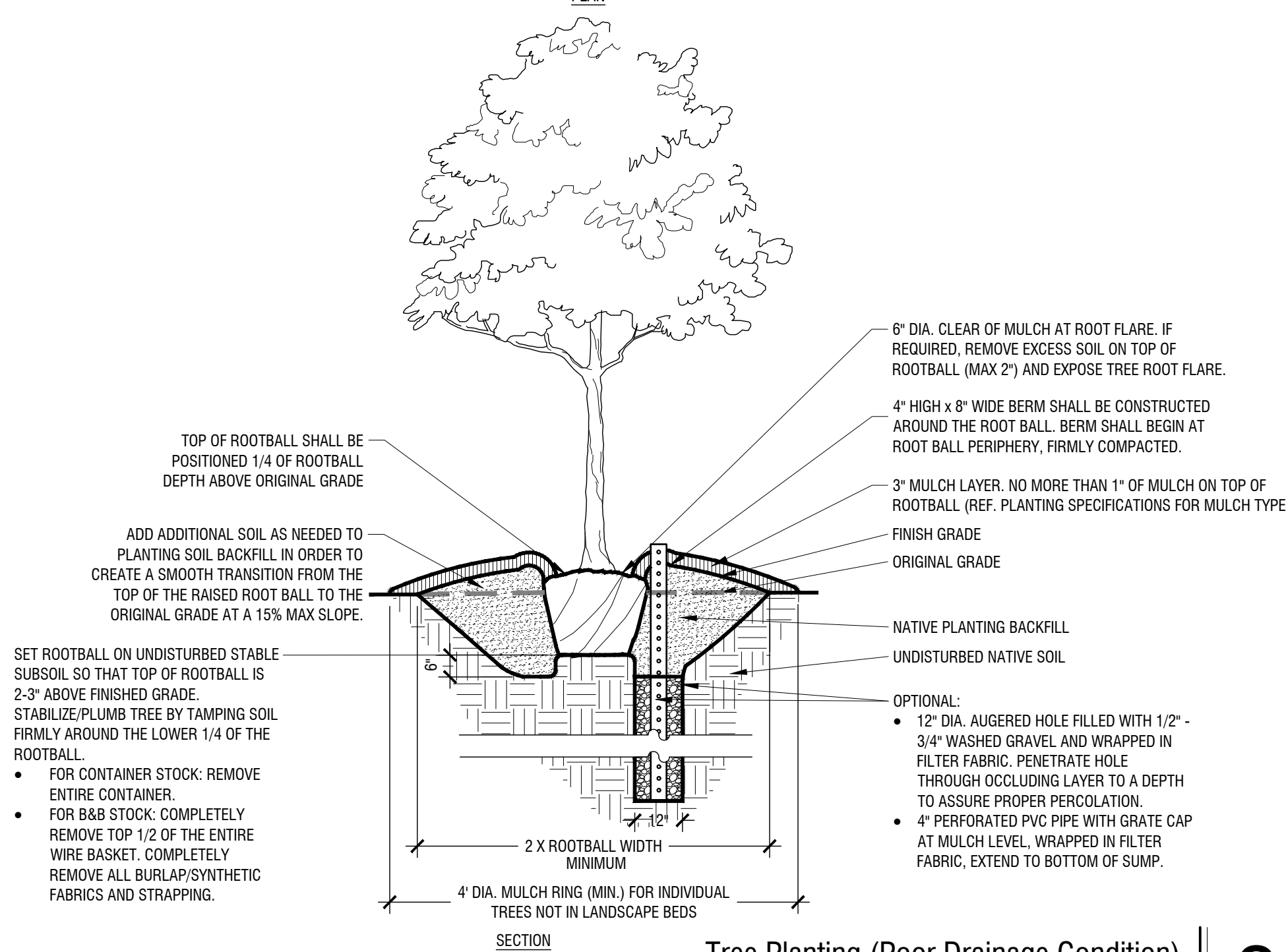
Typical Tree Staking

Scale: NTS



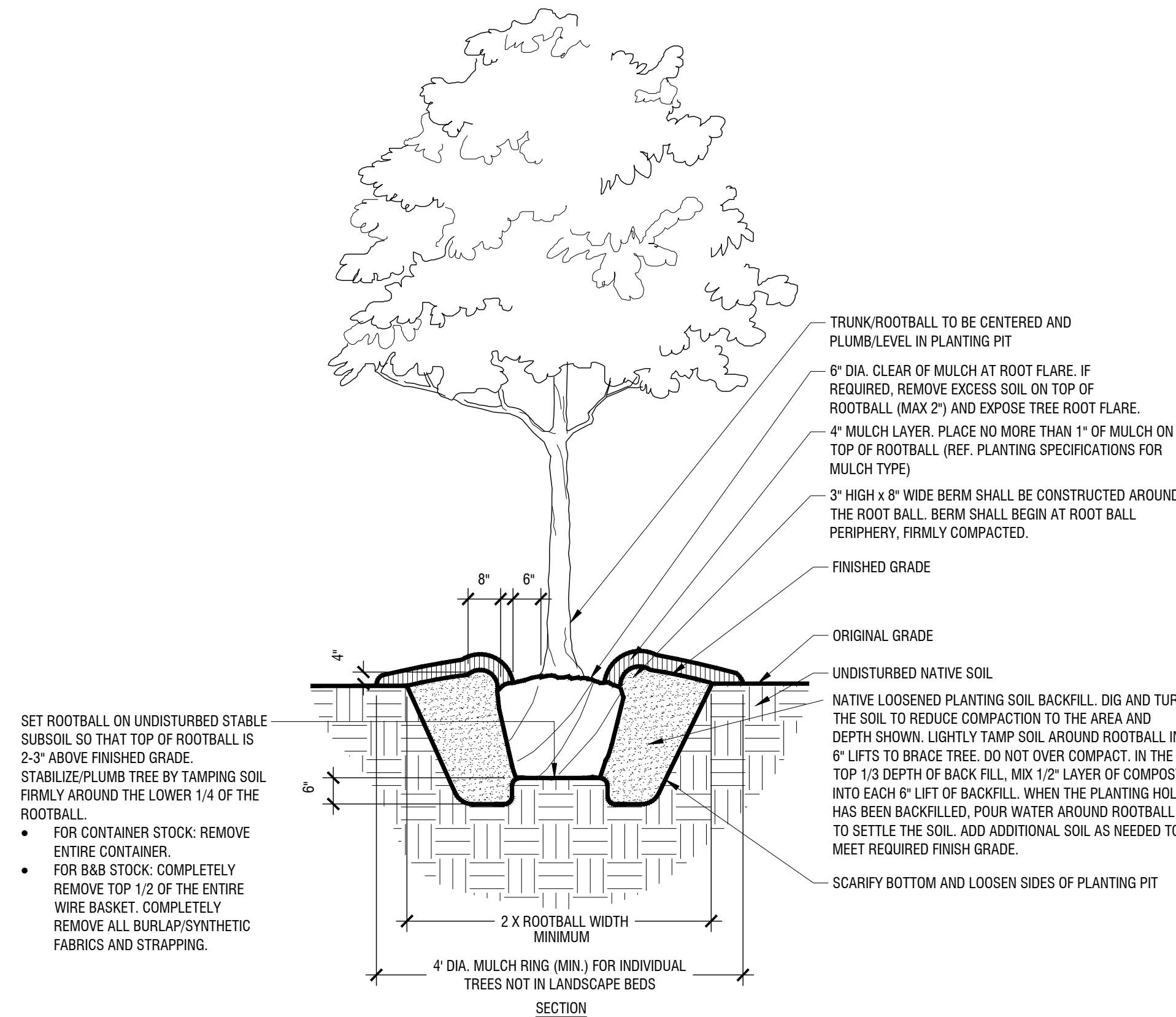
NOTES:

1. THIS DETAIL IS FOR TREE PLANTING IN POOR DRAINAGE CONDITIONS ONLY. REF. DETAIL _____ ON THIS SHEET FOR TYPICAL TREE PLANTING.



Tree Planting (Poor Drainage Condition)

Scale: NTS



Typical Tree Planting (Up to 3" Caliper)

Scale: NTS

LANDSCAPE DETAILS
FOR
ONCOR TEN MILE SUBSTATION

CITY OF LANCASTER, DALLAS COUNTY, TX 75181
BEING 11.89 ACRES
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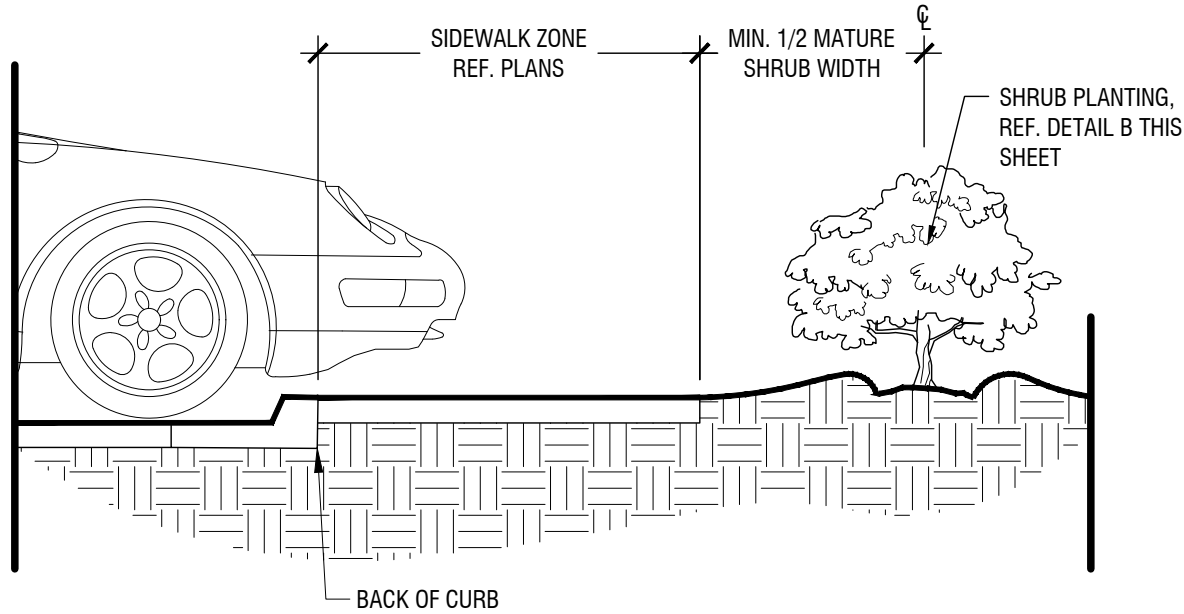
OWNER/DEVELOPER
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DESIGNED	DRAWN	CHECKED	SCALE	DATE	KH PROJECT NO.	LP 3.01
KS	KS	MFP	AS SHOWN	8/16/2023	064424941	

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 LAST SAVED: 4/16/2023 9:58 AM
 This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

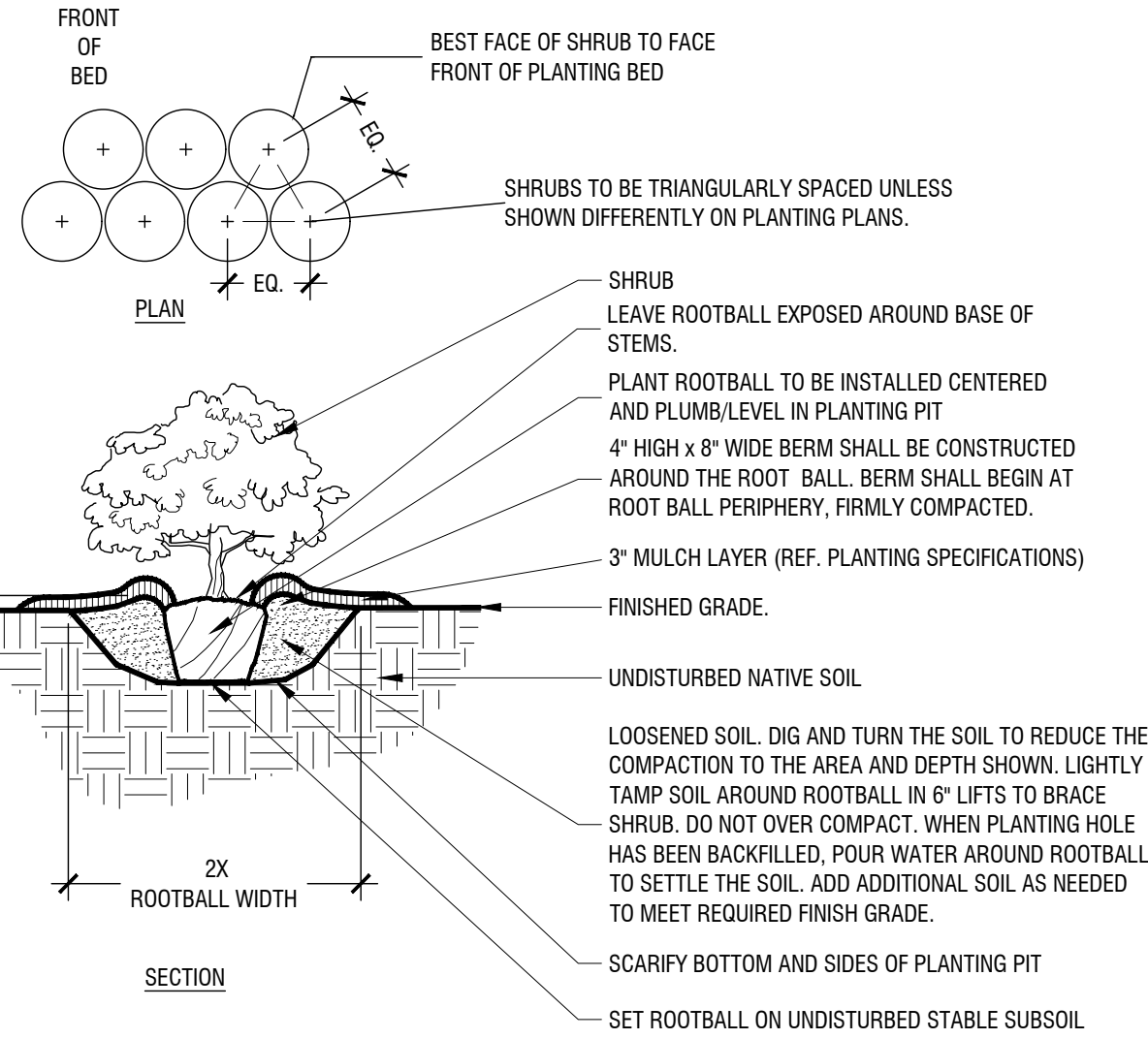
- NOTES:
1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 2. REF. PLANTING SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT
 3. WHEN SHRUBS ARE MASSED TOGETHER WITH GROUNDCOVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)



Shrub Planting at Sidewalk

Scale: NTS

F



Typical Shrub Planting

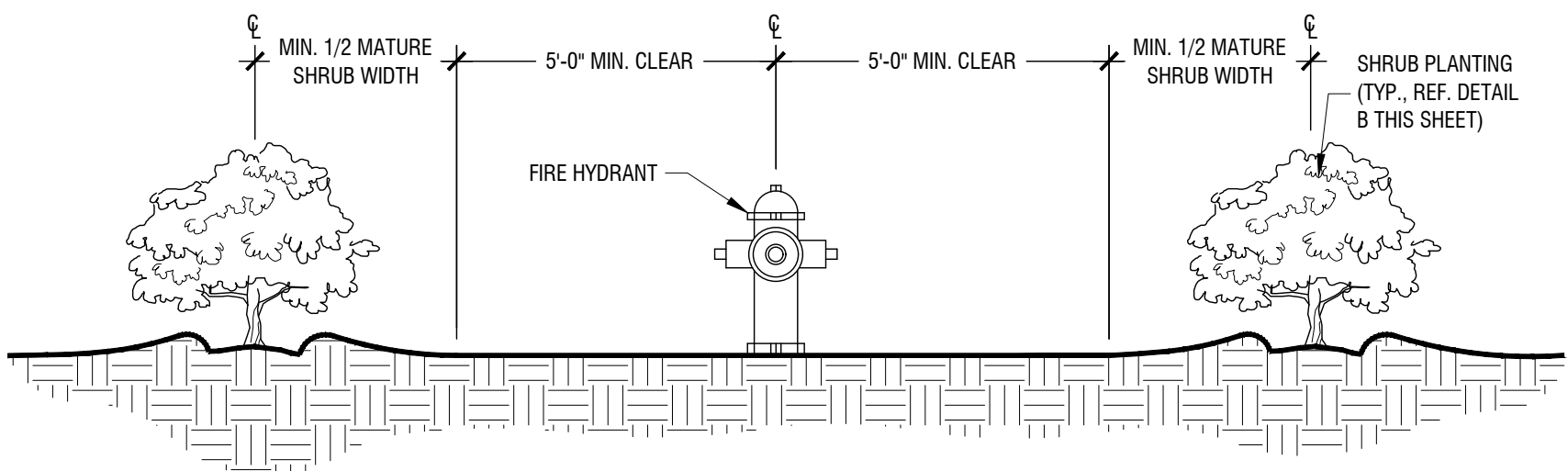
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B

Shrub Planting at Fire Hydrant

Scale: NTS

E



Shrub Planting at Fire Hydrant

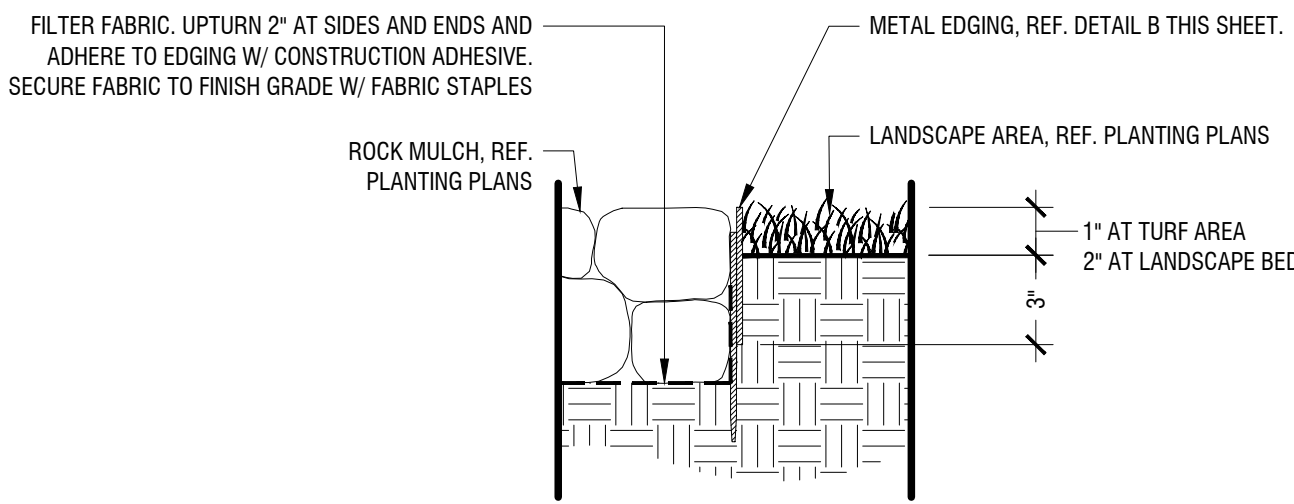
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E

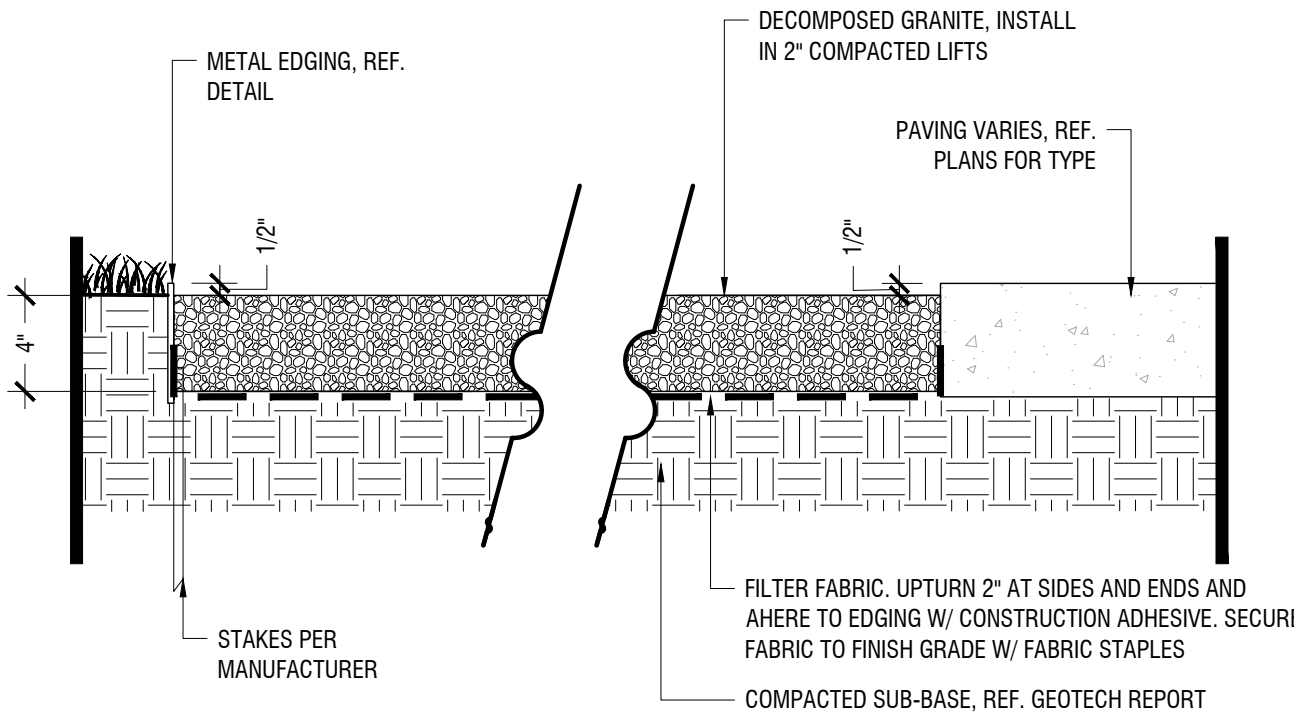
METAL EDGING (AT ROCK COBBLE BED)

Scale: 1 1/2" = 1'-0"

J



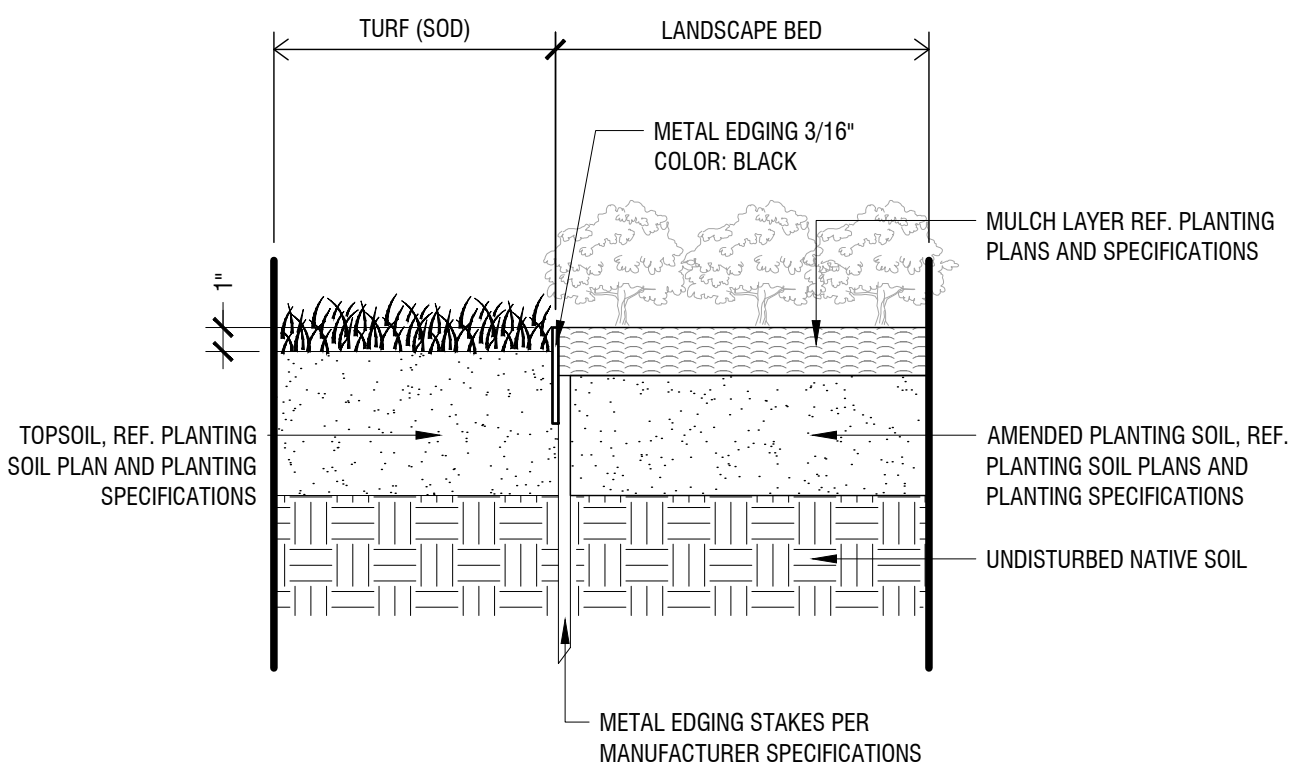
- NOTES:
1. EDGING SHALL NOT BE INSTALLED ADJACENT TO SIDEWALKS.
 2. WHERE EDGING TERMINATES AT A SIDEWALK, BEVEL OR RECESS ENDS TO PREVENT TRIP HAZARDS.



Decomposed Granite

Scale: 1 1/2" = 1'-0"

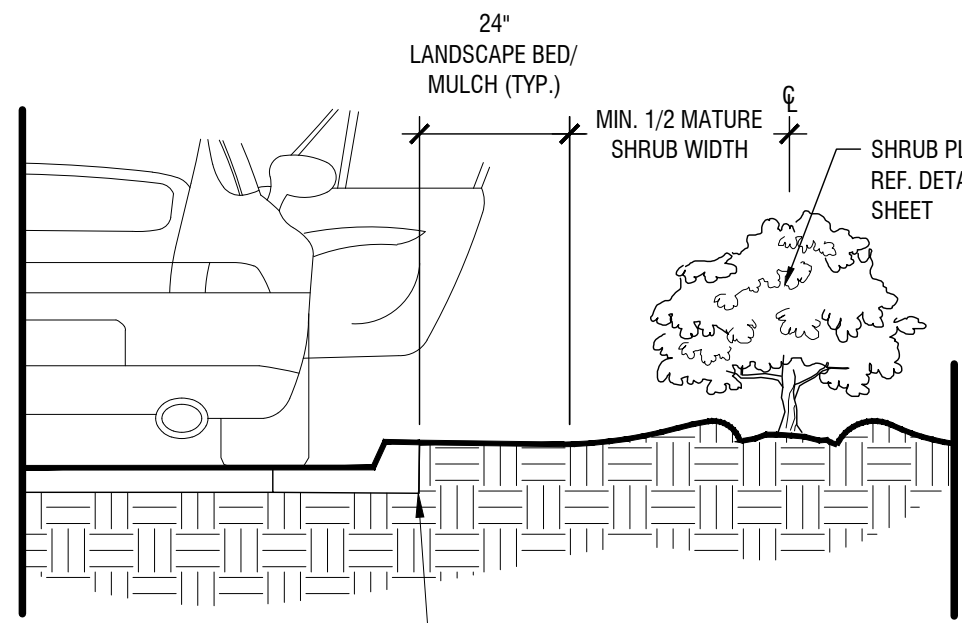
I



METAL EDGING (AT TURF & LANDSCAPE BED)

Scale: 1 1/2" = 1'-0"

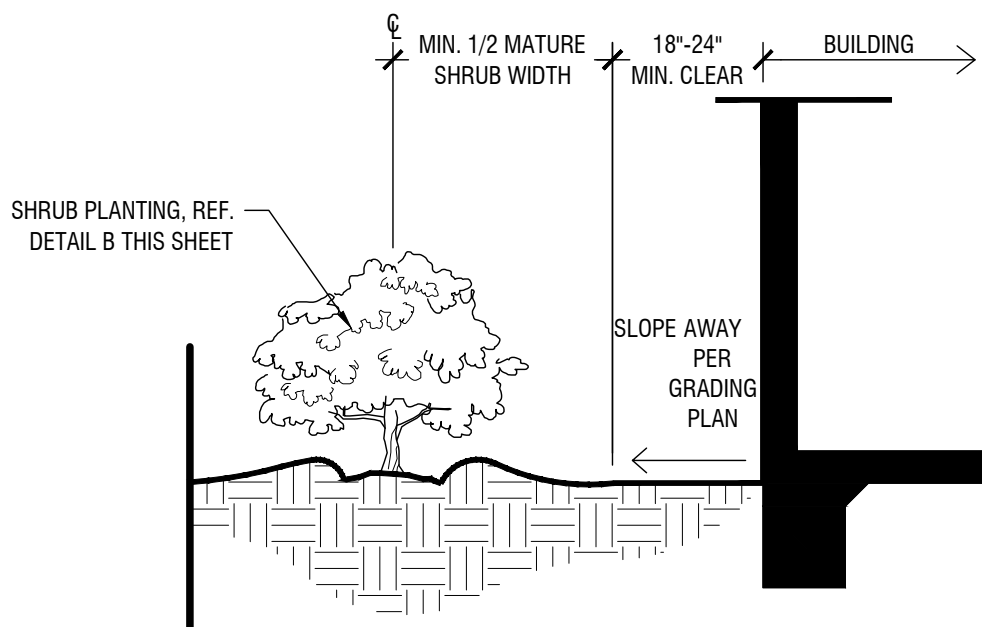
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Shrub Planting at Curb

Scale: NTS

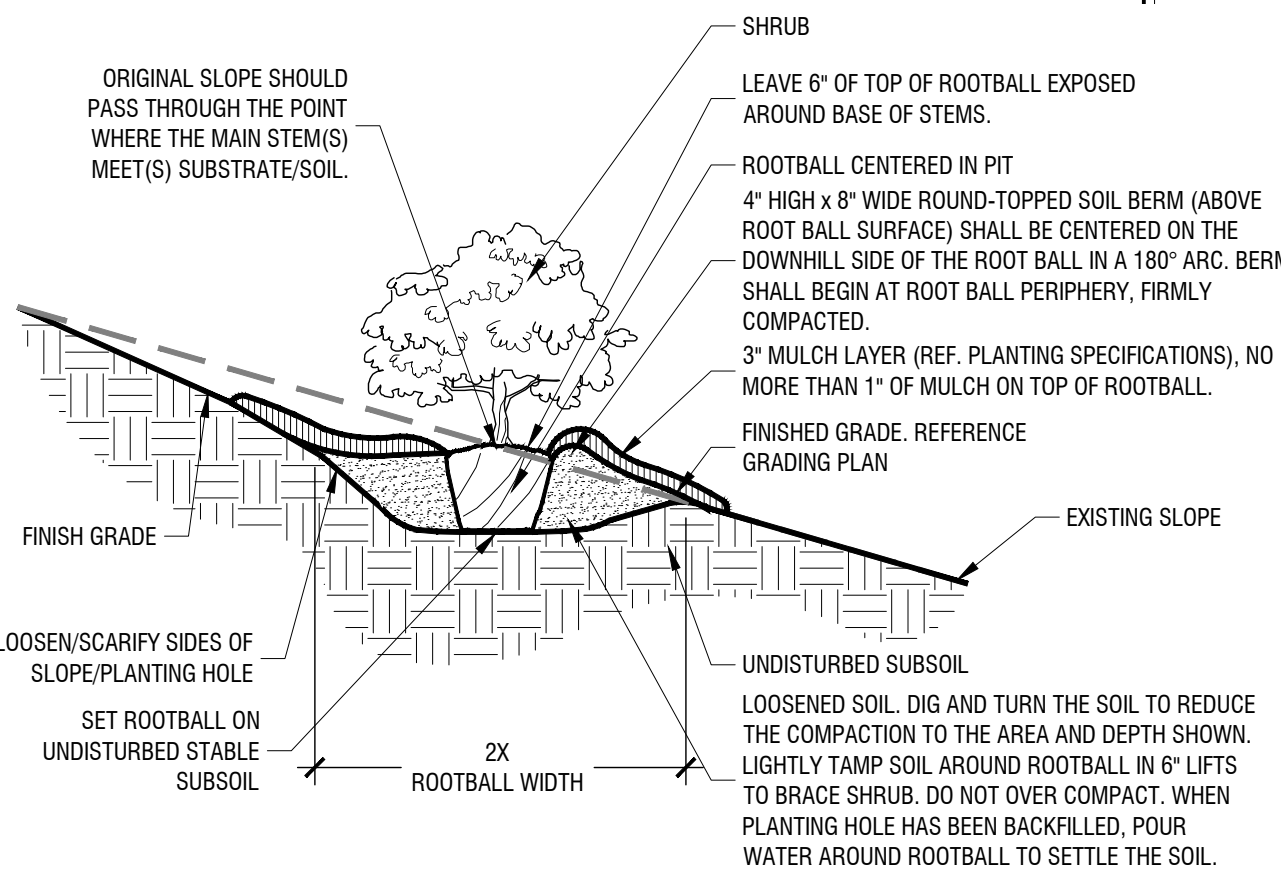
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Shrub Planting at Building Edge

Scale: NTS

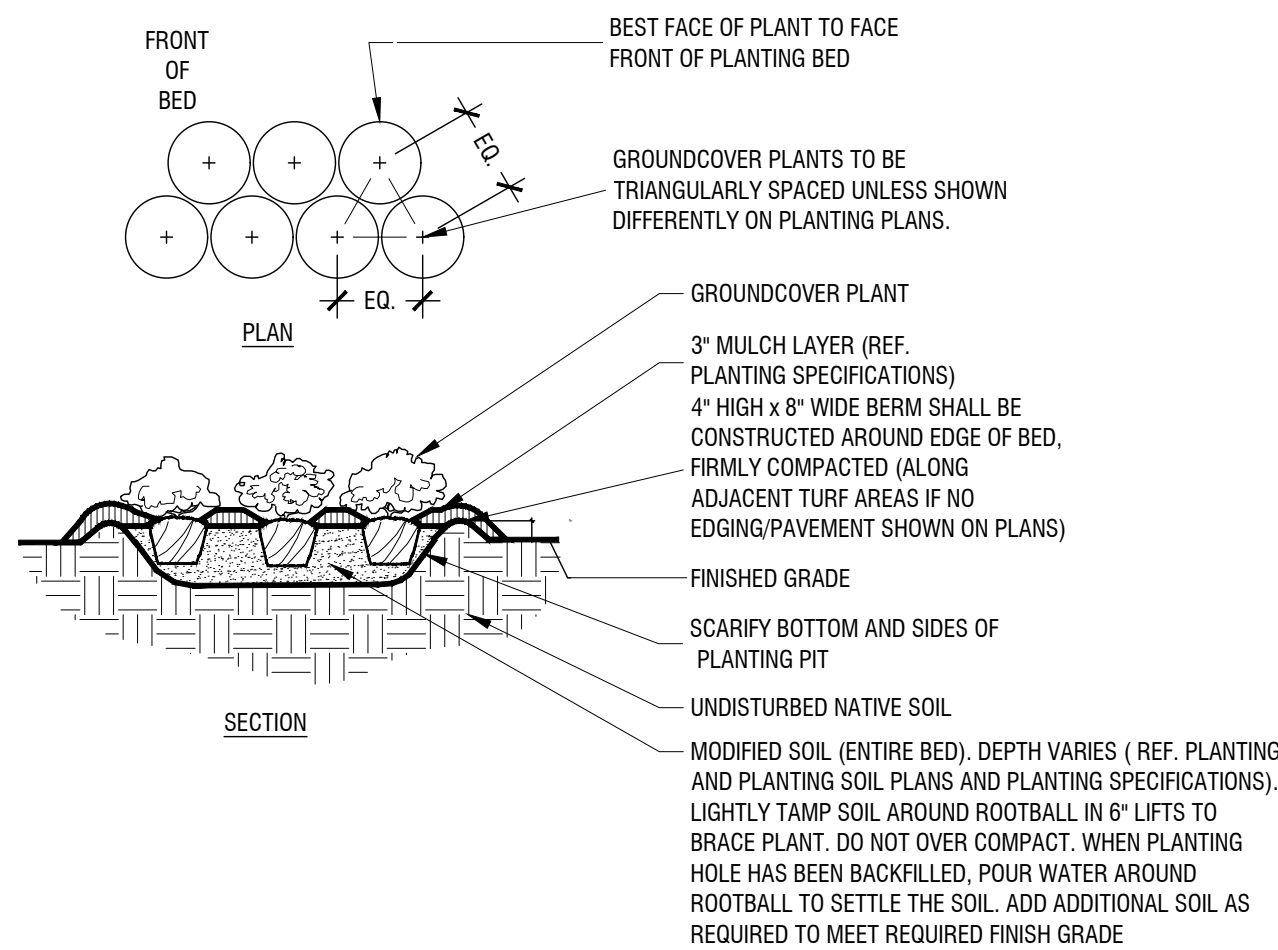
D



Shrub Planting On 5-50% (20:1 TO 2:1) Slope

Scale: NTS

C



Typical Groundcover Planting

Scale: NTS

A

LANDSCAPE DETAILS
FOR
ONCOR TEN MILE SUBSTATION

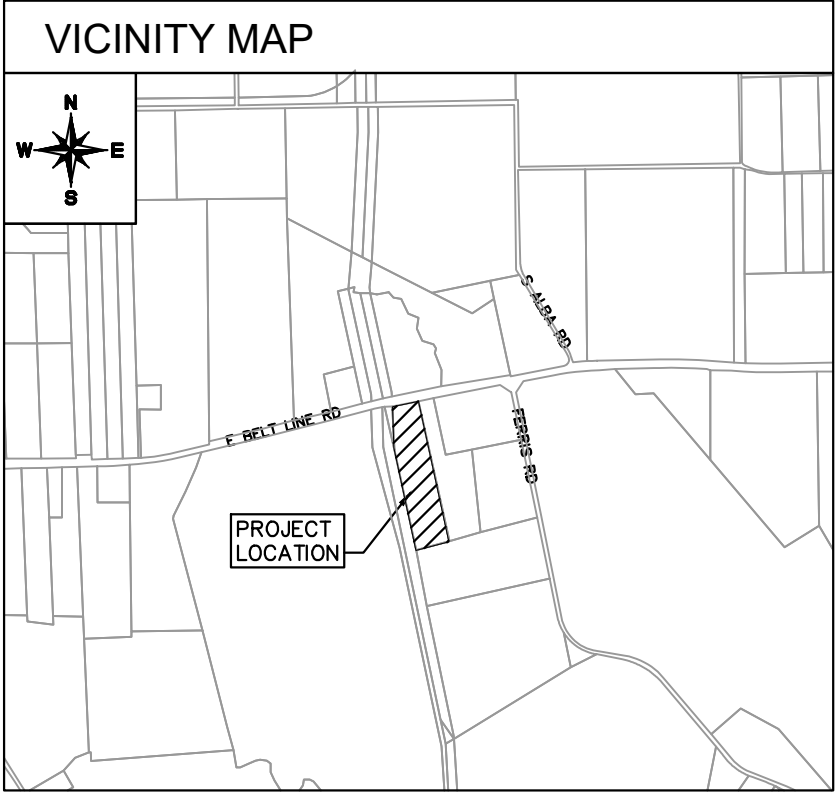
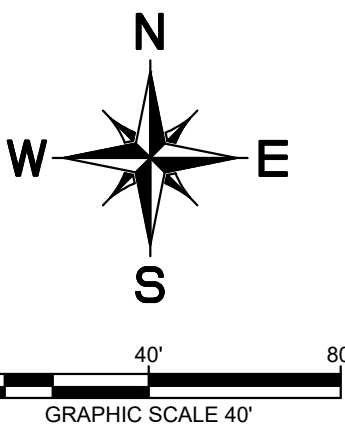
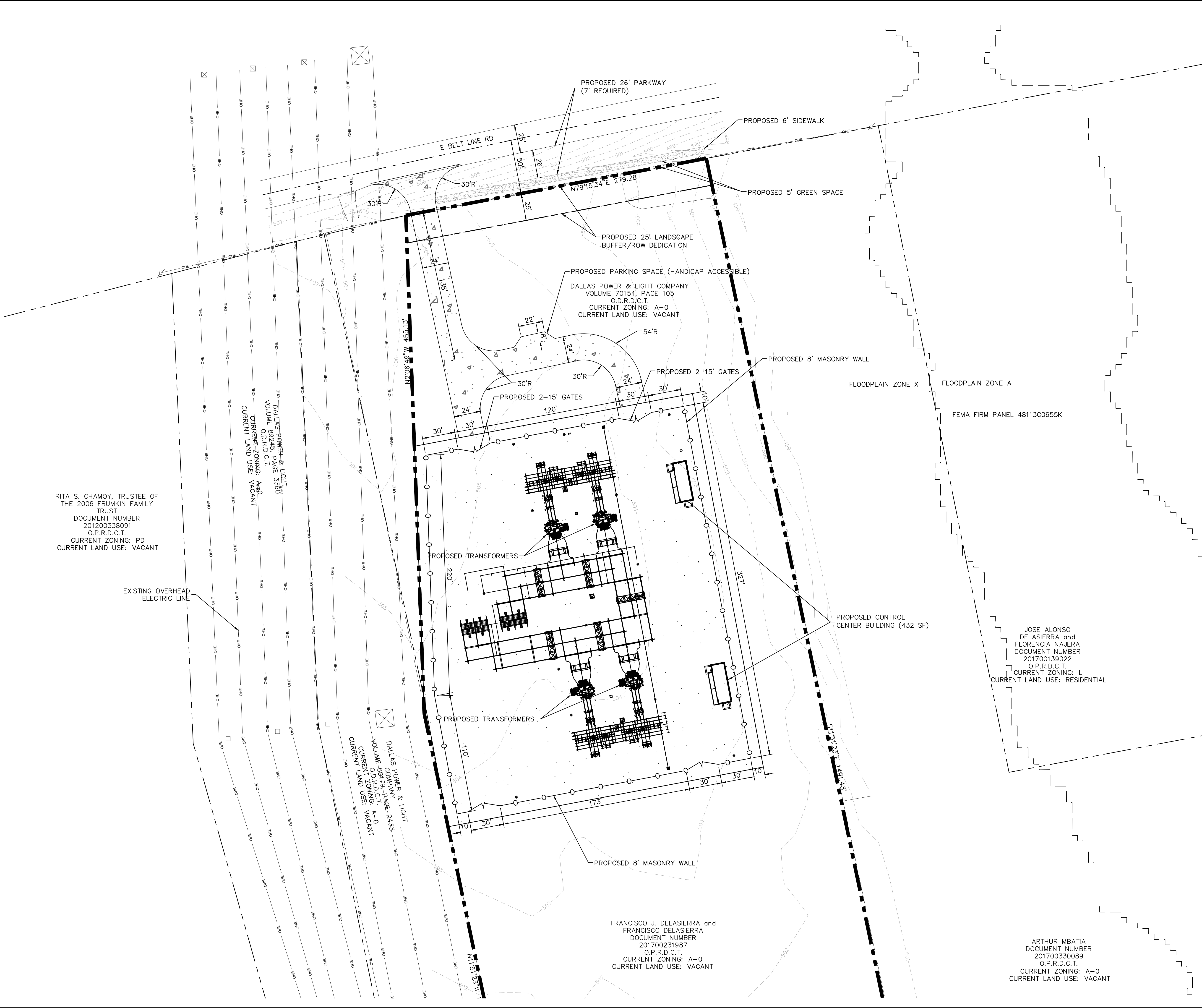
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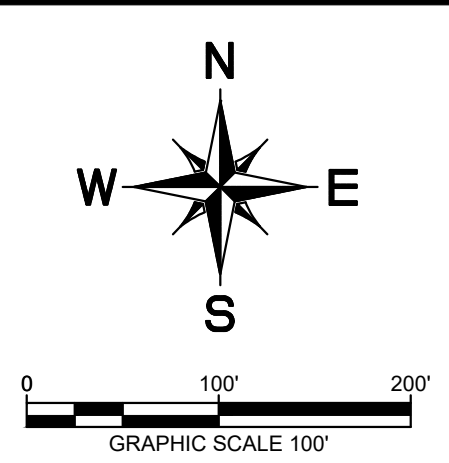
PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes.
Kimley»Horn
P.L.A. MICHAEL F. POLASKI
L.A. No. 3479 Date 8/16/2023



LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	8' HEIGHT MASONRY WALL
	FLOODPLAIN LIMITS
	SUBSTATION PAD PAVEMENT: CRUSHED ROCK FLEX BASE PAVEMENT: REFER TO PAVEMENT SECTIONS.
	MEDIUM DUTY CONCRETE PAVEMENT: 6\" MEDIUM DUTY CONCRETE PAVEMENT: REFER TO PAVEMENT SECTIONS.
	6\" CONCRETE SIDEWALK: 6\" WIDE CONCRETE SIDEWALK. REFER TO PAVEMENT SECTIONS.

SITE DATA TABLE	
EXISTING ZONING	A-O
PROPOSED USE FOR STRUCTURES	CONTROL CENTER (UNOCCUPIED)
LOT AREA (SF & AC)	518,179 SF/11.89 AC
BUILDING SF	864 SF
BUILDING HEIGHT	13 FT.
% OF BUILDING COVERAGE	0.002%
PARKING REQUIRED	1 SPACE
PARKING PROVIDED	1 SPACE
EQUIPMENT MAX HEIGHT	65 FT.
EXCEPTIONS REQUESTED	LANDSCAPE EXCEPTION REQUESTED. REFER TO LETTER OF INTENT
IMPERVIOUS AREA	109,076 SF/2.50 AC
% IMPERVIOUS AREA	21.0%

SITE PLAN FOR ONCOR TEN MILE SUBSTATION	
CITY OF LANCASTER, DALLAS COUNTY, TX 75181 BEING 11.89 ACRES OUT OF JONES GREEN SURVEY, ABSTRACT NO. 504 IN CITY OF LANCASTER, DALLAS COUNTY, TEXAS	
OWNER/DEVELOPER: Onco 777 Main St, Suite 707 Fort Worth, TX 76102 Tel: (817) 215-6807 Contact: Seth Sampson	ENGINEER/SURVEYOR: Kimley»Horn 6160 Warren Parkway, Suite 210 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Rob Myers, P.E.
DESIGNED: RJM	DRAWN: KPH
CHECKED: RJM	SCALE: AS SHOWN
DATE: 8/15/2023	DATE: 8/15/2023
PROJECT NO.: 064424941	

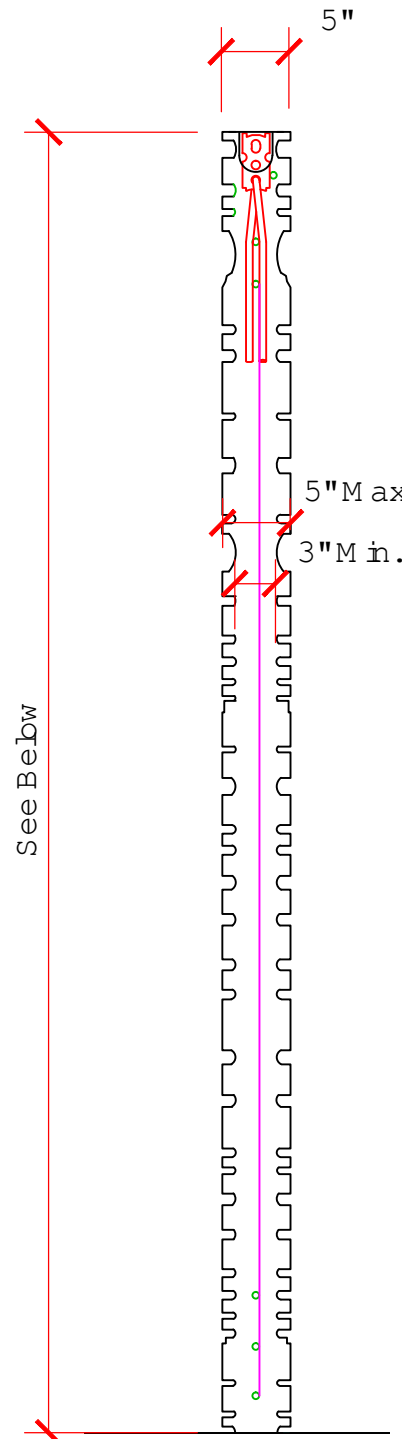


SITE DATA TABLE	
EXISTING ZONING	A-O
PROPOSED USE FOR STRUCTURES	CONTROL CENTER (UNOCCUPIED)
LOT AREA (SF & AC)	518,179 SF/11.89 AC
BUILDING SF	864 SF
BUILDING HEIGHT	13 FT.
% OF BUILDING COVERAGE	0.002%
PARKING REQUIRED	1 SPACE
PARKING PROVIDED	1 SPACE
EQUIPMENT MAX HEIGHT	65 FT.
EXCEPTIONS REQUESTED	LANDSCAPE EXCEPTION REQUESTED. REFER TO LETTER OF INTENT
IMPERVIOUS AREA	109,076 SF/2.50 AC
% IMPERVIOUS AREA	21.0%

CITY OF LANCASTER, DALLAS COUNTY, TX 75181
BEING 11.89 ACRES
OUT OF
JONES GREEN SURVEY, ABSTRACT NO. 504
IN
OF LANCASTER, DALLAS COUNTY, TEXAS

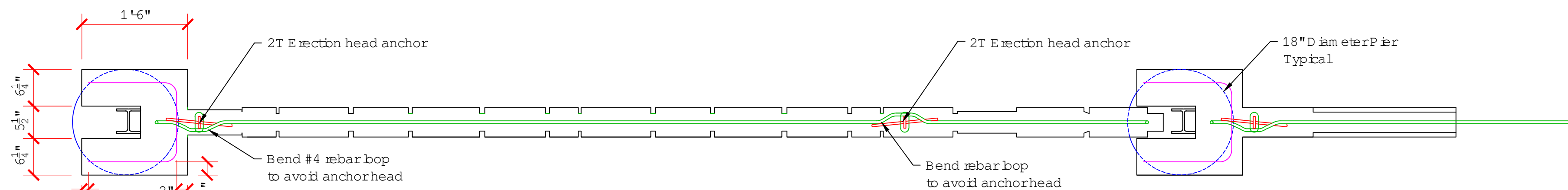
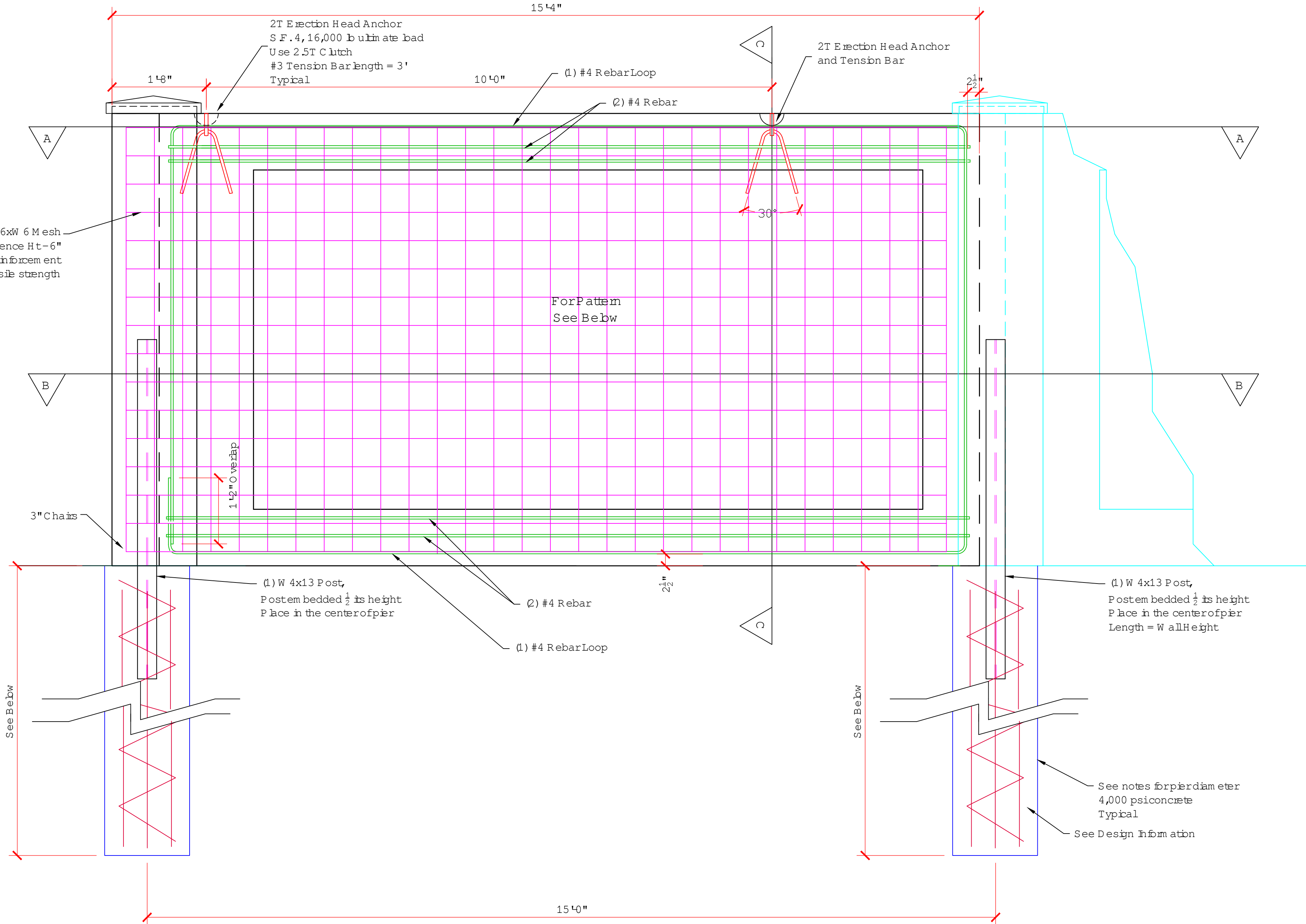
Kimley»Horn

DESIGNED	DRAWN	CHECKED	SCALE	DATE	KH PROJECT NO.
RJM	KPH	RJM	AS SHOWN	8/15/2023	064424941

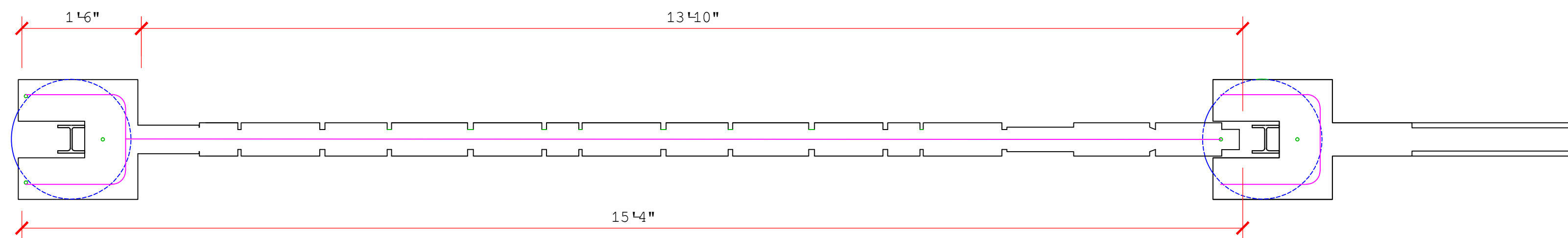


C | S1.10 |
1/8 Section

4x4, W 6xW 6 Mesh
Width = 3'6", Height = Fence Ht - 6"
Welded Wire Reinforcement
60 ksi minimum tensile strength



A | S1.10 |
1/8 Section



B | S1.10 |
1/8 Section

GENERAL NOTES

Materials

- Concrete
 - 1.1. Concrete; Ultimate ft = 5,000 psi (Panel & Cap Only)
 - 1.2. Concrete; Slipping ft = 4,000 psi
- Steel
 - 2.1. Steel Post; ASTM A992, Grade 50
 - 2.2. Steel Rebar; ASTM A615, Grade 60, deformed rebar
 - 2.3. W W M; ASTM A1064, smooth wire, 60 ksi minimum tensile strength.
- Grout; Non-shrink, Non-metallic, with minimum 8000 psi 28 day strength.
- Flared Loop Coil Insert
 - 4.1. D 1" min
 - 4.2. Length 12"
 - 4.3. Spread Length 3-3/4"
 - 4.4. Pull strength 7,500 lbs

Design

- Loads
 - 1.1. Wind
 - 1.1.1. Wind Speed (v) = 135 mph
 - 1.1.2. Importance Factor = 1.0
 - 1.1.3. Exposure Category = C
 - 1.2. Seismic
 - 1.2.1. Sg 2.9g
 - 1.2.2. S1 1.3g
 - 1.2.3. Fa 1.0
 - 1.2.4. Fv 1.5
 - 1.2.5. Sds 1.93
 - 1.2.6. Sd1 1.3
 - 1.2.7. Is 1.0
 - 1.2.8. Site Class D
 - 1.2.9. Response Coef R 3.5
- Designed in accordance with ACI 318-08 and PCI Design Manual 6th Edition
- Wind design meets or exceeds the wind requirements found in ASCE 7-05, ASCE 7-10 and as requested by the City of Mesquite.

Installation of Rigid Support Footing System

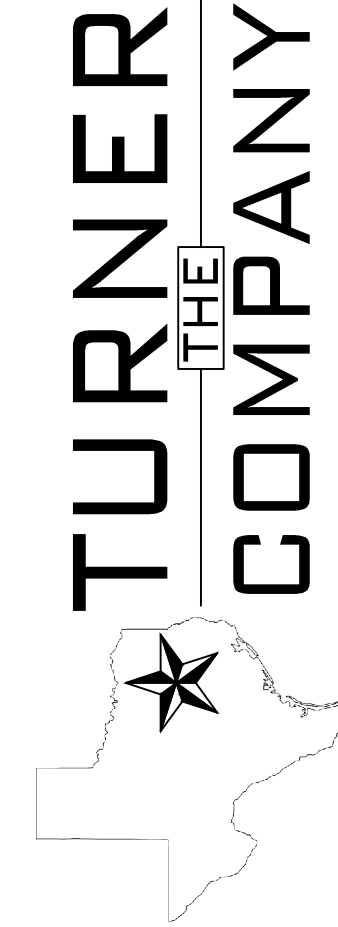
- Excavate footing to depth and dimensions indicated on Drawings. Provide uniform and continuous bearing and support for concrete and steel support member.
- Place concrete in accordance with [ACI 301] [ACI 318].
- Deposit concrete at final position. Prevent segregation of mix. Smooth out the top of the footing.
- Ensure rigid support member is placed plumb, in correct position and is not disturbed during concrete placement.

Panel Erection

- Erect column panels in line with the rigid support system members per manufacturer's written instructions.
- Erect units without damage. Replace structural damaged panels and repair non-structural damaged panels.
- Erect column panels level and plumb within allowable tolerances.
- Align and maintain uniform horizontal and vertical joints as erection progresses.
- Install precast cap units over columns per manufacturer's instructions.

PROJECT INFORMATION	
PROJECT NAME:	----
PROJECT ADDRESS:	----
OWNER/DEVELOPER:	----
GEOTECHNICAL INFORMATION:	
TEST PREPARED BY:	----
REPORT NUMBER:	----
DATE:	----
DESIGN INFORMATION:	
----	PIER DIAMETER, INCHES (W/O RETAINING WALL)
----	PIER DEPTH, FT
(4) # ----	VERTICAL REBAR
# ----	SPIRALS OR LADDERS @ 12" O.C.
----	SPIRAL OUTSIDE DIAMETER, INCHES
----	FT. FENCE HEIGHT
----	MIN. BOTTOM CLEARANCE, INCHES
----	MAX. BOTTOM CLEARANCE, INCHES
LEDGESTONE	PATTERN

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CONSULTING, INC.

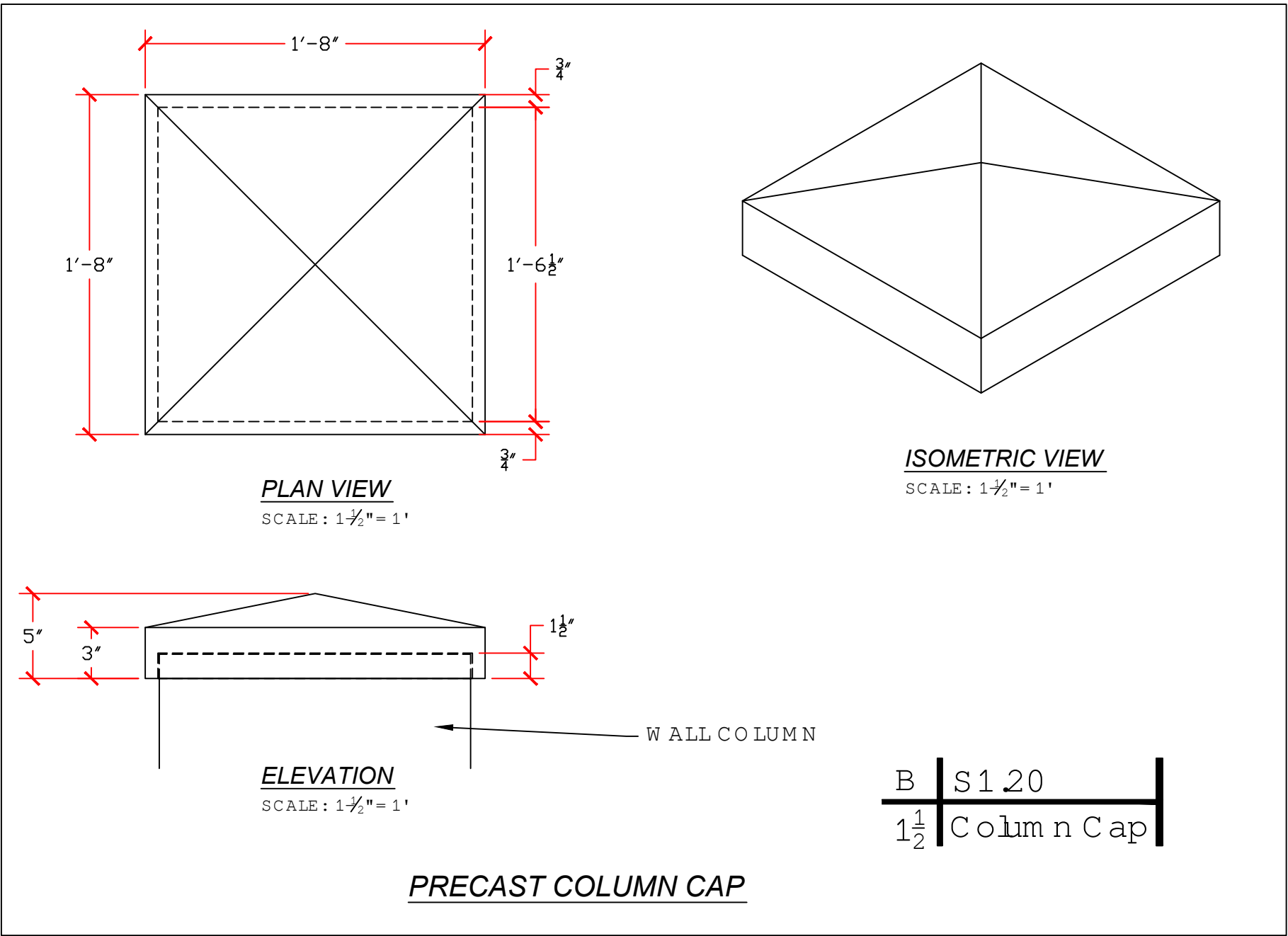
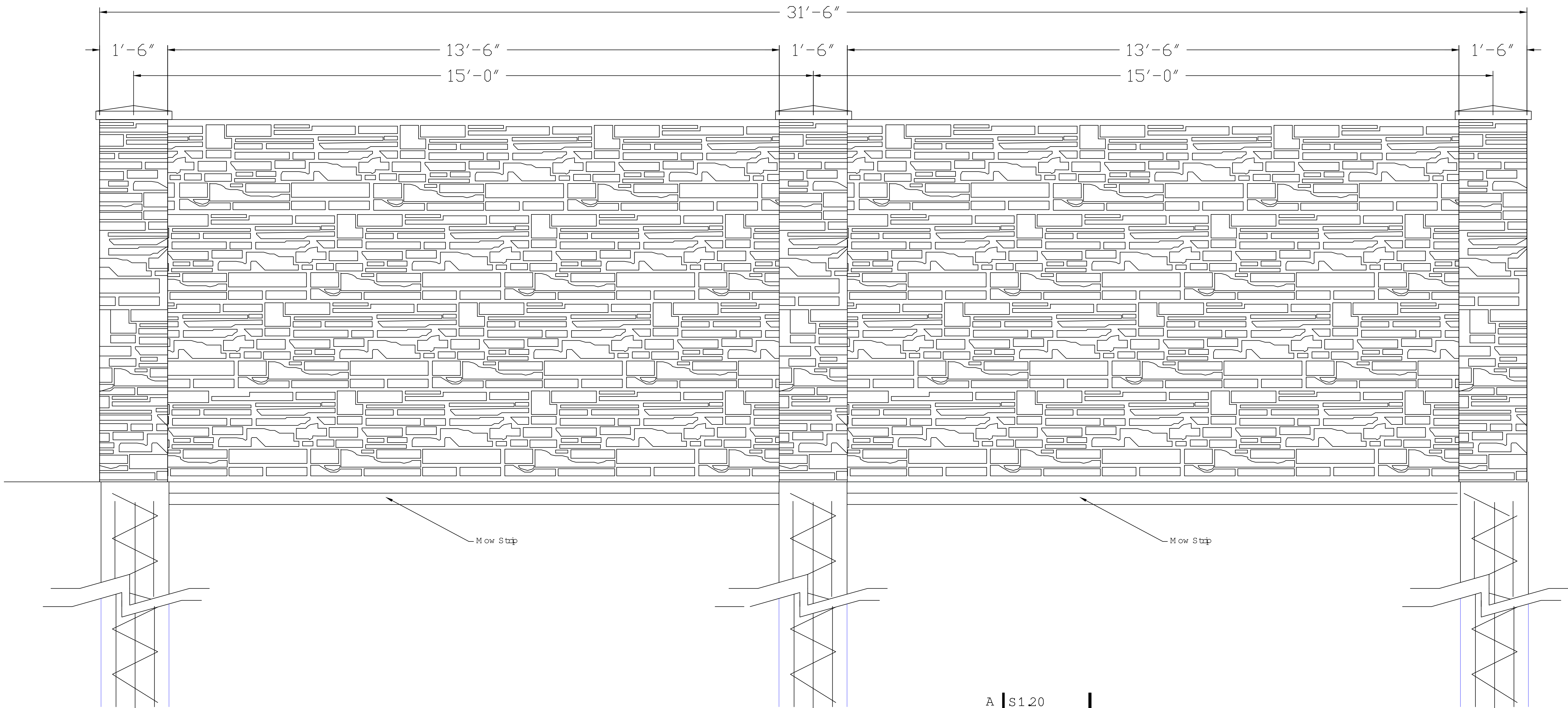


Carr Consulting Inc.
Engineers - Scientists - Planners
153 W. Anderson Drive
Ft. Worth, Texas 76126
Phone: (817) 762-8215
Email: jay@ccarr.com
Registration No. F-2331

STATUS:	
MANAGER:	
CONTACT:	
DRAFTSMAN:	
BY	DATE
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DRAWING
NUMBER

S1.10



CITY OF LANCASTER CITY COUNCIL

City Council Special Work Session and Regular Meeting

10.

Meeting Date: 09/25/2023

Policy Statement: This request supports the City Council 2023-2024 Policy Agenda

Goal(s): Sound Infrastructure
Quality Development

Submitted by: Vicki D. Coleman, Director of Development Services

Agenda Caption:

Z23-12 Conduct a public hearing and consider an ordinance granting a zoning change from Planned Development (PD) to Single Family Estates (SF-E). The property is located approximately 172 feet south of W. Main Street on S. Bluegrove Road, addressed as 180 S. Bluegrove Road, known as Arthur Eldridge Abstract 449, Page 470 Block 0, Tract 14, 1.42 acres, City of Lancaster, Dallas County, Texas.

Background:

1. **Location and Size:** The property is located approximately 172 feet south of W. Main Street on S. Bluegrove Road, addressed as 180 S. Bluegrove Road and is 1.42 acres in size.
2. **Current Zoning:** The subject property is zoned Planned Development (PD).
3. **Adjacent Properties:**
North: Planned Development (PD) - Undeveloped/Church
South: Planned Development (PD) - Undeveloped Land
East: Planned Development (PD) - Undeveloped Land
West: Agricultural Open (AO) - Undeveloped Land/Home
3. **Comprehensive Plan Compatibility:** The Future Land use Plan of the Comprehensive Plan designates the property as Rural Living. The proposed zoning district is consistent with the Future Land Use Plan of the Comprehensive Plan.

4. **Case History:**

Date	Body	Action
09/05/2023	P&Z	Z23-12 Recommended Approval of Planned Development (PD) to SF-E
09/09/2002	CC	Planned Development (PD)

Operational Considerations:

The applicant is proposing a single-family use on the lot which is 1.42 acres of land. The applicant proposes to demolish the old home and rebuild a 3000 square feet home. Pursuant to Section 14.1101 of the Lancaster Development Code (LDC), when reviewing a zoning change application, there are five (5) considerations that must be made when deciding on a zoning application. The following is an analysis of these conditions:

Consistency with the Comprehensive Plan:

The Comprehensive Plan Future Land Use map designates this area as Rural Living. Rural Living is focused on areas of the community that have the ability to preserve a rural character. This includes estate residential type areas. The high-end character of this housing is primarily focused on serving the needs of executives with densities less than two (2) dwelling units per acre. The zoning change request is therefore consistent with the Comprehensive Plan shown on the attached Comprehensive Plan excerpt.

Potential Impact on Adjacent Development:

Properties to the north, south and east are zoned Planned Development. The property to the west is zoned Agricultural Open (AO). The adjacent properties immediately surrounding the subject property are undeveloped with the exception of a church to the north. If the rezoning request is approved by City Council, the proposed SF-E development will be subject to the Lancaster Development Code, Subdivision Regulations and all other relevant City codes.

Availability of utilities and access:

The City has water available to this property. Sewer will have to be addressed at the platting phase.

Site conditions such as vegetation, topography and floodplain:

The subject property is currently improved with a single-family home. Upon demolition of the old home and construction of this site, factors such as vegetation, topography and flood plain issues will be addressed through the development review process.

Timing of Development as it relates to the Capital Improvement Plan (CIP):

There are currently no capital improvements planned for the area.

Based upon an analysis of the five (5) criteria that must be taken into consideration when reviewing a change in zoning application, the proposed change request will integrate appropriately as the area is envisioned for single-family home development and is consistent with the Future Land Use Plan of the Comprehensive Plan.

Legal Considerations:

This item is being considered at a Regular Meeting of the City Council noticed in accordance with the Texas Open Meetings Act.

Public Information Considerations:

On August 24, 2023, a notice for this public hearing appeared in the Focus Daily Newspaper. Staff mailed notifications of this public hearing to property owners within 200 feet of the subject site and zoning signs were placed on the property. At the time of this report, staff had not received any letters in support or opposition.

Options/Alternatives:

1. The City Council may approve the ordinance, as presented.
2. The City Council may deny the ordinance request.

Recommendation:

On September 5, 2023, the Planning and Zoning Commission recommended approval of the request to rezone the property from Planned Development (PD) to Single Family Estate (SF-E). Staff concurs.

Attachments

Ordinance

Location Map

Letter of Intent

ORDINANCE NO.

AN ORDINANCE OF THE CITY OF LANCASTER, TEXAS, CHANGING THE ZONING DESIGNATION (Z23-12) ON 1.42 ACRES OF LAND, LOCATED 172 FEET SOUTH OF W. MAIN STREET ON S. BLUEGROVE ROAD, ADDRESSED AS 180 S. BLUEGROVE ROAD, KNOWN AS ARTHUR ELDRIDGE ABSTRACT 449, PAGE 470 BLOCK 0, TRACT 14, CITY OF LANCASTER, DALLAS COUNTY, TEXAS FROM PLANNED DEVELOPMENT (PD) TO SINGLE-FAMILY ESTATE (SF-E) DISTRICT; PROVIDING A SAVINGS CLAUSE; PROVIDING AND A SEVERABILITY CLAUSE, PROVIDING A REPEALING CLAUSE; PROVIDING A PENALTY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, The Planning and Zoning Commission and the City Council, in accordance with the City's Code of Ordinances, state law and all other applicable ordinances of the City, have given the required notices and have held the required public hearings regarding the amendment of the City's zoning laws by changing the zoning on the property referenced in the exhibit attached hereto as "Exhibit A", incorporated by reference ("the Property"); and

WHEREAS, all legal requirements, conditions and prerequisites have been complied with prior to the case coming before the City Council for the City of Lancaster, including all mandated public notices and public hearings; and

WHEREAS, the City Council, after determining that all legal requirements of notice and hearing have been met, has determined that the following amendment would provide for and would be in the best interest of the health, safety, morals and general welfare of the City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. All of the above premises are hereby found to be true and correct and are hereby approved and incorporated into the body of this Ordinance as set forth here in their entirety.

SECTION 2. After the effective date of this Ordinance, Zoning Case No. Z23-12, the zoning of the 1.42 acre parcel comprising the Property is hereby changed from PD, Planned Development, to SF-E, Single-Family Estates Residential District. The property is more particularly described in "Exhibit A" Zoning Exhibit attached hereto and made a part hereof for all purposes. The City's Zoning Map shall be amended to reflect the zoning amendment referenced herein.

SECTION 3. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. The City Council hereby declares that it would have passed this ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

SECTION 4. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the repeal prevent a prosecution from being commenced for any violation if occurring prior to the repeal of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 5. Any person, firm, corporation or business entity violating this Ordinance shall be deemed guilty of a misdemeanor, and upon conviction thereof shall be subject to a fine not to exceed \$2,000.00, and each day that such violation shall continue shall be considered a separate offense. These penal provisions shall not prevent an action on behalf of the City of Lancaster to enjoin any violation or threatened violation of the terms of this Ordinance, or an action for mandatory injunction to remove any previous violation hereof.

SECTION 6. Effective upon passage and publication.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 25th day of September, 2023

ATTEST:

Sorangel O. Arenas, City Secretary

APPROVED:

Clyde C. Hairston, Mayor

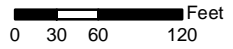
APPROVED AS TO FORM:

David T. Ritter, City Attorney

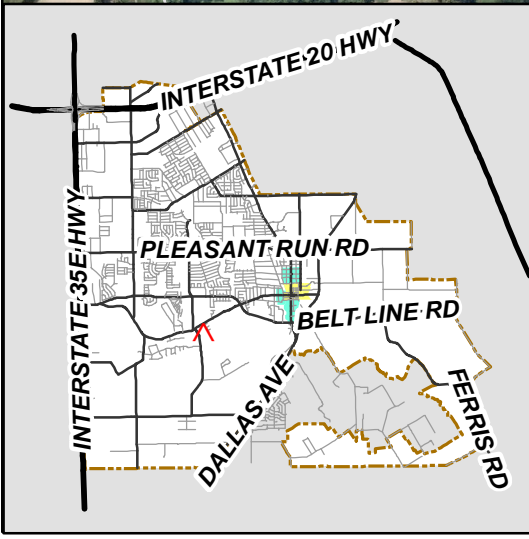
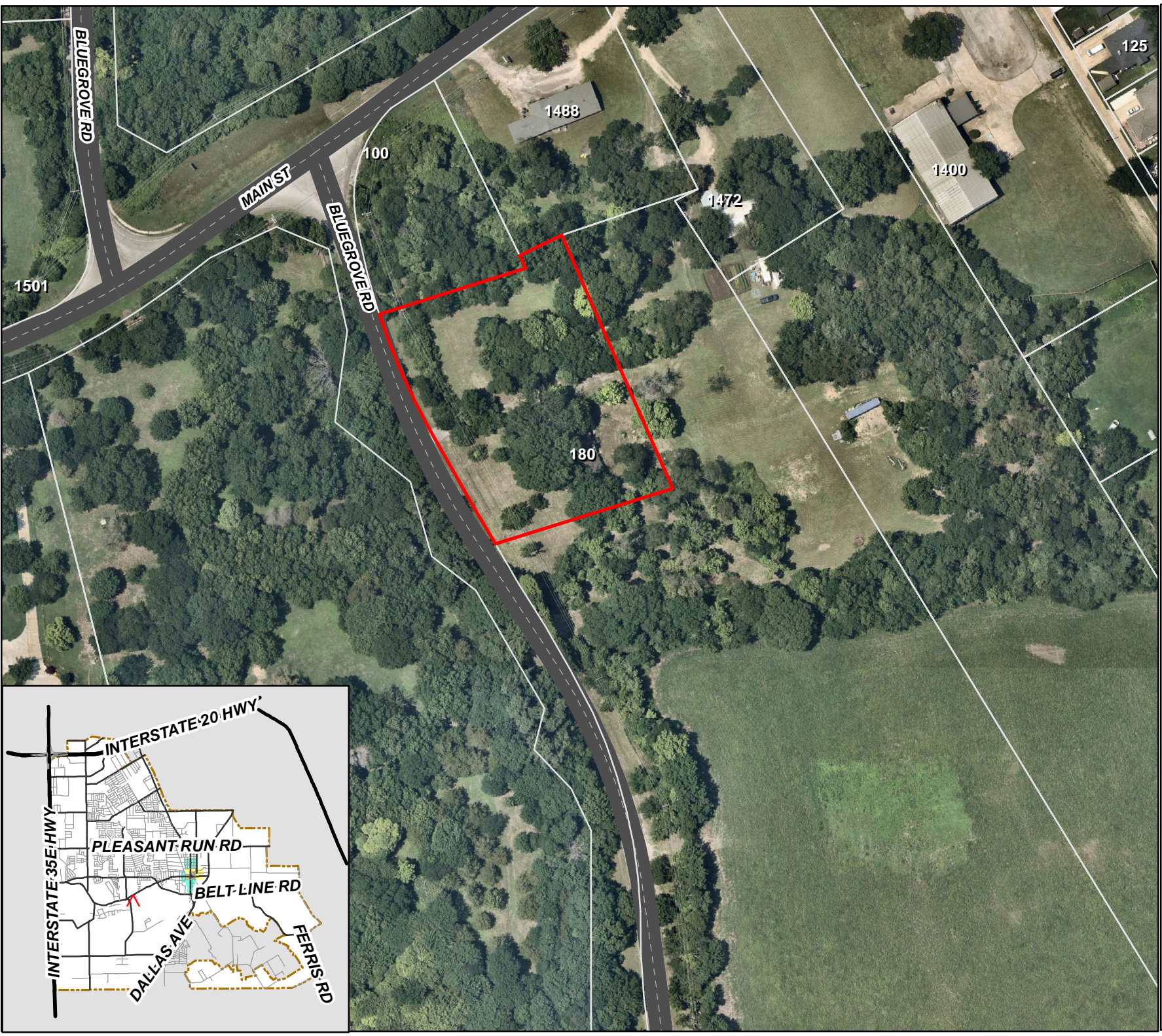
City of Lancaster
180 S Bluegrove Rd
Zoned: PD



DISCLAIMER / LIMITATION OF LIABILITY
The information on this map is provided by the City of as a public service. We are continually updating the data in order to provide the most accurate information possible. Such information is intended for reference only. The City of Lancaster does not guarantee the accuracy of the information, data or maps. All information is provided "As-is" without warranty of any kind.



Date: 8/10/2023



Letter of Intent

August 30, 2023
City of Lancaster
211 N Henry Street
Lancaster, Texas 75146
Attn: Kim Haynie

Re: 180 S. Bluegrove Road

I am the applicant for the property at 180 S. Bluegrove Road. I am also the owner. The purpose of the zoning change from Planned Development to SF-E is to build a new house. I intend to tear down the old house and build a new 3000 square feet house on the property.

Esequiel Suarez,
Owner



Rural Living

Character & Intent

Rural living is focused on areas of the community that has the ability to preserve a rural character. This includes estate residential type areas. The high-end character of this housing is primarily focused on serving the needs of executives with densities less than 2 dwelling units per acre.

Land Use Considerations

Primary Land Uses

Single-family detached homes

Secondary Land Uses

Civic & institutional uses, parks, open space

Precedent Photos



CITY OF LANCASTER CITY COUNCIL

City Council Special Work Session and Regular Meeting

11.

Meeting Date: 09/25/2023

Policy Statement: This request supports the City Council 2023-2024 Policy Agenda

Goal(s): Financially Sound Government
Healthy, Safe & Engaged Community
Sound Infrastructure
Quality Development
Professional and Committed City Workforce

Submitted by: Opal Mauldin-Jones, City Manager

Agenda Caption:

In accordance with Chapter 551 of the Texas Government Code (the Texas Open Meetings Act), the City Council may meet in executive session to discuss the following:

- (a) Section 551.071 of the Texas Government Code, the City Council shall convene in executive session to confer with the City's attorney to discuss pending, threatened, contemplated, or potential related litigation in regard to Real Property located at 1508 Dewberry Boulevard (Bel-Air Place Apartments).
- (b) Section 551.071 of the Texas Government Code, the City Council shall convene in executive session to confer with the City's attorney to discuss pending, threatened, contemplated or potential related litigation in regard to Real Property located at 632 Reindeer Road.
- (c) Section § 551.071(1)(a) of the Texas Government Code, the City Council shall convene in executive session to confer with the City's attorney to discuss pending, threatened, contemplated, or potential related litigation in regard to Future Infrastructure. (Houston School Road water main damage).
- (d) Section § 551.071(1)(a) of the Texas Government Code, the City Council shall convene in executive session to confer with the City's attorney to discuss pending, threatened, contemplated, or potential related litigation in regard to DeltaVictor LLC v. City of Lancaster.
- (e) Section 551.071 of the Texas Government Code, the City Council shall convene in executive session to confer with the City's attorney to discuss pending, threatened, contemplated or potential related litigation in regard to Real Property located at 3410 Sherwood Drive.

LANCASTER CITY COUNCIL

City Council Special Work Session and Regular Meeting

12.

Meeting Date: 09/25/2023

Policy Statement: This request supports the City Council 2023-2024 Policy Agenda

Goal(s):

- Financially Sound Government
- Healthy, Safe & Engaged Community
- Sound Infrastructure
- Quality Development
- Professional and Committed City Workforce

Submitted by: Opal Mauldin-Jones, City Manager

Agenda Caption:

Reconvene into open session. Consider and take appropriate action(s), if any, on closed/executive session matters.

Background:

This agenda item allows City Council to take action necessary, if any, on item(s) discussed in Executive Session.