



**NOTICE OF SPECIAL WORK SESSION AND
REGULAR MEETING AGENDA
LANCASTER CITY COUNCIL
MUNICIPAL CENTER CITY COUNCIL CHAMBERS
211 N. HENRY STREET, LANCASTER, TEXAS**



Monday, June 10, 2019 - 7:00 PM

5:30 P.M. DINNER:

(There may or may not be a quorum of City Council members present for dinner. No City business will be transacted.)

7:00 P.M. SPECIAL WORK SESSION:

CALL TO ORDER

1. Discuss and receive an update on the second quarter of Fiscal Year 2018/2019 for the operations and management of Countryview Golf Course.
2. Receive a presentation and discuss the Quarterly Financial Report for the second quarter of FY 2018/2019 for the period ending March 31, 2019.
3. Discuss the report of City Council's Five Year Goals and Strategies established during the annual City Council Strategic Planning Session August 31 and September 1, 2018 for the second quarter of Fiscal Year 2018/2019.

ADJOURN SPECIAL WORK SESSION

7:15 P.M. REGULAR MEETING:

CALL TO ORDER

INVOCATION: Ministerial Alliance

PLEDGE OF ALLEGIANCE: Mayor Pro Tem Racheal Hill

PROCLAMATION: Juneteenth Celebration Day

CITIZENS' COMMENTS:

At this time citizens who have pre-registered before the call to order will be allowed to speak on any matter other than personnel matters or matters under litigation, for a length of time not to exceed three minutes. No Council action or discussion may take place on a matter until such matter has been placed on an agenda and posted in accordance with law.

CONSENT AGENDA:

Items listed under the consent agenda are considered routine and are generally enacted in one motion. The exception to this rule is that a Council Member may request one or more items to be removed from the consent agenda for separate discussion and action.

1. Consider approval of minutes from the City Council Regular Meeting held on April 22, 2019 and May 13, 2019.
2. Consider a resolution approving an amendment to the license agreement for additional communication facilities to be installed by Sprint Spectrum Realty Company, L.P. on or near the water tower located at 1013 East Beltline Road and approving the terms and conditions of a fourth amendment to the license for communication facilities agreement for the purpose of allowing the construction, installation and maintenance of additional communication equipment.
3. Consider a resolution approving payment in the amount of \$60,395.28 for the provision of emergency sewer line repair services for a 10 inch sanitary sewer line repair.
4. Consider a resolution accepting an approximately 0.970 acre tract of land from WHL Dallas 45, LLC for the construction, installation, operation, maintenance, inspection, and repair of a detention pond.

PUBLIC HEARING:

5. Z19-03 Conduct a public hearing and consider an ordinance amending Ordinance # 36-86 and as amended, an existing Planned Development District No. 26 (PD-26) to allow modifications to the design criteria for Phase 3 of the Rolling Meadows subdivision. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.
6. Z19-07 Conduct a public hearing and consider an ordinance changing zoning from Agricultural Open (AO) to SF-4 Single Family Residential. The property is located north of East Reindeer Road and east of Dasher Drive and is addressed as 3223 Prancer Street. It is further described as Lot 8, Block 2 in Abstract 1554 Survey Money Weatherford, Lancaster, Dallas County, Texas.
7. Conduct a public hearing and consider an ordinance amending the Lancaster Development Code Ordinance 2006-04-13 and as amended; Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts Subsection (a) General Residential District Standards – All residential districts (1) Residential Unit Diversity of the Lancaster Development Code amending the Empty-Nester Unit requirement in certain Single Family zoning districts.
8. Conduct a public hearing and consider an ordinance amending the Lancaster Development Code Ordinance 2006-04-13 and as amended; Article 14.500 District Development Regulations and Standards, Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts to add Single Family-2 (SF-2) to current residential districts; add SF-2 to various sections of the Lancaster Development Code (LDC) in addition to specifying the minimum number of dwelling units allowed per acre in the current residential districts.

ACTION:

9. M19-09 Discuss and consider a resolution accepting two (2) 15 foot wide water line easements (a 330 square feet or .008 acre water easement and a 50,105 square feet or 1.15 acre water easement) from Global Longhorn Center, L.P., Grantor, to the City of Lancaster for the installation, construction, operation, maintenance, replacement, repair, upgrade and/or removal of a waterline and all necessary or desirable structures, facilities and appurtenances necessary to provide a secondary and separate connection to the City water system; establishing conditions, providing for the furnishing of certified copy of this resolution for recording in the property records of Dallas County, Texas as a deed.
10. M19-09 Discuss and consider a resolution accepting one (1) 20 foot wide sewer line easement (a 29,131 square feet or 0.67 acre sewer easement) from Global Longhorn Center, L.P., Grantor, to the City of Lancaster for the installation, construction, operation, maintenance, replacement, repair, upgrade and/or removal of a sewer line and all necessary or desirable structures, facilities and appurtenances necessary to provide a secondary and separate connection to the City sewer system; establishing conditions, providing for the furnishing of certified copy of this resolution for recording in the property records of Dallas County, Texas as a deed.
11. Discuss and consider declaring a certain board, commission or committee position(s) vacant due to excessive absences and consider appointment(s) to the Parks and Recreation Advisory Board.

ADJOURNMENT

EXECUTIVE SESSION: The City Council reserve the right to convene into executive session on any posted agenda item pursuant to Section 551.071(2) of the Texas Government Code to seek legal advice concerning such subject.

ACCESSIBILITY STATEMENT: Meetings of the City Council are held in municipal facilities are wheelchair-accessible. For sign interpretive services, call the City Secretary's office, 972-218-1311, or TDD 1-800-735-2989, at least 72 hours prior to the meeting. Reasonable accommodation will be made to assist your needs.

PURSUANT TO SECTION 30.06 PENAL CODE (TRESPASS BY HOLDER WITH A CONCEALED HANDGUN), A PERSON LICENSED UNDER SUBCHAPTER H, CHAPTER 411, GOVERNMENT CODE (HANDGUN LICENSING LAW), MAY NOT ENTER THIS PROPERTY WITH A CONCEALED HANDGUN.

CONFORME A LA SECCION 30.06 DEL CODIGO PENAL (TRASPASAR PORTANDO ARMAS DE FUEGO CON LICENCIA) PERSONAS CON LICENCIA BAJO DEL SUB-CAPITULO 411, CODIGO DEL GOBIERNO (LEY DE PORTAR ARMAS), NO DEBEN ENTRAR A ESTA PROPIEDAD PORTANDO UN ARMA DE FUEGO OCULTADA.

PURSUANT TO SECTION 30.07 PENAL CODE (TRESPASS BY HOLDER WITH AN OPENLY CARRIED HANDGUN), A PERSON LICENSED UNDER SUBCHAPTER H, CHAPTER 411, GOVERNMENT CODE (HANDGUN LICENSING LAW), MAY NOT ENTER THIS PROPERTY WITH A HANDGUN THAT IS CARRIED OPENLY.

CONFORME A LA SECCION 30.07 DEL CODIGO PENAL (TRASPASAR PORTANDO ARMAS DE FUEGO AL AIRE LIBRE CON LICENCIA) PERSONAS CON LICENCIA BAJO DEL SUB-CAPITULO H,

CAPITULO 411, CODIGO DE GOBIERNO (LEY DE PORTAR ARMAS), NO DEBEN ENTRAR A ESTA PROPIEDAD PORTANDO UN ARMA DE FUEGO AL AIRE LIBRE.

Certificate

I hereby certify the above Notice of Meeting was posted at the Lancaster City Hall on June 6, 2019 @ 6:00 p.m. and copies thereof were provided to the Mayor, Mayor Pro-Tempore, Deputy Mayor Pro-Tempore and Council members.



Sorangel O. Arenas
City Secretary

LANCASTER CITY COUNCIL

City Council Special Work Session

1.

Meeting Date: 06/10/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Financially Sound City Government

Submitted by: Rona Stringfellow, Deputy City Manager

Agenda Caption:

Discuss and receive an update on the second quarter of Fiscal Year 2018/2019 for the operations and management of Countryview Golf Course.

Background:

On November 1, 2017, the City entered into a short-term management agreement (November 1, 2017, through December 31, 2017) with Touchstone Golf, LLC to oversee the operations at the Country View Golf Course. During this time, Touchstone evaluated operations, the facility, and other items based upon their industry experience to determine next steps.

On January 8, 2018, City Council received a presentation on findings of operations. Staff recommended the City extend the term of the Touchstone Golf, LLC agreement to provide a more comprehensive plan following a full season of golf.

On January 29, 2018, the City Council approved the extended management agreement with Touchstone Golf, LLC and directed staff to provide an update on golf course operations quarterly.

City Council has received presentations regarding course operations and financials on April 16 and 23, 2018. City Council amended the golf fund budget on May 7, 2018. This is the requested quarterly update for the second quarter of fiscal year 2018/2019 for the period of January 1, 2019, through March 31, 2019.

Attachments

Country View Second Quarter Update

Fiscal Year 2018-2019

Country View Golf Club Second Quarter Update

January 1, 2019 - March 31, 2019

Course

- Equipment Package Approved – Toro Equipment (10 pieces)
- New Golf Course Superintendent Hired

Tournaments

- \$9,497 in Tournament Revenue
- 8 tournaments total, including the monthly scramble

Private Events

- \$5436 Private Event Revenue
- 5 Events
- Private event leads coming in daily

Shop

- Merchandise Sales increased 15% from Q1

Rounds

- January – 704 Rounds Played
- February – 821 Rounds Played
- March – 1,184 Rounds Played
- Rounds Totals – 2,709 Rounds Played

Food & Beverage

Over \$11,600 in food and beverage sales in Q2

Created the Daily Dine-In Themed Dinner that launched April 8th

Members

- 81 Annual/Monthly Members
- 189 Players Cards
- 6 Senior Players Card
- Member Dues - \$13,784

LANCASTER CITY COUNCIL

City Council Special Work Session

2.

Meeting Date: 06/10/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Financially Sound City Government

Submitted by: Sharon Jungman, Assistant Director of Finance

Agenda Caption:

Receive a presentation and discuss the Quarterly Financial Report for the second quarter of FY 2018/2019 for the period ending March 31, 2019.

Background:

The broad purpose of the City's Financial and Investment policy statements is to enable the City to achieve and maintain a long-term stable and positive financial position, and provide guidelines for the day to day planning and operations of the City's financial affairs. The following information is representative of the second quarter of fiscal year 2018/2019; January 1, 2019 through March 31, 2019. The reports will be distributed, presented and reviewed during the work session.

LANCASTER CITY COUNCIL

City Council Special Work Session

3.

Meeting Date: 06/10/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s):

- Effective Municipal Operations
- Financially Sound City Government
- Healthy, Safe & Engaged Community
- Sound Infrastructure
- Quality Development
- Professional and Committed City Workforce

Submitted by: Opal Mauldin-Jones, City Manager

Agenda Caption:

Discuss the report of City Council's Five Year Goals and Strategies established during the annual City Council Strategic Planning Session August 31 and September 1, 2018 for the second quarter of Fiscal Year 2018/2019.

Background:

City Council conducted an annual Strategic Planning Session August 31 and September 1, 2018. This report represents activity for the second quarter of Fiscal Year 2018/2019 (January 1, 2019 thru March 31, 2019). This is a review of the implementation and progress on strategies and initiatives outlined in the 2018/2019 strategic plan and how said strategies connect to continued progress toward the realization of the Vision.

Attachments

Second Quarterly Update FY 18/19

**Fiscal Year 2018-2019
Second Quarter Update
January 1, 2019 - March 31, 2019**

Financially Sound Government

The City has a long-range financial plan and prudent fiscal policies and processes. Appropriate reserve levels and a competitive tax rate ensures the needs of the community and responsibly manages its debt.

Traditional Stars Award – Staff completed and submitted to Texas Comptroller for the Traditional Stars Award in December 2018.

Quality Development

The City encourages high quality, diverse housing, commercial and retail development and public facilities. Policies encourage sustainable building practices, conservation and the use of alternative energy sources.

1. Continue design and development of new City Hall - Downtown TIF; Implementation of Tax Increment Finance District (TIF's) for Key Growth Areas – Staff presented an update to the City Council regarding City Hall at the December 2018 City Council Special work session. At that time, Council requested additional information on infrastructure and funding options as a next step.

Staff has selected and began working with an economist to design implementation of TIF's in the key growth areas identified (Downtown & Campus District). City Council will receive a presentation regarding the plan and schedule for implementation in the 3rd quarter of FY 18/19.

2. Continue Economic Development Strategic Plan - The Economic Development Strategic plan was presented in December 2018 and adopted in January 2019. The plan identified the optimal business targets for the community. They include Artificial Intelligence, Cold Storage, Food Processing & Manufacturing, Motor Vehicle Parts, Limited Service Hotel, Full Service Hotels, Limited Service Restaurants, Restaurants and Drinking Places, Grocery/Specialty Food Stores, Independent Retail, Single Family between \$300,000 and \$1,000,000, Townhomes, Market Rate Multifamily, Manufactured Housing, Family Entertainment Centers, Golf Course Enhancements, Artist Co-Working Spaces, and Movie Theaters. Staff continues to meet with major developers at various venues to build interest. Staff plans to attend the retail conference in May 2019. A hotel feasibility study is also in process.
3. Establish and implement revitalization incentives for existing commercial and retail centers - The Economic Development Strategic Plan evaluated if we are on par with other communities regarding seven financial incentives: Cash – on par; Hotel Incentives – Above par; Property Tax Reductions – Above par; Triple Freeport – Above par; Tax Increment Financing – on par; Revolving Loan Fund – below par. A presentation of the comprehensive review of the incentive policy will be provided to Council in the 3rd quarter of 2019.
4. Ensure Development Codes and Comprehensive Plan encourages the development of Estate style and/or Gated Communities – Staff continues to review the Lancaster Development Code and the Comprehensive Plan to encourage diversified housing options and is working with the Greater Dallas Builders' Association and Developers to put together a housing incentive package that will be presented to Council in the 3rd quarter of 2019. In addition, an ordinance to add Single Family-2 (SF-2) to the Lancaster Development Code and Amendments to the Empty-Nester ordinance were recommended for approval by the P&Z and will be presented to Council in the 3rd quarter of 2019.

5. Adopt Xeriscape amendments to the Lancaster Development Code (LDC), Code of Ordinances and/or applicable development regulations – Council approved an amendment to the Lancaster Development code in November 2018 to allow for the Landscape Regulations and Standards to make a Xeriscape landscaping subsection more comprehensive through Xeriscape landscaping principles and a list of approved Xeriscape plant species.
6. Implement the Comprehensive Plan Update – In progress through ordinance, development code and master plan updates and amendments. Staff is working with multiple Consultants on several master plan updates that will then be used to implement the Comprehensive Plan Update. Staff has also listed all Comprehensive Plan implementation strategies, the year and the action that the Planning is/will be taking place with each and every one of the items. Staff will be taking action on most of the listed projects in the 4th quarter of FY2018-2019 with a few scheduled to take place in the 1st and 2nd quarter of FY2020

Review and update the following plans: Campus District, Historic District, Downtown District, LanPort District, Medical District, Mills Branch Overlay District, Master Thoroughfare, Hike & Bike Trail, Stormwater Master Plan, Water & Wastewater Master Plan, Streetscape Master Plan, IH-35 Corridor - Update to the Parks and Open Space Master Plan is underway. In December 2018, City Council received a presentation from Dunaway Associates, regarding their approach and strategy for updating the plan. Council approved the contract January 2019. This quarter, consultants began discussing the Parks and Open Space Master Plan by looking at future park property in District 6 and gathering ideas from respective councilmembers.

PROJECT STATUS

<u>PROJECT NAME</u>	<u>ASSIGNED STAFF</u>	<u>TENTATIVE TIME LINE</u>
Hike & Bike Master Plan Update	Contract Awarded to Dunaway Associate	3 rd Quarter 2019 (Project Completion)
Streetscape Master Plan Update	Contract Awarded to Halff Associates	1 st Quarter 2020 (Project Completion)
Parks, Recreation & Open Space Master Plan Update	Contract Awarded to Dunaway Associate	2 nd Quarter 2020
Loop 9 Corridor Study	RFP/RFQ In Progress	2 nd Quarter 2020
1-35 Corridor Study	RFP/RFQ In Progress	2 nd Quarter 2020
Downtown District TIF	In Progress	1 st – 2 nd Quarter 2020
Campus District TIF	In Progress	1 st – 2 nd Quarter 2020
Hike & Bike Master Plan Update	Contract Awarded to Dunaway Associate	3 rd Quarter 2019 (Project Completion)

7. Create “High-End Friendly” Development Codes - Consider new low density zoning category (SF 2, 3) - Council had a work session in December 2018. The Planning and Zoning Commission Public Hearing was conducted on May 7, 2019. Scheduled for Council consideration on June 10, 2019.
8. Market to high-end developers - The Economic Development Department hosted a Developer’s luncheon on November 13, 2018. Staff continues to market to high end residential and commercial developers

through direct mail, conferences and introductory meetings. During the 2nd quarter, staff went to ICSC Fort Worth; attended Dallas Builders Expo; met with Jones Carter group about housing; met with Dallas Area Project for Public Spaces group to discuss developing downtown; met with D Magazine CEO writer to discuss Lancaster stories; went to a Bisnow Developers Luncheon in Dallas; and are planning a media luncheon.

9. Conduct a Hotel Feasibility Study and recruit a new Hotel - Staff identified the Campus District as a strategic location and engaged Prospectus.com to conduct a full feasibility study. The study will conduct a market area analysis, lodging market analysis, and identify hotel types and brands that fit within the analysis. A City Council presentation will take place in the 3rd quarter FY 18/19.
10. Implement Land Bank Policy - The Land Bank Policy was adopted in February 2019. This policy is an economic development tool that is available to the City in efforts to incentivize development and/or redevelopment within the City. Existing City property has been identified as eligible and possibly valuable to private investment. In addition, staff is making considerations to use the Land Bank Policy in partnership with Tax Increment Financing strategies.

Code Compliance:

Illegal Dumping Cases by the Code Compliance Team

ID #	Short Address	Case Start Date
19-00024	1421 N LANCASTER HUTCHINS Rd.	01/03/2019
19-00025	400 S LANCASTER HUTCHINS Rd.	01/08/2019
19-00026	277 OLD RED OAK Rd.	01/08/2019
19-00041	1421 N LANCASTER HUTCHINS Rd.	01/03/2019
19-00042	2200 N LANCASTER HUTCHINS Rd.	01/04/2019
19-00043	555 S LANCASTER HUTCHINS Rd.	01/08/2019
19-00044	277 OLD RED OAK Rd.	01/08/2019
19-00059	1000 BUMBLE BEE Dr.	01/09/2019
19-00060	2500 N HOUSTON SCHOOL Rd.	01/09/2019
19-00061	3600 N HOUSTON SCHOOL Rd.	01/09/2019
TOTALS:		Total Cases: 10

Commercial Code Compliance Cases

Business	Address	Violation	Action taken	Status
HARMONY CHURCH	200REA AV	TRASH LITTER	NOTICE POSTED 1-14-19	ABATED BY OWNER 1-30-19

BORA PETROLIUM INC	2600 W.WINTERGREEN	ILLEGAL DUMPING	NOTICE POSTED BY STEAK	ABATED BY OWNER 1-30-19
2322 CORINTH LLC	202 PLEASANT RUN	TRASH LITTER	NOTICE SENT MAIL 1-14-19	ABATED BY OWNER 1-28-19
ROMA ITALIAN RES	201 PLEASANT RUN	TRASH LITTER	VERBAL INSTRUCTION STAFF	ABATED STAFF 1-14-19
CITY LANCASTER	1501 DALLAS	ILLEGAL DUMPING		ABATED BY STAFF 1-14-19
BELAIR REAL ESTATE	1508 DEWBERRY	IMPROPER STORAGE - MATTRESS	VERBAL INSTRUCTION STAFF	ABATED BY STAFF 1-14-19
JORDAN MISSIONARY	1515 DEWBERRY	ILLEGAL DUMPING, TRASH LITTER	LETTER SENT 1-14-19	ABATED BY STAFF 1-14-19
JACOB CHIRAYATH	629 PLEASANT RUN	BRUSH ACCUMULATION	OWNER CONTACT PHONE 1-28	ABATED BY OWNER 2-1-19
GRETHA GRUMUNDSSON	2907 PLEASANT RUN	FENCE VIOLATION	NOTICE SENT 3-18-19	ABATED BY OWNER 4-1-19
GRETHA GRUMUNDSSON	2907 PLEASANT RUN	PROTECTIVE TREATMENT - PAINT	NOTICE SENT 3-18-19	PENDING OWNER REPAIR
GRETHA GRUMUNDSSON	2901 PLEASANT RUN	PROTECTIVE TREATMENT - PAINT	NOTICE SENT 3-18-19	PENDING OWNER REPAIR
GRETHA GRUMUNDSSON	2901 PLEASANT RUN	BRUSH ACCUMULATION	NOTICE SENT 3-18-19	ABATED BY OWNER 4-1-19
GRETHA GRUMUNDSSON	2901 PLEASANT RUN	TRASH LITTER ACCUMULATION	NOTICE SENT 3-18-19	ABATED BY OWNER 4-1-19
LANCASTER PLAZA INC	1033 PLEASANT RUN	MAINTENANCE OF SIGN	NOTICE SENT 3-18-19	PENDING REPAIRS 4-9-19
LANCASTER PLAZA INC	1033 PLEASANT RUN	TRASH LITTER ACCUMULATION	NOTICE SENT 3-22-19	ABATED BY OWNER 4-27-19
LANCASTER PLAZA INC	1055 PLEASANT RUN	HIGH GRASS WEEDS FRONT OF BUILDING	NOTICE SENT 3-22-19	PENDING ABATEMENT BY CITY
AVITAL PLEASANT RUN LLC	630 PLEASANT RUN	PARKING LOT DISREPAIR	NOTICE SENT 3-18-19	PENDING OWNER ABATEMENT TO 5-1-19
AVITAL PLEASANT RUN LLC	630 PLEASANT RUN	BUILDING SECURITY	NOTICE SENT 3-18-19	PENDING CONTACT OWNER
AVITAL PLEASANT RUN LLC	630 PLEASANT RUN	PROTECTIVE TREATMENT- PAINT	NOTICE SENT 3-18-19	PENDING CONTACT OWNER

AVITAL PLEASANT RUN LLC	630 PLEASANT RUN	DRIVEWAY PAVEMENT DISREPAIR	NOTICE SENT 3-19-19	PENDING CONTACT WITH OWNER
CORINTH LLC	202 PLEASANT RUN	OUTDOOR STORAGE	NOTICE SENT 3-19-19	
2322 CORINTH LLC	202 PLEASANT RUN	PROTECTIVE TREATMENT - PAINT	NOTICE SENT 3-19-19	PENDING CONTACT WITH OWNER
2322 CORINTH LLC	202 PLEASANT RUN	HIGH GRASS FRONT OF BLDG	NOTICE SENT 3-28-19	ABATED BY OWNER
LAKEE GROUP LLC	966 N BLUE GROVE	ILLEGAL DUMPING	ABATED 3-29-19	
GOLDEN CHICK	944 PLEASANT RUN	ILLEGAL SIGNAGE	ABATED CODE 3-29-19	
FAMILY DOLLAR	1450 PLEASANT RUN	IMPROPER OUTSIDE STORAGE	ABATED STORE STAFF 3-19-19	
IBRIHIM INVESTMENT	1450 PLEASANT RUN	TRASH LITTER ACCUMULATION	CALLED OWNER PHONE 3-26-19	ABATED 3-27-19
3 HERMANOS	1450 PLEASANT RUN	IMPROPER OUTSIDE STORAGE	VERBAL INSTRUCTION GIVEN	OWNER ABATED 3-27-19
KEMI INC	201 PLEASANT RUN	SIGN VIOLATION	3-19-19 NOTICE SENT	PENDING OWNER REPAIR
G&R PRINTERS	1426 IDLEWILD	IMPROPER OUTSIDE STORAGE	3-19-19 NOTICE SENT	ABATED BY OWNER 4-1-19
G&R PRINTERS	1426 IDLEWILD	ILLEGAL DUMPING	3-19-19 NOTICE SENT	ABATED BY OWNER 4-1-19
NDA 919 DALLAS	919 DALLAS AV	FENCE VIOLATION	3-1-19 NOTICE SENT	CORRECTION PLAN ON FILE BY OWNER EXTENSION 7-1-19
NDA 919 DALLAS	919 DALLAS AV	PROTECTIVE TREATMENT - PAINT	3-1-19 NOTICE SENT	CORRECTION PLAN BY OWNER EXTENSION 7-1-19
NDA 919 DALLAS	919 DALLAS AV	GRAFFITI VIOLATION	3-1-19 NOTICE SENT	CORRECTION PLAN BY OWNER EXTENSION 7-1-19
NDA 919 DALLAS	919 DALLAS AV	BUILDING SECURITY	3-1-19 NOTICE SENT	CORRECTION PLAN BY OWNER EXTENSION 7-1-19
NDA 919 DALLAS	919 DALLAS AV	I.P.M.C. BUILDING DILAPIDATED	3-1-19 NOTICE SENT	CORRECTION PLAN BY OWNER EXTENSION 7-1-19
NDA 919 DALLAS	919 DALLAS AV	IMPROPER OUTSIDE STORAGE	3-1-19 NOTICE SENT	CORRECTION PLAN BY OWNER EXTENSION 7-1-19
NDA 919 DALLAS	919 DALLAS AV	LIGHT FIXTURES I.P.M.C. VIOLATION	3-1-19 NOTICE SENT	CORRECTIVE PLAN ON FILE OWNER EXTENSION 7-1-19
HARVEST TIME CHURCH	110 PLEASANT RUN	FENCE VIOLATION	3-21-19 NOTICE SENT	TIME EXTENSION 5-1-19
ROMAS ITALIAN	201 PLEASANT RUN	SIGN VIOLATION	3-21-19 NOTICE SENT	REPAIRED
LANCASTER PROF PLZ	525 PLEASANT RUN	BRUSH ACCUMULATION	NOTICE SENT 3-21-19	ABATED BY OWNER 4-1-19

LANCASTER PROFESSIONAL PLZ	525 PLEASANT RUN	SIGN VIOLATION	NOTICE SENT 3-21-19	ABATED 4-1-19
LANCASTER PROFESSIONAL PLZ	525 PLEASANT RUN	HIGH GRASS WEEDS FRONT OF BUILDING	NOTICE SENT 3-21-19	ABATED 4-1-19
COIN LAUNDRY BROOKS	727 PLEASANT RUN	PARKING LOT DISREPAIR	NOTICE SENT 3-21-19	CORRECTION PLAN ON FILE BY OWNER EXTENSION 7-1-19
FREDWIN BROOKS COIN LAUNDRY	727 PLEASANT RUN	SIGN VIOLATION	NOTICE SENT 3-21-19	CORRECTION PLAN ON FILE BY OWNER EXTENSION 7-1-19
DYVON BROOKS COIN LAUNDRY	727 PLEASANT RUN	PROTECTIVE TREATMENT PAINT	NOTICE SENT 3-21-19	CORRECTION PLAN ON FILE BY OWNER EXTENSION 7-1-19
FARMERS MKT 4 As REALTY	729 PLEASANT RUN	SIGN VIOLATION	NOTICE SENT 3-29-19	CORRECTIVE PLAN ON FILE OWNER EXTENSION 7-1-19
FARMERS MKT 4 As REALTY	729 PLEASANT RUN	OVER HANG VIOLATION IPMC	NOTICE SENT 3-29-19	CORRECTIVE PLAN ON FILE OWNER EXTENSION 7-1-19
FARMERS MKT 4 As REALTY	729 PLEASANT RUN	PROTECTIVE TREATMENT PAINT IPMC	NOTICE SENT 3-29-19	CORRECTIVE PLAN ON FILE OWNER EXTENSION 7-1-19
FARMERS MKT JUANE BUENO	729 PLEASANT RUN	IMPROPER OUTSIDE STORAGE	NOTICE BY HAND 3-29-19	ABATED BY OWNER 3-29-19
FARMERS MKT JUANE BUENO	729 PLEASANT RUN	TRASH LITTER ACCUMULATION	NOTICE BY HAND 3-29-19	ABATED BY OWNER 3-29-19
MIRACLE TEMPLE	754 PLEASANT RUN	BRUSH ACCUMULATION	NOTICE SENT 3-21-19	EXTENSION 4-15-19
MIRACLE TEMPLE	754 PLEASANT RUN	TRASH LITTER ACCUMULATION	NOTICE SENT 3-21-19	EXTENSION 4-15-19
LANCASTER LUBE TIRE	1220 DALLAS AV	TRASH LITTER ACCUMULATION	VERBAL WARNING 3-21-19	ABATED 3-21-19
LANCASTER LUBE TIRE	1220 DALLAS AV	SIGN VIOLATION	NOTICE SENT 3-27-19	EXTENSION 4-15-19
LANCASTER LUBE TIRE	1220 DALLAS AV	IMPROPER OUTSIDE STORAGE	VERBAL WARNING 3-27-19	ABATED 3-27-19
PINNACLE PROPERTIES INC	1450 PLEASANT RUN	BRUSH ACCUMULATION	E-MAIL WARNING 3-28-19	ABATED 4-1-19

Healthy, Safe, & Engaged Community

Lancaster is a place where we embrace public safety and compassionate enforcement in our neighborhoods to sustain vibrant residential and business communities. The community celebrates unity and participates in citywide events, recreational and cultural activities. Residents have opportunities for involvement in civic life through boards and commissions, youth and parent volunteer opportunities in recreation, sports teams, City elections, Civic Academies, Schools and citywide celebrations.

1. Develop an expanded community health initiative - Staff continues to meet with regional and county health partners through the Best Southwest Partnership Healthcare Committee and the Dallas Healthy Start CAN (Community Action Network).
2. The Health and Fitness Council met and focused efforts on the It's Time Texas Community Challenge. The Health and Fitness Council has encouraged various residents, businesses, and organizations to make a pledge to fitness and healthy eating. The challenge ran January 7, 2019 through March 3, 2019. The committee partnered with Cedar Valley College Health Fair and a Carter BloodCare Drive at Crescent Medical Center. The Lancaster 5k Walk/Run started at the Senior Life Center and continued throughout City Park. Over 100 runners, of all ages and skill levels participated. They were provided a light breakfast, two fitness demonstrations from City of Lancaster fitness instructors, and had the opportunity to win door prizes! Participants also enjoyed nutritious cooking demonstrations and educational resources from the American Heart Association. A variety of health and fitness vendors were available onsite, and Parkland Health & Hospital System provided health screenings. Due to the generous donations of local businesses, partners, and volunteers, the event was free and open to the public. At the completion of the challenge, Lancaster placed 2nd in the small cities division. Our community had over 500 participants, 956,260 points, and 20,553 minutes of activities. The City will receive a Governor's Certificate, and plaque in honor of receiving a top position in the competition.

The City has partnered with 2nd Saturday on the Square to introduce Lancaster Market, offering healthier alternatives for the community. The first market will be held in May.

3. Expand the business retention and expansion programs (BREP) - A visit was made to BILCO Brick in November 2018. A visit with PepsiCo Quaker was held in March 2019. These visits allow for direct interpersonal interaction between the businesses and local government officials, to discuss specific issues. The BREP program officially engaged four businesses annually. This program will engage six businesses in FY2019. In an effort to keep the BREP visits in the front of mind of businesses, staff is scheduling the visits within 30 days from initial contact with the business. Upcoming BREP meetings will include Sitco, Home Depot, BrassCraft, and Electrolux.
4. Revise Boards and Commissions criteria to ensure engagement quarterly - Board and Commission policy was updated in December 2018. Texas Open Meetings Act training was conducted in March 2019.
5. Establish a program for short-term rentals - City Council adopted an ordinance to establish a program for short term rentals in November of 2018. Letters were mailed out to known short-term rental property owners (4). The application form is now available both online and in person. Staff is in the process of creating online content containing information regarding the program.
6. Enhance communication with faith-based community - Staff is in process of updating the list of church and religious institutions within the City and identifying points of contact. We are continuing partnership with LIMA for National Day of Prayer which is scheduled for May 2, 2019. Staff members continue to attend LIMA meetings.

On March 30, 2019, the City of Lancaster partnered with members of the faith-based community to host the inaugural "Ignite Lancaster" community event and festival. Though the event was moved indoors as a result of inclement weather, the community supported this free event with live musical entertainment, bounce houses and face painting for the children, and various vendors offering medical and dental services, legal support, insurance, spiritual support and small business resources.

7. Senior Cares Initiative - Staff has conducted significant research and will provide an update at a future work session to highlight expanded services. Some activities focusing on our senior population include the following:

This quarter, senior members were provided with free AARP Tax Preparation services to provide information of all of the benefits available to them, and to assist them with filing their taxes for the year.

Senior Fitness Assessments were also conducted this quarter for participating senior members at the Senior Life Center. BMI tests were completed as well as flexibility to test range of motion. The most standard test of flexibility is to sit and reach test, which evaluates low back and hip flexibility. Tests can be conducted to measure flexibility in other joints including the shoulder, ankle, hip and spine.

Several educational opportunities were presented through the Dallas Area Agency on Aging as well as “Self Defense for Seniors.” Seniors participants had the opportunity to review a presentation by “Senior Helpers”. The presentation included daily plans that preserve seniors’ independence and freedom. Crescent Medical Center informed seniors on decisions for maintaining mobility and independence for years to come.

Annual Black Music and Civic Rights Concert - In January 2019, the senior members attended the Black Academy of Arts and Letters. The concert paid tribute to Dr. Martin Luther King Jr.’s which celebrated his triumphs of the Civil Rights Movement during the 1960s. The seniors engaged in singing hymns and participated in light dance activities. While visiting they were also given a tour of the facility. During the tribute, homage was paid to the legendary soul singer and musician Aretha Franklin. Following the concert, Mr. Curtis King, Director of the Black Academy of Arts and Letters gave a private tour of the exhibit which showed Dallas Black Historian, artifacts, and documents from the civil rights movements.

Annual Black History Program Luncheon - In February 2019, forty-five senior members visited Carver Senior Center in Garland for their Annual Black History program luncheon. Lancaster Senior Life Center members were welcomed by Mayor Lori Dodson and other city officials. The luncheon was a tribute to the Civil Rights Movements. The seniors enjoyed the information and catered luncheon by Colter’s Barbeque. They were very engaged and inquisitive with the entire experience and had a great time.

8. Review and consider outreach for animal shelter - In December 2018 staff visited with the management team at Operation Kindness to discuss partnership opportunities that would allow them to get animals from the Lancaster Animal Shelter, and discussed various avenues used to promote animal adoptions in their jurisdiction.

A veterinary services RFP was issued in February 2019 and closed in March 2019, seeking to establish partnership with a veterinarian to enhance services such as spay/neuter and vaccination for those adopting animals through the shelter. No response was received. Staff has partnered with By My Side Rescue, a nonprofit animal rescue organization that’s serves as a middleman connecting shelters to other rescue groups.

Renovations to the Animal Shelter began on March 6, 2019 and was completed on April 29, 2019. The completed repairs included: ceiling, lights, ventilation replacement, new smoke detectors, interior wall repair and painting.

9. Police Department Update

Crime prevention and deterrence is a primary objective of the police department. Overall, we are seeing decreases in several offense categories that we believe is a result of some aggressive proactive measures including a robbery detail, increased traffic enforcement and officer initiated close patrol of neighborhoods based on visible activity.

In a continued effort to be more transparent and hold all of our officers accountable, the Lancaster Police Department policies have been published. These policies are recognized by the Texas Police Chief Association Best Practices and further enhances our ability to serve our community and keep Lancaster a safe and vibrant community.”

OFFENSES				
	2Q 2018	2Q 2019	UP/DOWN	%
Assault	80	80	0	0.00%
Burglary Building	17	7	-10	-58.82%
Burglary Habitation	17	19	2	11.76%
Burglary Vehicle	36	37	1	2.78%
Criminal Mischief	37	46	9	24.32%
Drug Crimes	47	73	26	55.32%
DWI	20	21	1	5.00%
Financial Crimes	41	23	-18	-43.90%
Information Report	275	351	76	27.64%
Mental Evaluations	30	35	5	16.67%
Murder	2	0	-2	100.00%
Robbery	28	12	-16	-57.14%
Runaways	18	16	-2	-11.11%
Sex Assault	7	8	1	14.29%
Theft	108	51	-57	-52.78%
UUMV	44	51	7	15.91%

ARREST				
	2Q	2Q	UP/DOWN	%
Arrest	408	554	146	35.78%

CALLS FOR SERVICE				
	2Q	2Q	UP/DOWN	%
Total Calls	16843	20808	3965	23.54%
Close Patrols	7295	7967	672	9.21%
House Check Request	15	11	-4	-26.67%
House Check Calls	97	101	4	4.12%

PATROL				
	2Q 2018	2Q 2019	UP/DOWN	%
Traffic Stops	2358	5259	2901	123.03%
Field Contacts	116	106	-10	-8.62%

WARRANTS				
	2Q	2Q	UP/DOWN	%
New Felony	22	47	25	113.64%
New Misdemeanor	31	46	15	48.39%
New Warrants Total	53	93	40	75.47%
Warrants Served	16	84	68	425.00%

ACCIDENTS				
	2Q	2Q	UP/DOWN	%
Total Accidents	116	161	45	38.79%

10. Fire Department Update

Fire Prevention:

Shift personnel continue to provide and install smoke detectors for residents this quarter. A priority has been to fill requests the same day that they have been received and to observe the absence of smoke detectors while making emergency calls to residents.

Emergency Medical Services:

The Fire Department has responded to 1,052 rescue and emergency medical calls this quarter.

Total Life Improving or Extending Aid: 468

This is a count of all calls in the reporting period where the response by the Lancaster Fire Department extended or improved the life of the person.

Reported Fires:

Total Fire Calls – 27

Total Number of Incidents: 1592

INCIDENT TYPE	NUMBER OF INCIDENTS
Building fire	7
Cooking fire, confined to container	6
Trash or rubbish fire, contained	1
Passenger vehicle fire	6
Road freight or transport vehicle fire	1
Natural vegetation fire, Other	1
Brush or brush-and-grass mixture fire	1
Grass fire	2
Outside rubbish, trash or waste fire	2
Special outside fire, Other	1
Excessive heat, scorch burns with no ignition	5
Rescue, EMS incident, other	3
Medical assist, assist EMS crew	1
Emergency medical service, other	11
EMS call, excluding vehicle accident with injury	977
Motor vehicle accident with injuries	53
Motor Vehicle Accident with no injuries	58
Lock-in (if lock out , use 511)	3
Extrication of victim(s) from vehicle	1

Rescue or EMS standby	1
Hazardous condition, Other	2
Combustible/flammable gas/liquid condition, other	1
Gasoline or other flammable liquid spill	4
Gas leak (natural gas or LPG)	18
Carbon monoxide incident	2
Electrical wiring/equipment problem, Other	4
Heat from short circuit (wiring), defective/worn	3
Overheated motor	2
Power line down	9
Arcing, shorted electrical equipment	3
Service Call, other	49
Person in distress, Other	4
Person in distress, Vehicle Assistance	6
Lock-out	11
Ring or jewelry removal	1
Water problem, Other	3
Water or steam leak	1
Smoke or odor removal	4
Animal problem	1
Public service assistance, Other	8
Assist police or other governmental agency	4
Police matter	5
Public service	61
Assist invalid	79
Unauthorized burning	4
Cover assignment, standby, moveup "Fill in"	9
Cover assignment, standby, moveup "To the scene"	2
Good intent call, Other	4
Dispatched & cancelled en route	39
No Incident found on arrival at dispatch address	23
Steam, Other gas mistaken for smoke, Other	3
Smoke scare, odor of smoke	9
Steam, vapor, fog or dust thought to be smoke	1
False alarm or false call, Other	16
Malicious, mischievous false call, Other	1
System malfunction, Other	5
Sprinkler activation due to malfunction	1
Smoke detector activation due to malfunction	7
Alarm system sounded due to malfunction	8
Sprinkler activation, no fire - unintentional	1
Extinguishing system activation	1

Smoke detector activation, no fire - unintentional	15
Detector activation, no fire - unintentional	3
Alarm system activation, no fire - unintentional	12
Carbon monoxide detector activation, no CO	2
TOTAL NUMBER OF INCIDENTS	1592
Total Life Improving or Extending Aid	468

Chief Johnson has been accepted into the prestigious Fire Service Executive Development Institute (FSEDI) professional development program hosted by the International Association of Fire Chiefs (IAFC) and funded by the Motorola Solutions Foundation. FSEDI is a program for aspiring and newly appointed (within the year) fire chiefs. It's a yearlong cohort program, where the members of the cohort get together for classes presented by experienced, successful fire chiefs, government officials and private-sector executives. The group meets in Leesburg, Va., three times during the year. In January Chief Johnson attended the first of three sessions.

In March the Fire Department rolled out the "LIFE Form" (Lancaster Information for Emergencies) to the citizens of Lancaster. This form aids first responders when arriving on scene and a patient is incapacitated. The LIFE Form can be found on the Fire Department page of the City website.

11. Municipal Court Update

The second quarter of FY 2018/2019 the Municipal Court collected revenues of \$470,148. This is a decrease of \$42,151 or 8.22% from the same period last year of \$512,299.

Warrants issued for the second quarter were 3,700 and 3,678 were served/recalled during the same period.

There were a total of 2,239 cases filed, 3,269 trials/hearings, and 2,181 dispositions for the second quarter of FY 2018/2019.

12. Quality of Life and Cultural Services Update

A Hometown Hero's Breakfast - In January 2019, the City of Lancaster honored LISD Educators and Lancaster Veteran residents to show appreciation to the numerous contributions made to the Lancaster Community. Those in attendance enjoyed a gourmet breakfast with omelet stations along with fruit, chicken and waffles and more. This event also allowed staff the opportunity to showcase the Lancaster Recreation Center by providing facility tours and a brief presentation on the W.E.B.O Fitness membership discount, as well as, Institutional Library Card opportunities offered at the Lancaster Veterans Memorial Library.

My Brother's Keeper - In February 2019, male staff from the City of Lancaster participated in the "My Brother's Keeper" event presented by Lancaster ISD and held at Cedar Valley College. This event provided mentorship opportunities and group discussion with our future leaders.

Annual Valentine's Day Dance - In February 2019, Lancaster hosted its Annual Valentine Dance! Families from the community enjoyed a night of dancing, a live DJ, food catered by Chick-fil-A, an open candy bar with a Chocolate Fountain, and many opportunities to win giveaway prizes. There was also a photo booth available for the parents and children to take pictures. After doubling our attendance from last year's dance, we are looking to improve next year's attendance by an even larger amount!

YAC Summit - On February 23-24, the Youth Advisory Committee attended the 19th Annual YAC Summit, a two-day statewide event sponsored by the Texas Municipal League and hosted by the City of Fort Worth.

This year's theme was "Beyond All Limits." The summit gave attendees a chance to interact with professional speakers and peers in a fun and safe environment. The Youth Advisory Commission (YAC) Summit is an opportunity for cities, schools, and community youth groups to share their experiences of their programs and the positive impact that the pro-grams have had locally. Those in attendance left with a greater appreciation of their own programs and new ideas to move their group forward in the coming year.

Parks Day at the Capitol - On February 27, 2019, Lancaster Youth Advisory Council (YAC) attended "Walk the Halls-Parks Day at the Capitol," an annual event connecting youth, community experts and local policymakers. The City of Lancaster Youth Advisory Council members and Dallas Parks and Recreation Teen Ambassador Program members partnered with the Texas Recreation and Parks Society (TRAPS) in the 86th Legislative Session to lobby support of a constitutional amendment to secure TRPA grant funding "sporting goods sales tax" to remain with TPWD for local and state parks. Along with this, YAC members spoke in opposition of House Bill 2 and Senate Bill 2 which is proposed to reduce property revenue caps that will impact future growth opportunities.

Women's Empowerment Expo – In March 2019, the City of Lancaster partnered with the Queenish Professional Women's Club to host a Women's Empowerment Expo. This event featured panel discussions, live music, wealth and health experts, and educational segments focused on Women's rights, sex trafficking, and abuse.

Family Campout - In March 2019, the City partnered with Cub Scout Group 96 to get families out for a fun-filled weekend of camping! The campout included lawn games like Horseshoe, Lawn Fishing, Giant Jenga and Giant Connect Four. Patrons embarked on a nature hike, made s'mores, and finished the night with the movie Spiderman: Into the Spider Verse. Special thanks to Home Depot, Master Naturalist, Lee Kelton and members from St. Francis of Assisi Catholic Church for helping to make this event great! Attendance increased by 62% compared to last year, and we are excited to see continuous growth in the future!

Winter Basketball League -The Boss Winter Basketball League ran from January 12, 2019 - March, 9 2019, with over 800 players participating weekly in the Lancaster community. Teams ranging from 4 and under to 12 and under competed weekly bringing thousands of spectators to the Lancaster recreation center. The season met our objectives to improve basic game skills, shooting, dribbling, rebounding and passing. The league strived to improve offensive and defensive positional play while improving overall fitness and emphasizing teamwork and fair play.

Future Cities Competition - On January 26, 2019, S.A.F.E. Afterschool youth participated in the Future Cities Competition for the second year at the University of Texas at Arlington. This year's theme was Powering Our Future! Competition participants had to complete five deliverables: a virtual city design (using SimCity computer program), a 1,500-word essay, a scale model built from recycled materials, a project plan, and a presentation to judges. Our youth participants, Skye Cole, Matthew Cooper and Nyobi Newton, formed a team that designed a resilient power grid that can withstand and quickly recover from the impacts of a natural disaster. Participating in STEM related activities teaches and challenges our youth to become future innovators.

13. Recreation Division Update

Member activity:

This quarter residents visited the Lancaster Recreation Center and Senior Life Center a total of 10,688 times.

2019	January	February	March	Total
Membership Scans 2019	3,365	3,190	2652	9,207

Daily Passes	381	274	826	1,481
Grand Total for both	10,688			

Silver Sneakers was utilized 1,171 times and this program continues to grow.

Silver Sneakers	January	February	March	Total
Membership Scans 2019	478	423	270	1,171
Number of Individual People	87	79	59	225

14. Library Services Division Update

In honor of Black History Month, the library hosted 3 programs commemorating the month. The Freedman's Town Tour was presented on February 11, by Dr. George Keaton Jr. An African American Genealogy class was held on February 18, by Mary Sykes and a "History of Black Midwives and Midwifery Care" was presented on February 21, by LaQuita Brazile.

Circulation and Programming

	Jan	Feb	Mar	2nd Quarter Totals
Circulation				
Adult Books	994	1138	1207	3339
Juvenile Books	1297	1239	1211	3747
Audio	21	27	61	109
Periodicals	40	47	57	144
Videos	717	729	741	2187
Interlibrary Loans	3	2	6	11
E-Books	13	17	18	48
Tumblebooks	10	5	5	20
MOLTC	0	68	16	84
Total Circulation	3095	3272	3322	9689
Questions				
Reference	366	304	375	1045
General	2732	2849	3247	8828
Total Questions	3098	3153	3622	9873
Program Attendance				
Children	84	50	142	276
Young Adult	11	7	3	21
Adult	12	20	33	65
Outreach	11	8	18	37
Total Attendance	118	85	196	399

Programs Offered				
Children's Programs	14	6	14	34
Young Adult Programs	2	2	2	6
Adult Programs	15	12	10	37
Total Programs	31	20	26	77
Mobile Outreach Library & Technology Center				
# Community Visits	0	2	1	3
# Users	0	32	8	40
Total MOLTC Programs	0	34	9	43

Professional & Committed Workforce

Lancaster city government is an employer of choice with competitive pay that attracts an engaged, responsive, customer-oriented, innovative, and effective workforce. Some employees live in the City and all have a sense of ownership of the community. City employees feel needed and appreciated by elected officials, residents and businesses and are respectful to and appreciative of their customers and the City's governing body. The City's executive staff is engaged with residents and attends community events, upholds strong customer service, and uses technology to aid them in working smarter.

1. Review Specialty Incentive Pay Program
Staff is compiling incentive pay data from survey cities to aid in the assessment of Lancaster's current specialty incentive pay as compared to survey cities offered incentive pay. Staff has a goal of providing results in the 3rd Quarter.
2. Evaluate compensation to address compression -
Staff is compiling salary survey data from survey cities to prepare a city council work session presentation in the 3rd Quarter.
3. Continue Lancaster University –
Members from various departments who interact on a day to day basis with the citizens in our community were provided an opportunity to attend leadership classes to gain insight in how to serve our citizens with PRIDE. The six classes attended by front line staff include: 1) Customer Service Values 2) Customer Service for Various Personalities 3) Customer Service for Diverse Generations 4) Customer Service Communications 5) Customer Service in Times of Conflict and 6) Customer Service Choices.

Lancaster University was held on March 8, 2019 at Cedar Valley Community College. Staff coordinated with several speakers to provide a day of professional development for employees in the areas of customer service, leadership, financial wellness, physical wellness, motivational encouragement, professionalism and inspirational encouragement. The program was well received by employees and many employees have commented on how grateful they were to have council support for employee development. A copy of the highlight video was provided to Council via mail packet.

4. Continue City Council annual Strategic Planning and Team Building Exercises
City Council Strategic Planning Session has been scheduled for June 14 and 15, 2019.

Sound Infrastructure

The City has preventative maintenance programs to ensure well-maintained infrastructure including streets, water, storm water, wastewater and other assets.

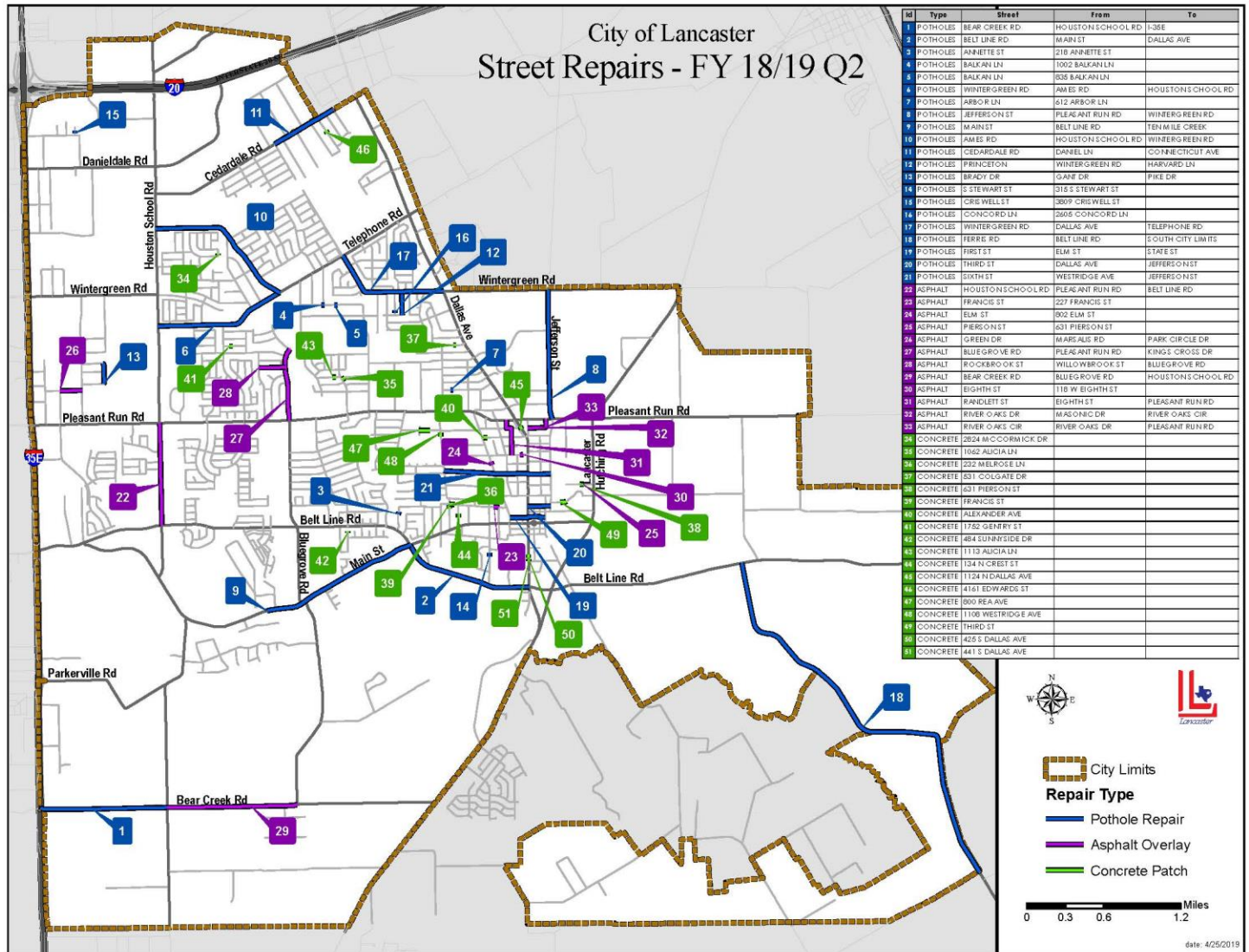
1. Implementation of a Street Maintenance Fund
Staff is currently researching this and will present findings at a future work session.
2. Continue Infrastructure Implementation Project – Pleasant Run Road Phases 1, 2, 3
Phase 1, 35E to Houston School Rd. was approved in July 2018. Phase 2, Houston School Road to Bluegrove Rd., and Phase 3, Bluegrove Rd. to Dallas Ave., were approved in December of 2018.

Phase 1, 35E to Houston School Rd., is being finalized and Phase 2 is underway.
3. Implementation of Water/ Waste Water Master Plan for new and upgrade Projects - Water & Sewer Master Plan Update is in progress; the contract was awarded to Freese & Nichols (FNI), and is estimated to be complete by August 2019. During the 2nd quarter, FNI finalized the water distribution model calibration and is updating and validating the wastewater model.
4. Complete Airport Terminal Construction
 - a. On March 2, 2018, with cooperation between the City of Lancaster, TxDOT Aviation, KSA Engineering, and Denco Construction Specialists, a successful Groundbreaking Ceremony was held at the airport for the new terminal building project.
 - b. Permits were issued on April 09, 2018. Interior walls are currently being constructed. This project is 80% complete.
 - c. The Ribbon Cutting Ceremony is tentatively scheduled for July 11, 2019.
5. Work with the Best Southwest Partnership to implement public transportation options –
Council received a presentation from Star Transit in December 2018, covering cities currently enrolled, affordability, and possible implementation within our city limits. DART made a presentation to Council in 2019. Staff presented Council with an update at the April 15, 2019 Worksession.
6. Conduct a Loop 9 Corridor Study
Staff is scheduled to meet with TxDOT in preparation for the corridor study. An update will be presented at a future work session.
7. Update Pavement Management Plan and implement
The pavement management plan update is in progress, data collection took place through November and December. This is scheduled for presentation to City Council in the 3rd Quarter.
8. Streets & Stormwater
Staff completed a number of asphalt section street repairs and are working diligently to repair errors related to workmanship. Staff continues to train to ensure work is completed to obtain sustainable results.

Special Projects

1. The sidewalk replacement program is ongoing with several inquiries and 3 residents that have used the program this quarter.
2. Mosquito Control: Standing water treatments are repeated every 15 to 30 days. Staff recently received additional mosquito dunks to treat creeks and provide to residents to prevent and maintain low levels of mosquito population that could potentially prevent increased occurrences of West Nile or the Zika Virus.

3. CDBG-Curb & Gutter on Lindenwood Drive completed. The asphalt repair is pending.
4. Wintergreen Road reconstruction Phase 1, from Houston School Road to North Dallas Avenue has begun. City Council awarded the contract on December 17, 2018. Completion is scheduled for summer of 2019. This project is 18% complete.
5. Stanford Street Reconstruction – Stanford Street between Suffolk Lane and 810 Stanford Street, Current Phase is preconstruction with an estimated total completion of Fall 2019 weather permitting.
6. Hartford Alley Reconstruction – Alley Behind 806 Hartford Lane, Pre-Construction.



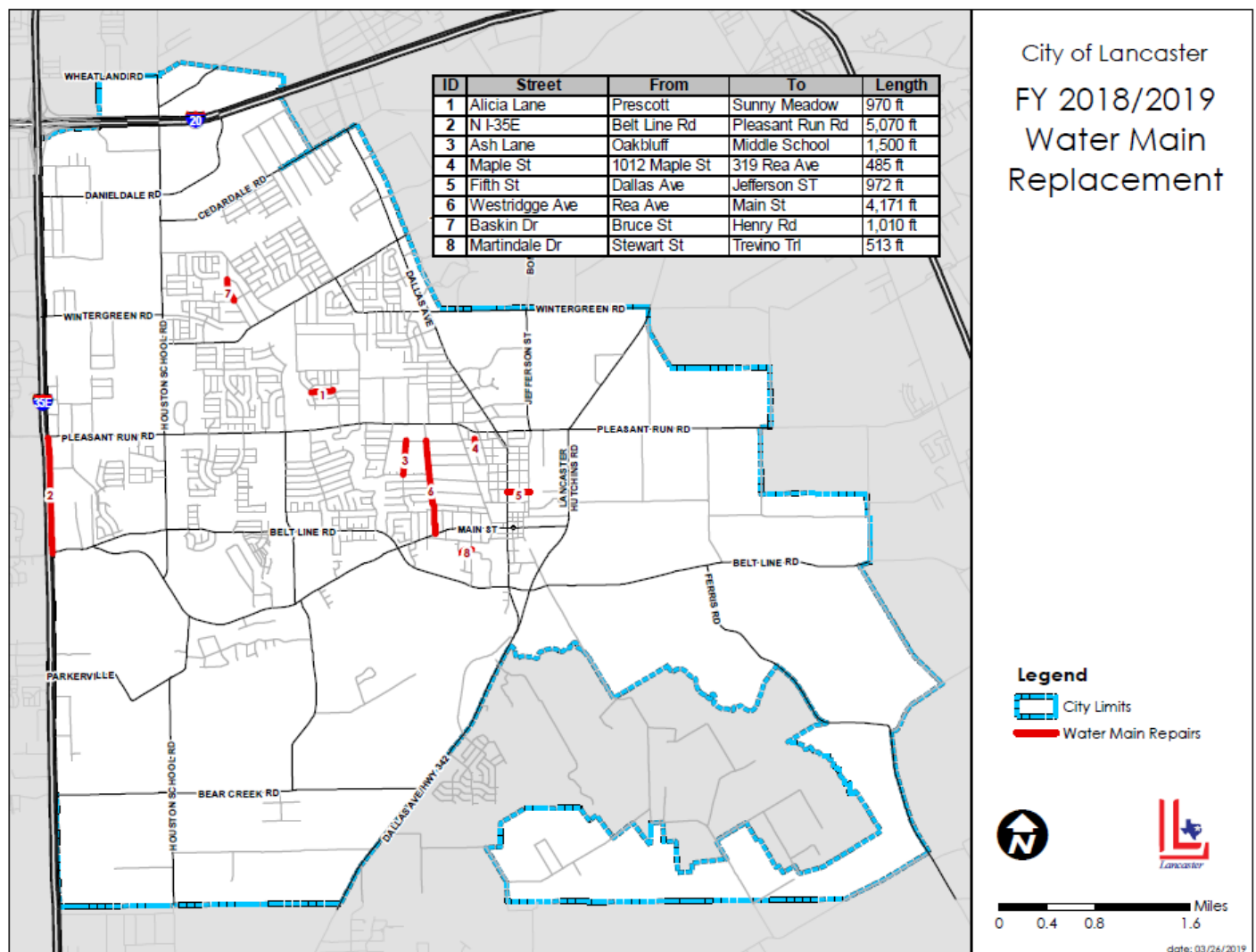
9. Water/Wastewater

1. Staff continues to maintain a superior water rating for quality and inventory water quality by conducting 120 samples per quarter.
2. This quarter, staff identified and replaced 6 linear feet of sewer main appearing to be in poor condition, with another projected 1,000 ft. to be replaced by November 2019. Staff continues conducting camera inspections within manholes to ensure quality of public sewer lines within the City.

Special Projects

1. The Fats, Oil and Grease program is ongoing with 101 notices handed out this quarter.

2. Annexation Plan: The Water/Wastewater Master Plan update is in progress. Water is within Rockett CCN. The update will identify capital projects, opinion of probable costs and estimated time frames for service extension based on growth.
3. Wastewater Main Replacement - Alicia Lane between Prescott and Sunny Meadow extending south on Sunny Meadow to Pleasant Run Road. Approximately 99% complete.
4. Wastewater Main Replacement – Fifth Street between Dallas Avenue and Jefferson Street. Approximately 95% complete. Contractor is expected to complete this project in July 2019.
5. Wastewater Main Replacement - North I-35E Service Road between Pleasant Run Road and Beltline Road. The contractor has applied for the ROW permit with TXDOT and will start this project once received. Completion is scheduled for July 2019.
6. Wastewater Main Replacement - Ash Lane to Oakbluff next to middle school. Contractor is expected to start this project June 2019.
7. Wastewater Main Replacement - 1012 Maple Street to 319 Rea Avenue. Contractor is expected to start this project June 2019.
8. Water Main Replacement – Westridge Avenue between Rea and Main Street. Contractor is expected to start this project June 2019.
9. Water Main Replacement – Baskin Drive between Bruce and Henry Road. Contractor is expected to start this project June 2019.
10. Water Main Replacement – Martindale Drive between Stewart Street and Trevino Trail. Contractor is expected to start this project June 2019.



10. Sound Infrastructure Special Projects

1. Houston School Illumination Project – Staff met with Oncor to discuss the project on Houston School Road. There is an infrastructure conflict with location and placement of lights due to an existing 36" Dallas Water Utility line. Oncor is researching options and alternatives. Once resolved and Oncor provides a suitable design, an update will be provided. No estimated date of completion available at this time.
2. General Design Manual – a work session within the next few months will include a presentation on the general design manual and standard construction details.
3. New Traffic Signal at the intersection of Houston School Road and Meadowgate Lane - The signal has been installed by the developer located at this intersection at no cost to the City of Lancaster. Signals are operational. Final walk through will be scheduled soon. This project is approximately 95% complete.

Effective Municipal Operations

The City delivers financial sustainability and quality services utilizing delivery methods that engages residents to take pride in our City.

1. Establish and implement communications and marketing plans for all services, including Lancaster Regional Airport. – Staff is currently working with a communications firm to update City marketing videos including an Airport video and a video on Country View Golf Course. Staff is in the process of reviewing the second draft of the Airport marketing video and will begin work on the Golf Course marketing video once the Airport video is complete. Additionally both the airport and golf course are featured in various adverts both in print and online. Lancaster Regional Airport is featured on prominent airport certified sites for fuel advertisement and competitive hanger rates. Hangars continue to have a 99% lease up capacity. The Golf Course continues to have advertising presence in Avid Golfer and popular golf websites through Touchstone Golf, LLC for affordable golf courses in the Dallas/Fort Worth Metroplex.
2. Improve public communication methods and content delivery. – Staff continues to communicate through the quarterly Lancaster Connection, monthly Lancaster today, the weekly Lancaster Live, and social media platforms including Facebook, Twitter, Instagram, and Next Door.
3. Review City Charter to ensure compliance with applicable State laws - Following the conclusion of the Legislative Session, Council to review and ensure compliance with State law.
4. Continue partnership with Best Southwest Cities – Mayor Hairston, City Manager Mauldin-Jones and Chamber of Commerce Board Chair Cheryl Adams serve as representatives on the Best Southwest Partnership Board of Directors. The City continues to sponsor a table at the quarterly luncheons and actively participates in programs.
5. Continue annual review of Council Rules and Procedures – City Council rules and procedures are annually reviewed during Strategic planning Session which is currently scheduled for June 14 and June 15, 2019.
6. Provide a monthly Scorecard to show progress on the implementation of existing plans (i.e. Comprehensive Plan). – Staff continues to provide a weekly report of plan implementation, summarized monthly through WebQA reports and this quarterly report.

LANCASTER CITY COUNCIL

City Council Regular Meeting

1.

Meeting Date: 06/10/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Professional and Committed City Workforce

Submitted by: Sorangel O. Arenas, City Secretary

Agenda Caption:

Consider approval of minutes from the City Council Regular Meeting held on April 22, 2019 and May 13, 2019.

Background:

Attached for your review and consideration are minutes from the City Council Regular Meeting held on April 22, 2019 and May 13, 2019.

Attachments

April 22, 2019

May 13, 2019

MINUTES

LANCASTER CITY COUNCIL REGULAR MEETING OF APRIL 22, 2019

The City Council of the City of Lancaster, Texas, met in a called Regular Session in the Council Chambers of City Hall on April 22, 2019 at 7:00 p.m. with a quorum present to-wit:

Councilmembers Present:

Mayor Clyde C. Hairston
Carol Strain-Burk
Deputy Mayor Pro Tem Stanley Jaglowski
Mayor Pro Tem Marco Mejia
Derrick D. Robinson
Racheal Hill
Nina Morris

City Staff Present:

Opal Mauldin-Jones, City Manager
Rona Stringfellow, Deputy City Manager
Fabrice Kabona, Assistant City Manager
Dori Lee, Director of Human Resources
Sean Johnson, Director of Quality of Life and Cultural Services
Shane Shepard, Director of Economic Development
Sam Urbanski, Police Chief
Kenneth Johnson, Fire Chief
Charley Miller, Assistant Police Chief
Jermaine Sapp, Director of Equipment Services and Facilities
Sharon Jungman, Assistant Finance Director
Jasmine Carr, Community Programs Coordinator
Delajer Walker, E.C. & E.M. Superintendent
David T. Ritter, City Attorney
Sorangel O. Arenas, City Secretary

Call to Order:

Mayor Hairston called the meeting to order at 7:01 p.m. on April 22, 2019

Invocation:

Pastor William Goodwin gave the invocation.

Pledge of Allegiance:

Mayor Pro Tem Marco Mejia led the pledge of allegiance

Recognition:

Lancaster Independent School District

Proclamation:

Mayor Hairston read the proclamation for "Motorcycle Safety and Awareness Month" and urges all residents to do their part to increase safety and awareness in our community.

Mayor Hairston read the proclamation for "Lancaster Historical Society" and urges all citizens to congratulate the Society of this prestigious milestone for its efforts of preserving Lancaster's rich heritage.

Citizens' Comments:

Chrystal Keys, 1330 Meadow Creek, expressed her concern with crime.

Consent Agenda:

City Secretary Arenas read the consent agenda.

1. **Consider approval of minutes from the City Council Regular Meeting held on January 14, 2019.**
2. **Consider a resolution authorizing the award of Bid #2019-2 for Janitorial Services to Oriental Building Services, Inc. in the amount of \$144,835.60.**
3. **Consider a resolution authorizing the City Manager to execute an economic development agreement pursuant to Chapter 380, Texas Local Government Code, by and between the City of Lancaster and Brasscraft Manufacturing Company.**
4. **Consider a resolution supporting the 2020 Census, establishing the City of Lancaster Complete Count Committee, and confirming appointments to said committee.**
5. **Consider declaring a certain board, commission or committee position(s) vacant due to resignation.**

Councilmember Morris pulled item 4.

Councilmember Strain-Burk pulled item 3.

MOTION: Councilmember Morris made a motion, seconded by Councilmember Strain-Burk to approve consent items 1 through 5 excluding items 3 and 4. The vote was cast 7 for, 0 against

3. **Consider a resolution authorizing the City Manager to execute an economic development agreement pursuant to Chapter 380, Texas Local Government Code, by and between the City of Lancaster and Brasscraft Manufacturing Company.**

Councilmember Strain-Burk shared Brasscraft Manufacturing Company is purchasing \$5.9 million in machinery to increase production of an existing product line at their facility in Lancaster. The expansion will result in thirty (30) new full-time manufacturing jobs within two years. Which aligns with Council goals of bringing more jobs to the City of Lancaster.

4. **Consider a resolution supporting the 2020 Census, establishing the City of Lancaster Complete Count Committee, and confirming appointments to said committee.**

Councilmember Morris shared her gratitude to the Complete Count Committee for willing to serve.

MOTION: Councilmember Strain-Burk made a motion, seconded by Councilmember Morris to approve consent items 3 and 4. The vote was cast 7 for, 0 against

6. **Z19-08 Conduct a public hearing and consider an ordinance for a rezoning request from Agricultural Open (A-O) to Single Family-Estate (SF-E). The property is located south of Lomita Drive and east of Meadowlark Lane and is addressed as 1640 Meadowlark Lane. It is further described as Lot 12, Block 3 in Abstract No. 128 CH Barnard Survey, Lancaster, Dallas County, Texas.**

City Manager Mauldin-Jones shared Z19-08 Conduct a public hearing and consider an ordinance for a rezoning request from Agricultural Open (A-O) to Single Family-Estate (SF-E). The property is located south of Lomita Drive and east of Meadowlark Lane and is addressed as 1640 Meadowlark Lane. The property is

located on Meadowlark Lane and is approximately 380 feet north of Meadowlark Court and is approximately 1.13 acre in size. The 2002 Comprehensive Plan identifies this site as suitable for residential uses. The proposed use is consistent with the Comprehensive Plan. The 2002 Comprehensive Plan is being referenced because Chapter 3 of the 2016 Comprehensive Plan specifically notes that "The Preferred Scenario" for future land use remains unchanged in most areas of the City where stable and sustainable land uses exist."

The item was presented to the Planning and Zoning Commission (P&Z) on April 2, 2019. P&Z recommended approval of the zoning change request Z19-08 from A-O to SF-E.

This is a zoning change request and in accordance with Texas Local Government Code, Section 211, zoning change requests must be noticed 10 days before the hearing. On March 19, 2019, a notice for this public hearing appeared in the Focus Daily Newspaper. Ten 10 notifications of this public hearing were mailed to owners that are within 200 feet of the subject property. There were two (2) letters received in support and no letters received in opposition of this request.

Mayor Hairston opened the public hearing

Elias Gomez, 1640 Meadowlark Ln. spoke in support of item 6

MOTION: Councilmember Morris made a motion, seconded by Councilmember Strain-Burk to close the public hearing. The vote was cast 7 for, 0 against.

MOTION: Councilmember Strain-Burk made a motion, seconded by Deputy Mayor Pro Tem Stanley Jaglowski to approve item 6. The vote was cast 7 for, 0 against.

MOTION: Councilmember Strain-Burk made a motion, seconded by Councilmember Morris to adjourn. The vote was cast 7 for, 0.

The meeting was adjourned at 7:25 p.m.

ATTEST:

APPROVED:

Sorangel O. Arenas, City Secretary

Clyde C. Hairston, Mayor

MINUTES

LANCASTER CITY COUNCIL REGULAR MEETING OF MAY 13, 2019

The City Council of the City of Lancaster, Texas, met in a called Regular Session in the Council Chambers of City Hall on May 13, 2019 at 7:00 p.m. with a quorum present to-wit:

Councilmembers Present:

Mayor Clyde C. Hairston
Carol Strain-Burk
Deputy Mayor Pro Tem Stanley Jaglowski
Mayor Pro Tem Marco Mejia
Derrick D. Robinson
Racheal Hill
Nina Morris

City Staff Present:

Opal Mauldin-Jones, City Manager
Rona Stringfellow, Deputy City Manager
Dori Lee, Director of Human Resources
Sam Urbanski, Police Chief
Charley Miller, Assistant Police Chief
Kenneth Johnson, Fire Chief
Jermaine Sapp, Director of Equipment Services and Facilities
Andrew Waits, Public Works Director
Jasmine Carr, Community Programs Coordinator
Delajer Walker, E.C. & E.M. Superintendent
David T. Ritter, City Attorney
Sorangel O. Arenas, City Secretary

Call to Order:

Mayor Hairston called the meeting to order at 7:00 p.m. on May 13, 2019.

Invocation:

Pastor John Richardson gave the invocation.

Pledge of Allegiance:

Councilmember Derrick D. Robinson led the pledge of allegiance

Citizens' Comments:

Miracle Bennett, 162 Southwood, expressed her concern with the condition of the Animal Shelter Facility.

Rosanna H. Ross, 201 N. Elm St. expressed her concern with the Animal Shelter.

Lynne Turner, 1530 Nokomis expressed similar concerns as Ms. Bennett.

Mayor Hairston read action item 1 and 2.

- 1. Consider a resolution canvassing the returns and declaring the results of the General Election for the office of Councilmember District 1 and Councilmember District 5 held on May 4, 2019.**

Considere una resolución para presentar los resultados y declarar los resultados de las Elecciones Generales para la oficina de Concejal Distrito 1 y Distrito 5 celebrada el 4 de mayo de 2019.

City Secretary Arenas read Resolution 2019-05-25 canvassing the returns and declaring the results of the General Election for City Officers held on May 4, 2019 as follows:

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS, CANVASSING THE RETURNS AND DECLARING THE RESULTS OF THE GENERAL ELECTION FOR THE OFFICE OF COUNCILMEMBER DISTRICT 1 AND DISTRICT 5 HELD ON MAY 4, 2019.

GENERAL ELECTION

LANCASTER, TEXAS

MAY 4, 2019

CANVASS OF RETURNS AND DECLARATION OF RESULTS OF ELECTION

BE IT REMEMBERED THAT, on this the 13th day of May, 2019, at a meeting of the City Council of the City of Lancaster, Texas, a quorum being present, the meeting was called to order and the following business was transacted.

Upon motion it was unanimously ordered that the City Council consider the official returns of a General Election held in the City of Lancaster on May 4, 2019, for the election of District 1 and District 5 for a three-year term.

WHEREUPON, said official returns were opened, examined, canvassed and the results declared as follows:

CANVASS OF RETURNS AND DECLARATION OF RESULTS

WHEREAS, heretofore, the City Council of the City of Lancaster, Texas, called a General Election to be held in the City on May 4, 2019, to elect a Councilmember for District 1 and District 5 for a three-year term; and

WHEREAS, immediately after said election the Presiding Judge and other officials holding said election made their returns of the results thereof to the City Council as follows, and said returns being made according to law, and duly authenticated, and it being shown that written notice of said election was posted for the time and in the manner provided by law, and all other proceedings pertaining to said election having been shown to have been done and performed at and within the manner provided by law, and all papers pertaining thereto having been returned and filed with the City Council and no protest or objection being made to or regarding any matter pertaining to said election.

WHEREAS, on March 25, 2019, City Council approved Resolution No. 2019-03-19 which declared the unopposed candidates in District 3 (Marco Mejia) to be elected to said office.

NOW, THEREFORE, be it resolved by the City Council of the City of Lancaster, Texas, after examining said returns and opening and canvassing the votes of said election, that the results of said election are as follows:

That the following number of votes was cast for the following named candidates for the office of Councilmember, District 1, to-wit:

	EARLY VOTING	BY MAIL	ELECTION DAY	PROVISIONAL VOTING	TOTAL VOTES	PERCENTAGE
Larry Walsted	97	9	54	0	160	27.26 %
Alan Beavers	33	6	9	0	48	8.18 %
Carol Strain Burk	252	50	76	1	379	64.57 %

It appearing that Carol Strain-Burk received a majority of all votes cast for the office of Councilmember, District 1, Carol Strain-Burk is hereby declared to be elected to the office of Councilmember, District 1, to serve a three-year term after qualifying.

That the following number of votes was cast for the following named candidates for the office of Councilmember, District 5, to-wit:

	EARLY VOTING	BY MAIL	ELECTION DAY	PROVISIONAL VOTING	TOTAL VOTES	PERCENTAGE
Katherine Hail	31	1	16	0	48	15.53 %
Racheal Hill	180	1	80	0	261	84.47 %

It appearing that Racheal Hill received a majority of all votes cast for the office of Councilmember, District 5, Racheal Hill is hereby declared to be elected to the office of Councilmember, District 5, to serve a three-year term after qualifying.

IT IS FURTHER ORDERED that this canvass and declaration of results of said election be entered in the Minutes of the City Council.

This Resolution, declaring the results of the general election, shall become effective immediately after its passage.

DULY PASSED by the City Council of the City of Lancaster, Texas, on this the 13th day of May, 2019.

MOTION: Councilmember Strain-Burk made a motion, seconded by Councilmember Morris to approve item 1. The vote was cast 7 for, 0 against.

2. Administer oaths of office, present Certificates of Election, and seat newly elected council members.

City Secretary Arenas administered the Oath of Office for Carol Strain-Burk, Marco Mejia and Racheal Hill. Certificates of Election were presented.

Carol Strain-Burk, Marco Mejia and Racheal Hill shared their gratitude to the citizens of the City of Lancaster.

Consent Agenda:

City Secretary Arenas read the consent agenda.

3. **Consider approval of minutes from the City Council Regular Meeting held on February 11, 2019 and March 25, 2019.**
4. **Consider a resolution denying Oncor's application for approval to amend its distribution cost recovery factor (DCRF) to increase distribution rates with each of the cities in their service area, including the City of Lancaster.**

MOTION: Councilmember Morris made a motion, seconded by Councilmember Strain-Burk to approve consent items 3 and 4. The vote was cast 6 for, 1 against [Jagowski].

5. **Discuss and consider election of a Mayor Pro Tempore.**

Councilmember Jagowski nominated Councilmember Strain-Burk. Councilmember Mejia nominated Councilmember Hill.

City Secretary Arenas conducted a roll call vote. The roll call vote was cast 4 for, 3 against [Hairston, Strain-Burk and Jagowski] for Councilmember Hill to serve as Mayor Pro Tempore.

6. **Discuss and consider election of a Deputy Mayor Pro Tempore.**

Councilmember Strain-Burk nominated Councilmember Jagowski. Councilmember Robinson nominated himself.

City Secretary Arenas conducted a roll call vote. The roll call vote was cast 4 for, 3 against [Strain-Burk, Jagowski and Mejia] for Councilmember Robinson to serve as Deputy Mayor Pro Tempore.

7. **Discuss and consider appointment of council liaisons to City Boards and Commissions.**

City Secretary Arenas shared that annually, Councilmembers select the boards/commissions that they would like to serve as Council liaison. A Council liaison for each board or commissions shall be selected by the City Council by order of seniority.

City Council made their selection of board/commissions to serve as council liaison as follows:

Councilmember Morris	Parks & Recreation Advisory Board
Councilmember Mejia	Planning and Zoning Commission
Councilmember Jagowski	Animal Advisory Board
Councilmember Strain-Burk	Economic Development Corporation
Deputy Mayor Pro Tem Robinson	Airport Advisory Board
Mayor Pro Tem Hill	Youth Advisory Commission
Councilmember Morris	Recreational Development Corp. (4B)
Councilmember Mejia	did not select
Councilmember Jagowski	Museum Advisory Board
Councilmember Strain-Burk	Historic Landmark Preservation Committee
Deputy Mayor Pro Tem Robinson	did not select
Mayor Pro Tem Hill	Civil Service Commission
Councilmember Morris	Property Standards & Appeals Board
Councilmember Mejia	did not select
Councilmember Jagowski	Library Advisory Board
Councilmember Strain-Burk	did not select
Deputy Mayor Pro Tem Robinson	Zoning Board of Adjustment

MOTION: Councilmember Morris made a motion, seconded by Mayor Pro Tem Hill to adjourn. The vote was cast 7 for, 0 against.

The meeting was adjourned at 7:33 p.m.

ATTEST:

Sorangel O. Arenas, City Secretary

APPROVED:

Clyde C. Hairston, Mayor

LANCASTER CITY COUNCIL

City Council Regular Meeting

2.

Meeting Date: 06/10/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Sound Infrastructure
Quality Development

Submitted by: Fabrice Kabona, Assistant City Manager

Agenda Caption:

Consider a resolution approving an amendment to the license agreement for additional communication facilities to be installed by Sprint Spectrum Realty Company, L.P. on or near the water tower located at 1013 East Beltline Road and approving the terms and conditions of a fourth amendment to the license for communication facilities agreement for the purpose of allowing the construction, installation and maintenance of additional communication equipment.

Background:

Sprint Spectrum Realty Company, L.P. ("Sprint") currently has a license agreement with the City for the location of certain communications equipment located at or near the water tower on East Beltline Road. Sprint is requesting to modify existing communications equipment at 1013 East Beltline Road in order to improve the speed of the network and this requires an amendment to the license agreement. If approved this would be the fourth amendment to the original agreement dated June 9, 2003.

1st amendment	08/20/2012
2nd amendment	06/23/2014
3rd amendment	08/11/2017

Operational Considerations:

The request is for these modifications to include one (1) 24" microwave, two (2) associated microwave radios and two (2) associated ½" (one (1) inch total) coax cables while installing one (1) 24" microwave, two (2) associated microwave radios and four (4) 5.2 mm (0.82" total) coax. The Water Division of the Public Works Department will ensure compliance with the agreement as well as amendments to the site plan will be reviewed and approved by the Planning Division.

Existing to be Removed	Replacement
(1) AM-2-11-R microwave dish (24" diameter)	(2) ANT2 0.6 11 HPX (24" diameter)
(2) ERC_Minilink-TN_SP (microwave radios associated with dish)	(2) Ceragon IP20C (microwave radios associated with dish)
(2) 1/2" coax	(4) 5.2 mm Cat5E coax (5.2 mm x (4)=20.8 mm= 0.8189")

Legal Considerations:

The City Attorney prepared the resolution and approved the amendment to the license agreement.

Public Information Considerations:

This item is being considered at a Regular Meeting of the City Council noticed in accordance with the Texas Open Meetings Act.

Options/Alternatives:

1. City Council may approve the resolution, as presented.
2. City Council may deny the resolution.

Recommendation:

Staff recommends approval of the resolution, as presented.

Attachments

Resolution

Exhibit "A"

Original Agreement

1st Amendment

2nd Amendment

3rd Amendment

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS APPROVING A SITE PLAN FOR ADDITIONAL COMMUNICATION FACILITIES TO BE INSTALLED BY SPRINT SPECTRUM REALTY COMPANY, L.P., ON OR NEAR THE WATER TOWER LOACTED AT 1013 EAST BELTLINE ROAD, LANCASTER, TEXAS; APPROVING THE TERMS AND CONDITIONS OF A FOURTH AMENDMENT TO THE LICENSE FOR COMMUNICATIONS FACILITIES AGREEMENT BY AND BETWEEN THE CITY OF LANCASTER, TEXAS AND SPRINT SPECTRUM REALTY COMPANY, L.P., FOR THE PURPOSE OF ALLOWING THE CONSTRUCTION, INSTALLATION, AND MAINTENANCE OF ADDITIONAL COMMUNICATION EQUIPMENT; AUTHORIZING THE CITY MANAGER TO EXECUTE THE AGREEMENT AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, The City of Lancaster, Texas (the "City") and Sprint Spectrum Realty Company, L.P. ("Sprint") previously entered into a License Communication Agreement dated June 9, 2003 to allow for the use of a City-owned water tower located at 1013 East Beltline Road, Lancaster, Texas (and previously identified in earlier agreement documents as 1011 East Beltline Road) (the "Premises") to be used for the installation of communication facilities and equipment (the "Agreement"); and

WHEREAS, the Parties to the Agreement entered into a First Amendment to the License Agreement on August 20, 2012; and

WHEREAS, the Parties to the Agreement entered into a Second Amendment to the License Agreement on June 23, 2014; and

WHEREAS, The Parties to the Agreement entered into a Third Amendment to the License on August 11, 2017; and

WHEREAS, Sprint Spectrum Realty Company, L.P. is requesting a license to install additional communications facilities and equipment on the Premises and has submitted proposed site plan and communications facilities and equipment information detailing the location of the additional facilities and equipment that Sprint wishes to install on or near the Premises; and

WHEREAS, the Parties to the Agreement desire to enter into a Fourth Amendment to the Agreement, to allow Sprint to add additional communication facilities and equipment to the Premises; and

WHEREAS, the City Council of the City of Lancaster, Texas finds that the terms and conditions of the proposed Forth Amendment to the Agreement should be approved, and that the City Manager should be authorized to execute the Fourth Amendment on behalf of the City;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the Site Plan detailing the type and location of additional communication facilities and equipment to be installed by Sprint Spectrum Realty, L.P., on or near the water tower located at 1013 East Beltline Road, Lancaster, Texas, attached as Exhibit B-3 to the Fourth Amendment to the License for Communication Facilities Agreement, attached hereto as Exhibit "A," is hereby approved.

SECTION 2. That the terms and conditions of the Fourth Amendment to the License for Communication Facilities Agreement, attached hereto as Exhibit "A," is hereby approved.

SECTION 3. That the City Manager is hereby authorized to execute the Fourth Amendment on behalf of the City.

SECTION 4. This Resolution shall take effect immediately from and after its passage, and it is duly resolved.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 10th day of June, 2019

ATTEST:

APPROVED:

Sorangel O. Arenas, City Secretary

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney

Site Name: Lancaster Water Tower

Site ID #: DA58XC800

FOURTH AMENDMENT TO LICENSE FOR COMMUNICATION FACILITIES

This Fourth Amendment to License for Communications Facilities (this "**Amendment**"), effective as of the date last signed below ("**Effective Date**"), amends a certain License for Communication Facilities dated June 9, 2003, between Sprint Spectrum Realty Company, LLC (formerly a limited partnership), a Delaware limited liability company, successor in interest to Sprint Spectrum L.P. ("**Licensee**"), and City of Lancaster, Texas ("**City**"), as amended by First Amendment to the License for Communication Facilities dated August 20, 2012, as amended by Second Amendment to License for Communication Facilities dated July 1, 2014 and as amended by Third Amendment to License for Communication Facilities dated August 11, 2017 (collectively the "**Agreement**").

BACKGROUND

WHEREAS, Licensee and City desire to modify certain provisions of the Agreement as provided below.

AGREEMENT

For good and valuable consideration the receipt and sufficiency of which are acknowledged, City and Licensee agree as follows:

1. **Modification to the Premises.** Exhibit B-3 of the Agreement is hereby amended to include the modifications identified on Exhibit B-4, a copy of which is attached and made a part hereof. Exhibit B-4 supplements Exhibit B-3 to the Agreement, and is not deemed to supersede or otherwise modify Exhibit B-3 or any part thereof except to the extent specifically set forth in Exhibit B-4. Upon full execution of this Amendment, Licensee is permitted to do all work necessary to prepare, maintain and alter the Premises to install or otherwise modify the Premises, all as more fully described and contemplated in Exhibit B-4.

2. **General Terms and Conditions.**

a. All capitalized terms used in this Amendment, unless otherwise defined herein, will have the same meaning as the terms contained in the Agreement.

b. In case of any inconsistencies between the terms and conditions contained in the Agreement and the terms and conditions contained in this Amendment, the terms and conditions herein will control. Except as set forth herein, all provisions of the Agreement are ratified and remain unchanged and in full force and effect.

c. This Amendment may be executed in duplicate counterparts, each of which will be deemed an original.

d. Each of the parties represents and warrants that it has the right, power, legal capacity and authority to enter into and perform its respective obligations under this Amendment.

*****SIGNATURES ON FOLLOWING PAGE*****

The parties have executed this Amendment as of the Effective Date.

City:

City of Lancaster, Texas

By: _____

Printed Name: OPAL MAULDIN-JONES

Title: CITY MANAGER

Date: JUNE 10, 2019
(Date must be completed)

Licensee:

Sprint Spectrum Realty Company, LLC

By: _____

Printed Name: _____

Title: _____

Date: _____, 2019
(Date must be completed)

Site Name: 1011 East Beltline Road

Site ID #: DA58XC800

THIRD AMENDMENT TO LICENSE FOR COMMUNICATION FACILITIES

This Third Amendment to License for Communications Facilities (this "Third Amendment"), effective as of the date last signed below ("Effective Date"), amends a certain License for Communication Facilities dated June 9, 2003, between Sprint Spectrum Realty Company, LLC., (formerly a limited partnership), successor in interest to Sprint Spectrum, L.P ("Tenant"), and City of Lancaster, Texas ("Landlord"), as amended by First Amendment to the License for Communication Facilities dated August 20, 2012, as amended by Second Amendment to License for Communication Facilities dated July 1, 2014" (the "collectively" "Agreement").

BACKGROUND

WHEREAS, Tenant and Landlord desire to modify certain provisions of the Agreement as provided below.

WHEREAS, Tenant and Landlord desire to amend the Agreement to allow the Tenant to add additional equipment to the water tower located at 1011 East Beltline Road, Lancaster, Texas as set forth herein.

AGREEMENT

For good and valuable consideration the receipt and sufficiency of which are acknowledged, Landlord and Tenant agree as follows:

1. **Modification to the Premises.** Exhibit B-2 to the First Amendment is hereby amended to include the modifications identified on Exhibit B-3, a copy of which is attached and made a part hereof. Exhibit B-3 supplements Exhibit B-2 to the First Amendment, and is not deemed to supersede or otherwise modify Exhibit B-3 or any part thereof except to the extent specifically set forth in Exhibit B-3. Upon full execution of this Amendment, Tenant is permitted to do all work necessary to prepare, maintain and alter the Premises to install or otherwise modify the Premises, all as more fully described and contemplated in Exhibit B-3

2. **Modification to Rent.** Section 10 of the Agreement is amended by adding the following language at the end of Paragraph 10, providing for an "Additional Equipment Fee" to be added to the rental payment, to read as follows:

"10.Effective thirty (30) days after the start of construction of the modification to the premises to install new equipment at the Premises reflected in Exhibit B-3, the License Fee of Two Thousand Four Hundred Ninety Five and fifty two cents (\$2495.52) (the License Fee as of June 1, 2017) shall increase by Three Hundred and No/100 Dollars (\$300.00) per year (the "Additional License Fee"), partial year to be prorated. The Additional License Fee shall be subject to the same escalations to which rent is subject in accordance with this Agreement."

3. **General Terms and Conditions.**

- a. All capitalized terms used in this Third Amendment, unless otherwise defined herein, will have the same meaning as the terms contained in the Agreement.
- b. In case of any inconsistencies between the terms and conditions contained in the Agreement and the terms and conditions contained in this Third Amendment, the terms and conditions herein will control. Except as set forth herein, all provisions of the Agreement are ratified and remain unchanged and in full force and effect.
- c. This Third Amendment may be executed in duplicate counterparts, each of which will be deemed an original.
- d. Each of the parties represents and warrants that it has the right, power, legal capacity and authority to enter into and perform its respective obligations under this Third Amendment.

*****SIGNATURES ON FOLLOWING PAGE*****

The parties have executed this Amendment as of the Effective Date.

Landlord:

City of Lancaster, Texas

By: _____

Printed Name: _____

Title: _____

Date: _____

Opal Maudlin-Jones
Opal Maudlin-Jones
City Manager
08-11, 2017
(Date must be completed)

Tenant:

Sprint Spectrum Realty Company, LLC.

By: _____

Printed Name: _____

Title: _____

Date: _____

Dwayne L Baker
DWAYNE L BAKER
MARKET MANAGER
8/1, 2017
(Date must be completed)

Exhibit [B-3] SITE PLAN

[see attached]

Exhibit B-4

(Description of Premises)

See attached

PROJECT INFORMATION:

STRUCTURE INFORMATION:

LAT: 32.58712944°
LONG: -96.74039222°
SITE TYPE: WATER TANK
COUNTY: DALLAS
JURISDICTION: CITY OF DALLAS

APPLICANT:

SPRINT
6580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251

SAQ MANAGER:

NICOLE CLARK
5055 HWY N, SUITE 200
ST. CHARLES, MO 63304
(636) 922-3400

LANDLORD:

CITY OF LANCASTER
211 N HENRY STREET, LANCASTER, TX, 75146
CONTACT: 972-218-1300
CHAIRSTON@LANCASTER-TX.COM

SCOPE OF WORK:

EQUIPMENT TO BE REMOVED:

- (1) AM-2-11-R 24" MW DISH @ 146' RAD CENTER
(2) ERC_MINILINK-TN_SP COMPACT MW RADIO
(2) 1/2" COAX CABLE

NEW EQUIPMENT TO BE INSTALLED:

- (1) ANT 2 0.6 11 HPX 24" MW DISH @ 146' RAD CENTER
(2) CERAGON IP20C MW RADIO
(4) CAT5F (5.2MM) CABLE

A&E FIRM:

ALLPRO CONSULTING GROUP, INC.
9221 LBJ FREEWAY, STE 204
DALLAS, TX 75243
OFFICE: 972-231-8893
FAX: 866-364-8375

SHEET INDEX:

SHEET NUMBER	SHEET DESCRIPTION
T-1	COVER SHEET & SITE PLAN
A-1	TOWER ELEVATION & ANTENNA PLANS
A-1A	MW DISH SPECIFICATIONS
A-2	EQUIPMENT DETAILS
E-1	GROUNDING DETAILS

CODE COMPLIANCE:

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- INTERNATIONAL BUILDING CODE 2015
- INTERNATIONAL MECHANICAL CODE 2015
- INTERNATIONAL PLUMBING CODE 2015
- NATIONAL ELECTRICAL CODE 2017



MW-MIMO (5G)

SITE CASCADE:
DA58XC800-D

SITE NAME:
F2-LANCASTER WATER TOWER

SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75146

APPLICANT:



PLANS PREPARED FOR:



PLANS PREPARED BY:



ENGINEERING LICENSE:



DRAWING NOTICE:

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SUBMITTALS:

	DESCRIPTION	DATE	BY	REV
ISSUED FOR REVIEW		04/09/19	JC	A
FINAL CD		04/26/19	DR	0
REV FCD PER RED LINE		05/07/19	JC	1

SPRINT SITE NAME:

F2-LANCASTER
WATER TOWER

SPRINT SITE NUMBER:

DA58XC800-D

SITE ADDRESS:

1013 E. BELTLINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

SHEET DESCRIPTION:

COVER SHEET
& SITE PLAN

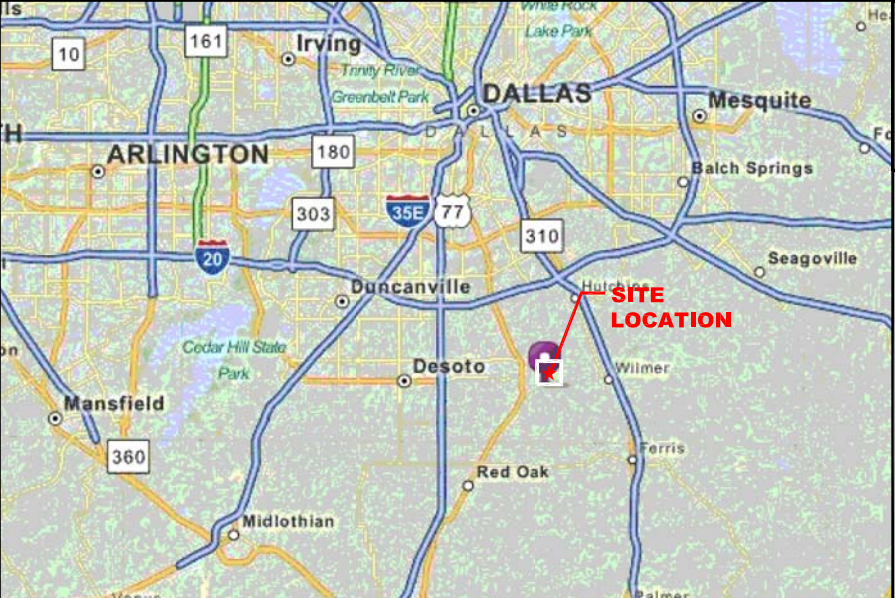
DWG INFORMATION:

DRAWN BY: MG
CHECKED BY: CZ

SHEET NUMBER:

T-1

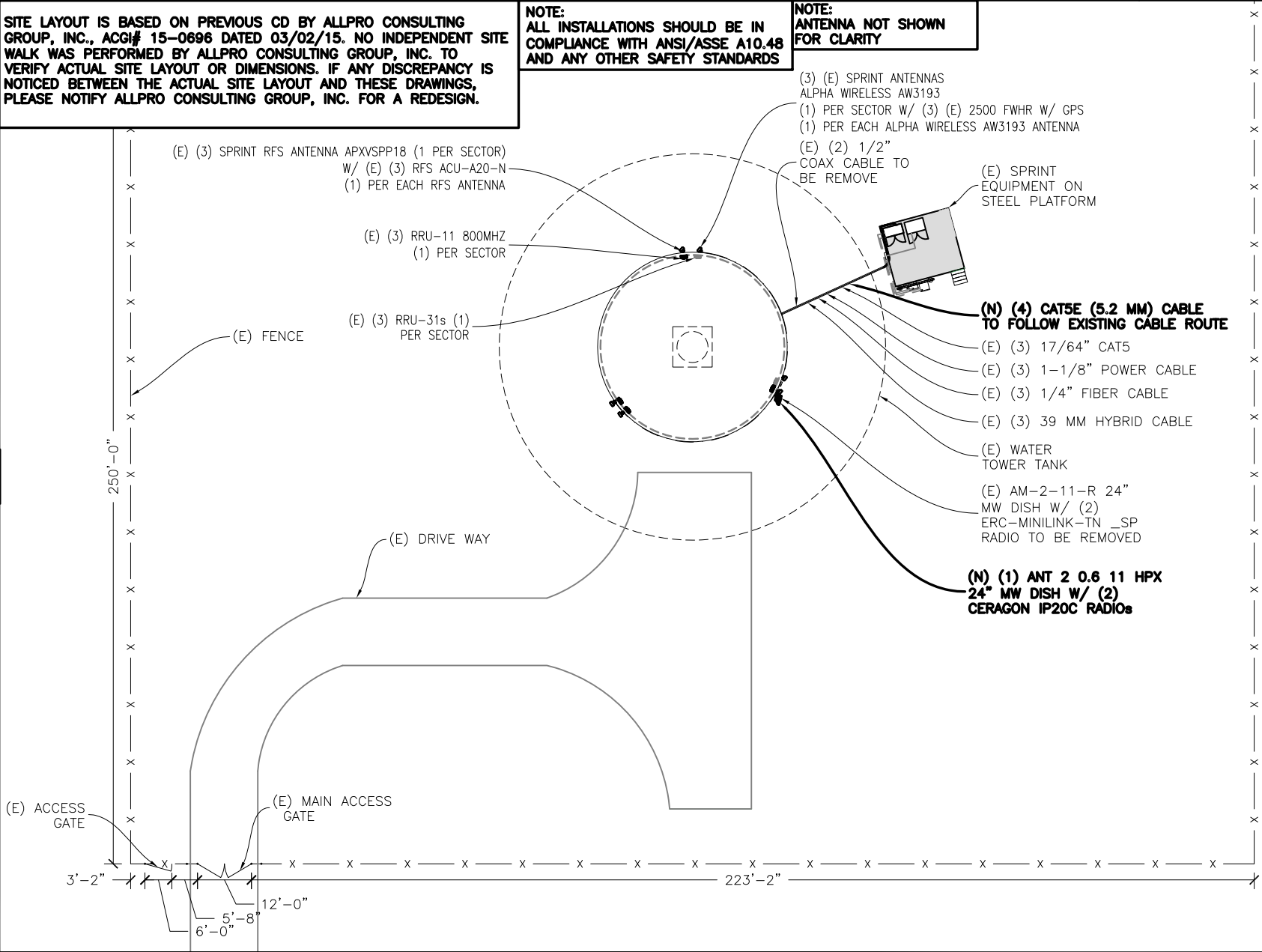
AERIAL MAP:



VICINITY MAP:



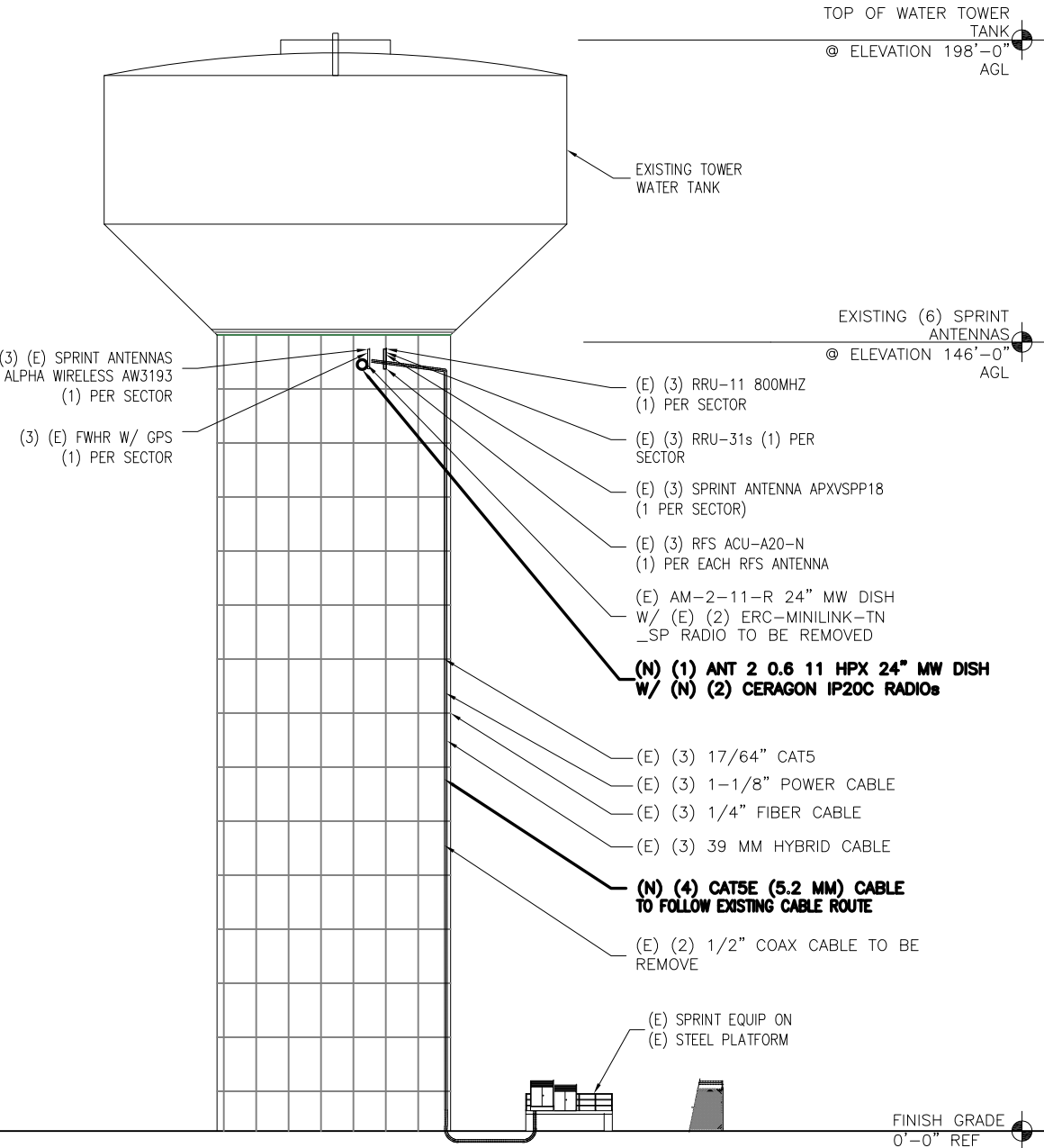
OVERALL SITE PLAN:



NOTE:
PASSING STRUCTURAL ANALYSIS IS BY
ALLPRO CONSULTING GROUP, INC.
ACGI#19-2083 DATED 4/15/19. NO
NEW ANTENNAS OR EQUIPMENT LOADS
SHALL BE INSTALLED ON THE TOWER
WITHOUT THE APPROVAL OF A
STRUCTURAL ENGINEER

NOTE: ALL INSTALLATIONS
SHOULD BE IN COMPLIANCE
WITH ANSI/ASSE A10.48 AND
ANY OTHER SAFETY STANDARDS

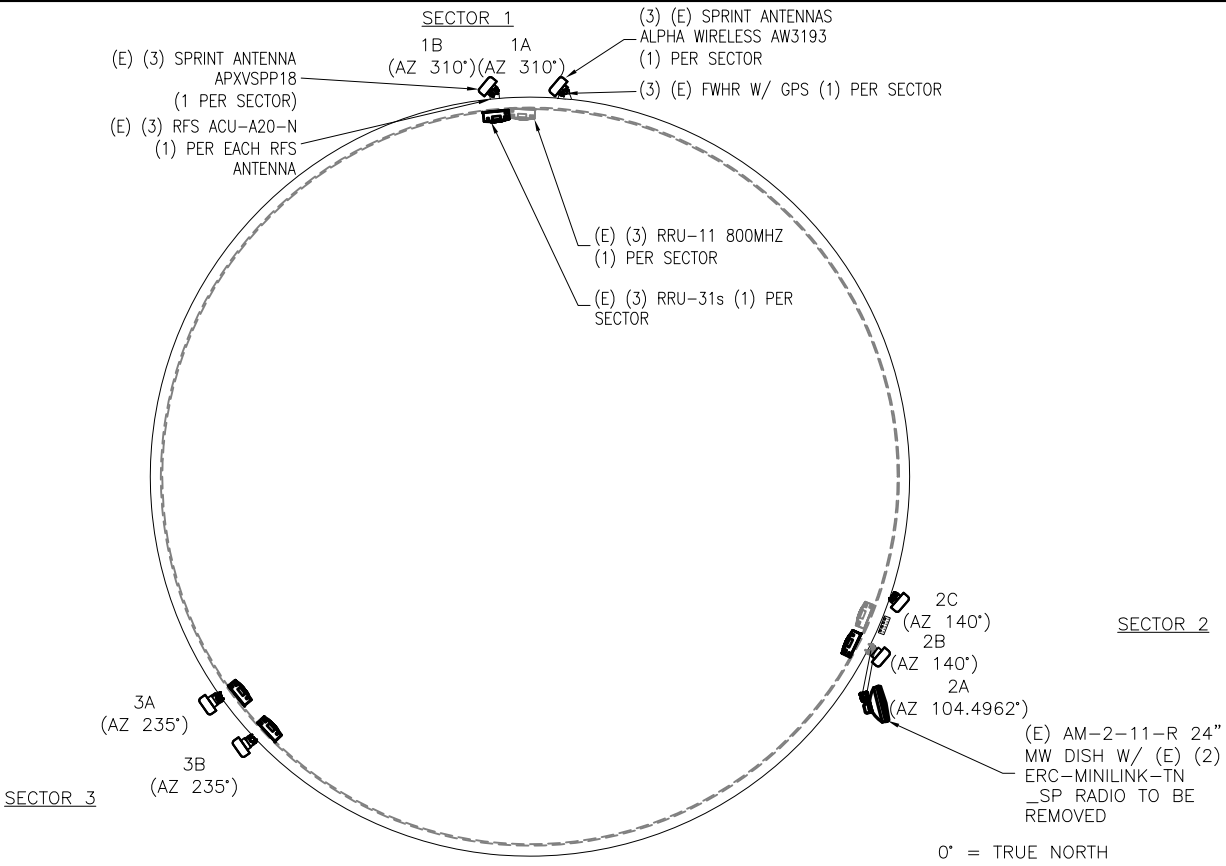
NOTE:
PROPOSED ANTENNA PLACEMENT LOCATION TO BE FIELD
VERIFIED BY GENERAL CONTRACTOR PRIOR TO
CONSTRUCTION TO AVOID ANY INTERFERENCE OR
SHADOWING OF EXISTING ANTENNAS. IF INTERFERENCE OR
SHADOWING OF EXISTING ANTENNAS IS DISCOVERED
DURING FIELD VERIFICATION, PLEASE CONTACT ALLPRO
CONSULTING GROUP INC. FOR DESIGN REVISION PRIOR TO
ANY NEW ANTENNA INSTALLATION.



SITE ELEVATION

NO SCALE

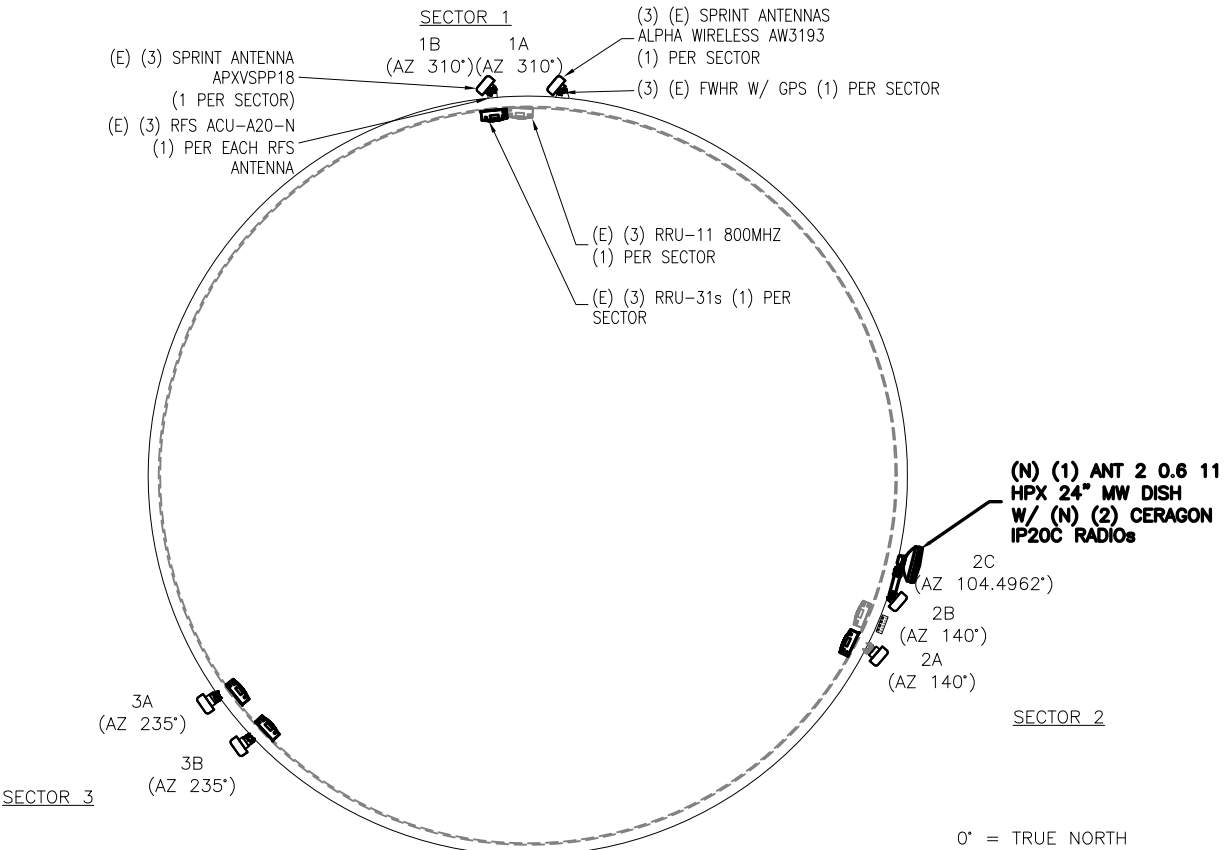
1



EXISTING ANTENNA & EQUIPMENT PLAN

NO SCALE

2



FINAL ANTENNA & EQUIPMENT PLAN

NO SCALE

3

APPLICANT:

Sprint
6580 Sprint Parkway
Overland Park, Kansas 66251

PLANS PREPARED FOR:

Network Real Estate LLC
5055 HIGHWAY N,
SUITE 200
ST. CHARLES, MO 63304
PHONE: 636-922-3400
WWW.NETWORKRE.NET

PLANS PREPARED BY:

ALLPRO CONSULTING GROUP, INC.
9221 LYNDON B JOHNSON FREEWAY
SUITE 204, DALLAS, TX 75243
PHONE: 972-231-8893
FAX: 866-364-8375
WWW.ALLPROCGI.COM
FIRM REGISTRATION #8242
ACGI# 19-2082

ENGINEERING LICENSE:



DRAWING NOTICE:

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SUBMITTALS:

DESCRIPTION	DATE	BY	REV
ISSUED FOR REVIEW	04/09/19	JC	A
FINAL CD	04/26/19	DR	0
REV FCD PER RED LINE	05/07/19	JC	1

SPRINT SITE NAME:

F2-LANCASTER
WATER TOWER

SPRINT SITE NUMBER:

DA58XC800-D

SITE ADDRESS:

1013 E. BELTLINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

SHEET DESCRIPTION:

TOWER ELEVATION &
ANTENNA PLAN

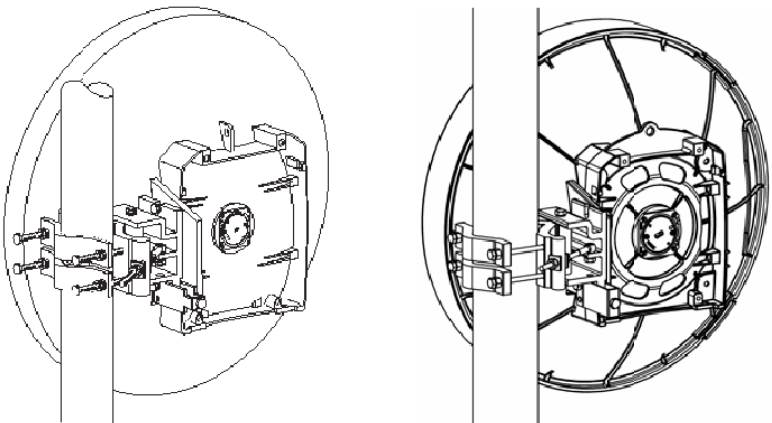
DWG INFORMATION:

DRAWN BY: MG
CHECKED BY: CZ

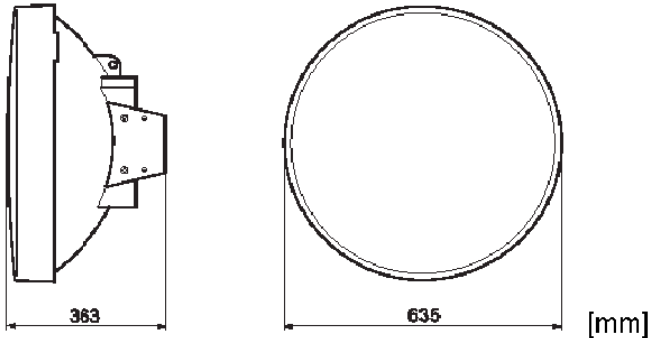
SHEET NUMBER:

A-1

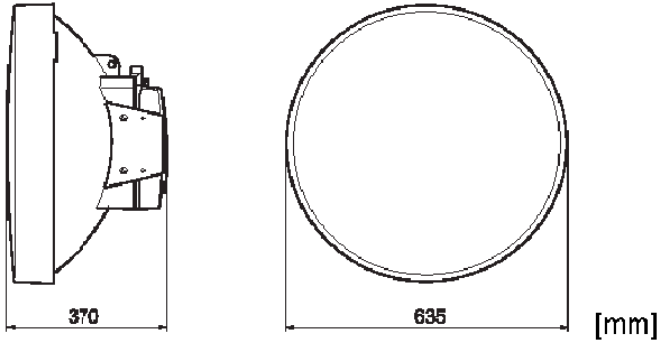
4.1.4 ANT2 0.6 * HP and ANT2 0.6 * HPX



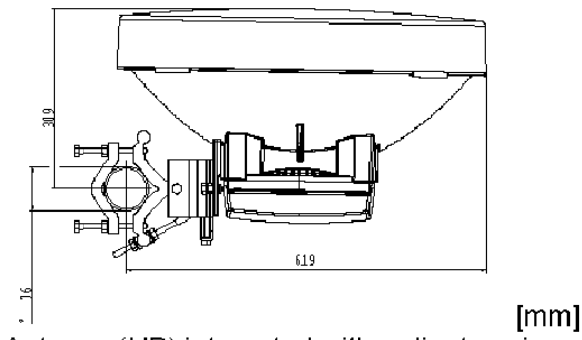
Antenna (HP).



Antenna, side and front view.



Antenna (HP) integrated with radio, side and front view.



Antenna (HP) integrated with radio, top view.

NOTE:
FOR REFERENCE ONLY

APPLICANT:



Sprint
6580 Sprint Parkway
Overland Park, Kansas 66251

PLANS PREPARED FOR:




5055 HIGHWAY N,
SUITE 200
ST. CHARLES, MO 63304
PHONE: 636-922-3400
WWW.NETWORKRE.NET

PLANS PREPARED BY:



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DA58XC800-D

SITE ADDRESS:

1013 E. BELTLINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

SHEET DESCRIPTION:

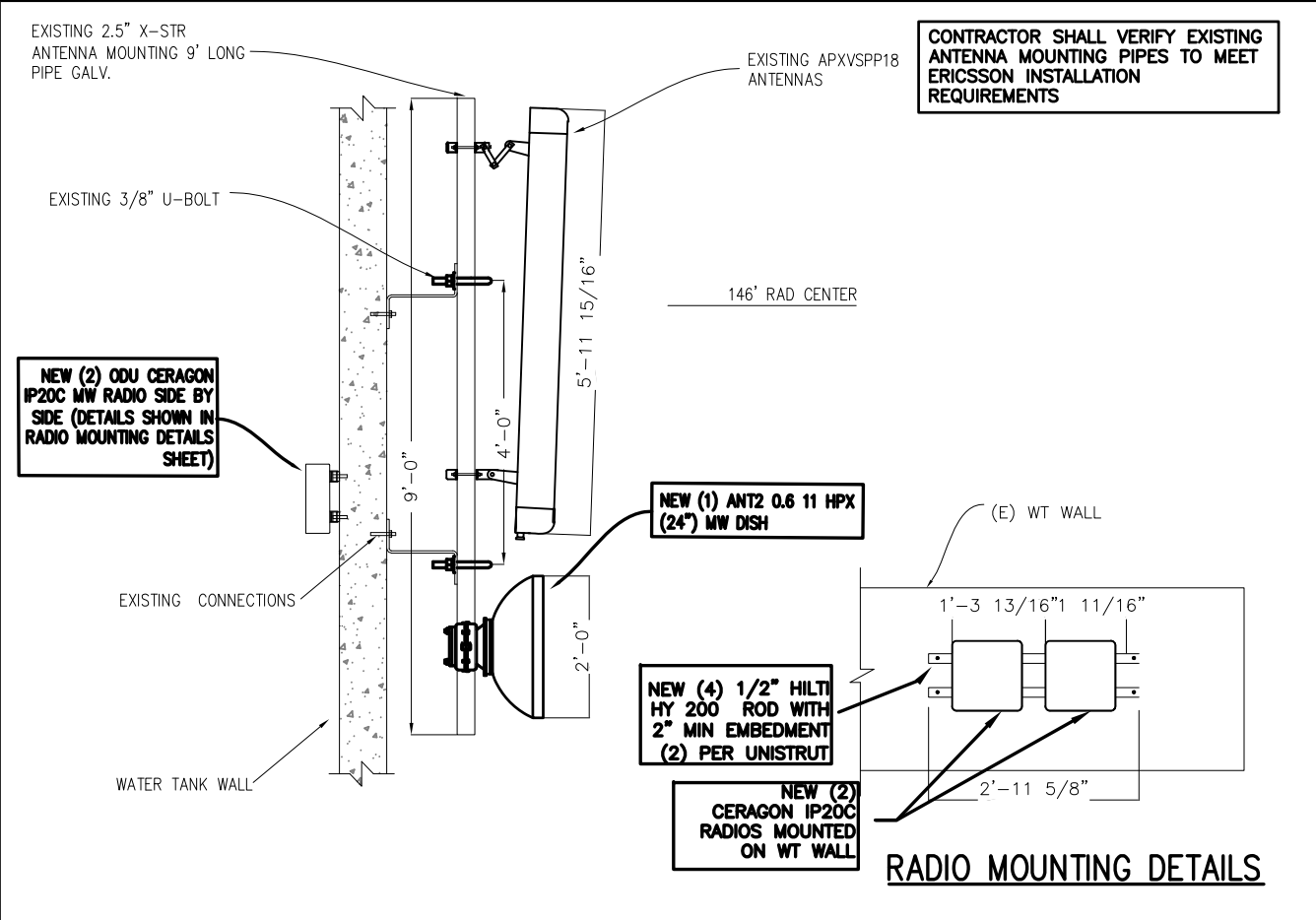
TOWER ELEVATION &
ANTENNA PLAN

DWG INFORMATION:

DRAWN BY: SA
CHECKED BY: CZ

SHEET NUMBER:

A-1A



MW DISH & MW RADIO MOUNTING DETAIL

NO SCALE

1



FibeAir IP-20C

CERAGON IP20 C ODU

NO SCALE

2

Standards Compliance

Radio Spectral Efficiency: EN 302 217-2-2

EMC: EN 301 489-1, EN 301 489-4, Class B (Europe), FCC 47 CFR, part 15, class B (US), ICES-003, Class B (Canada), TEC/EMI/TEL-001/01, Class B (India)

Surge: EN61000-4-5, Class 4 (for PWR and ETH1/PoE ports)

Safety: EN 60950-1, IEC 60950-1, UL 60950-1, CSA-C22.2 No.60950-1, EN 60950-22, UL 60950-22, CSA C22.2.60950-22

Storage: ETSI EN 300 019-1-1 Class 1.2

Transportation: ETSI EN 300 019-1-2 Class 2.

Technical Specifications

Mechanical Specifications

Dimensions – 230mm(H), 233mm(W), 98mm(D), 6.5kg

Pole Diameter Range (for Remote Mount Installation) – 8.89 cm – 11.43 cm

Environmental Specifications

-33°C to +55°C (-45°C to +60°C extended)

Power Input Specifications

Standard Input: -48 VDC

DC Input range: -40 to -60 VDC

Power Consumption Specifications

Maximum Power Consumption (Multi-Core Operation) – 6 GHz: 65W; 7-8 GHz: 75W; 11 GHz: 65W; 13-15 GHz: 55W; 18-24 GHz: 48W; 26-42 GHz: 55W

Maximum Power Consumption (1+0 Operation) –6 GHz: 40W; 7-8 GHz: 50W; 11 GHz: 53W; 13-15 GHz: 41W; 18-24 GHz: 39W; 26-42 GHz: 41W

PoE Injector Mechanical Specifications

Dimensions – 134mm(H), 190mm(W), 62mm(D), 1 kg

PoE Injector Environmental Specifications

33°C to +55°C (-45°C to +60°C extended)

PoE Injector Power Input Specifications

Standard Input: -48 or +24 VDC (Optional)

DC Input range: ±(18/40.5 to 60) VDC (+18VDC extended range is supported as part of the nominal +24VDC support)

PoE Injector Interfaces

GbE Data Port supporting 10/100/1000Base-T

Power-Over-Ethernet (PoE) Port

DC Power Port –40V to -60V (a PoE supporting two redundant DC feeds each supporting ±(18-60)V is available)

Product Images



APPLICANT:

Sprint

6580 Sprint Parkway
Overland Park, Kansas 66251

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SUITE 200
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WWW.ALLPROCGL.COM
FIRM REGISTRATION #8242
ACGI# 19-2082

ENGINEERING LICENSE:

STATE OF TEXAS

CHIYU ZHANG
128187
LICENSED PROFESSIONAL ENGINEER
05/07/19

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WATER TOWER

SPRINT SITE NUMBER:

DA58XC800-D

SITE ADDRESS:

1013 E. BELTLINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

SHEET DESCRIPTION:

EQUIPMENT
DETAILS

DWG INFORMATION:

DRAWN BY: MG
CHECKED BY: CZ

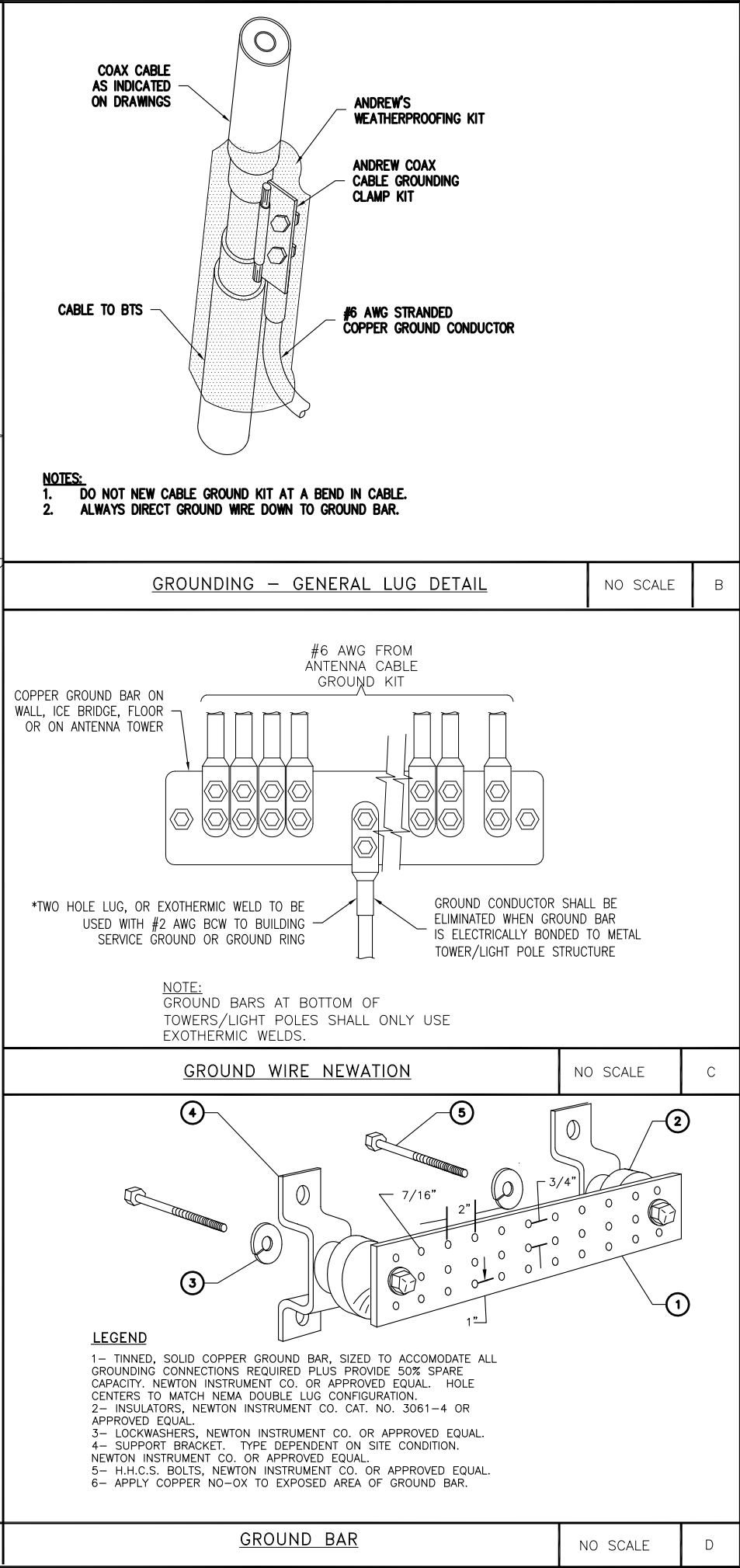
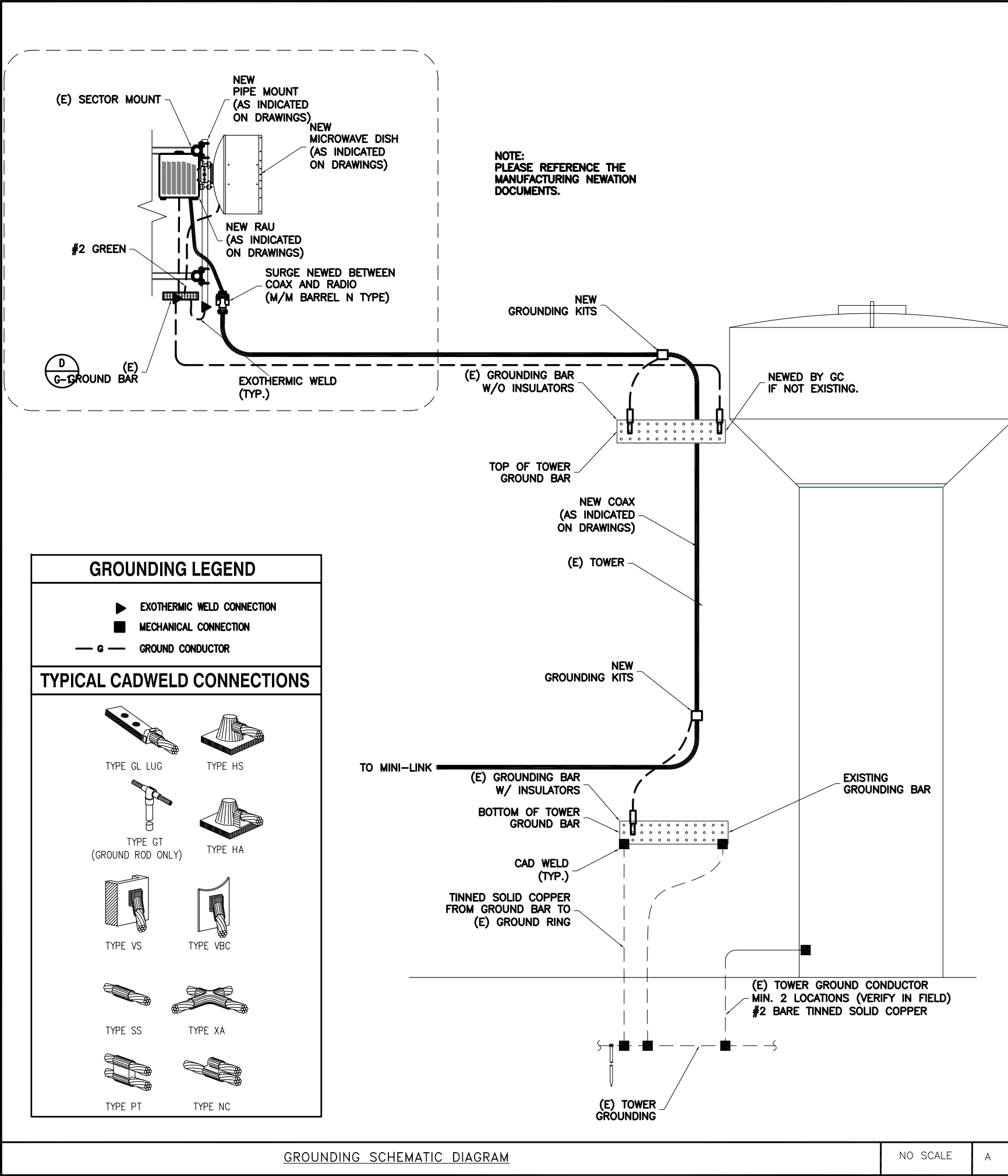
SHEET NUMBER:

A-2

CERAGON IP20 C ODU

NO SCALE

3



APPLICANT:

Sprint

6580 Sprint Parkway
Overland Park, Kansas 66251

PLANS PREPARED FOR:

Network Real Estate LLC

5055 HIGHWAY N,
SUITE. 200
ST. CHARLES, MO 63304
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SPRINT SITE NAME:

F2-LANCASTER WATER TOWER

SPRINT SITE NUMBER:

DA58XC800-D

SITE ADDRESS:

1013 E. BELTLINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

SHEET DESCRIPTION:

GROUNDING DETAILS

DWG INFORMATION:

DRAWN BY: MG
CHECKED BY: CZ

SHEET NUMBER:

E-1

DA58XC800D

RESOLUTION NO. 2003-05-32(R)

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS, APPROVING THE TERMS AND CONDITIONS LICENSE FOR COMMUNICATIONS FACILITIES BY AND BETWEEN THE CITY OF LANCASTER, TEXAS, AND SPRINT SPECTRUM, L.P; AUTHORIZING ITS EXECUTION BY THE MAYOR; REPEALING ALL RESOLUTIONS IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING AN EFFECTIVE DATE.

WHEREAS, the CITY desires to provide LICENSEE with facilities for housing and operating certain communications equipment, including the installation of antennas or antenna systems and the space required to run cable between the equipment and the antenna or antenna systems and an equipment cabinet; and

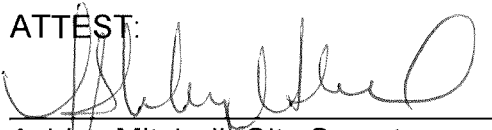
WHEREAS, the CITY owns the premises and facilities described below and desires to allow the LICENSEE to enter and utilize these facilities and premises;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS, THAT:

- Section 1. That the SPRINT SPECTRUM Site Agreement, having been reviewed by the City Council of the City of Lancaster, Texas, and found to be acceptable and in the best interest of the City and its citizens, be, and the same is hereby, in all things approved.
- Section 2. That the Mayor of the City of Lancaster, Texas, is authorized to execute the appropriate documents to implement this Agreement.
- Section 3. That any prior Resolution of the City Council in conflict with the provisions contained in this Resolution are hereby repealed and revoked.
- Section 4. That should any part of this Resolution be held to be invalid for any reason, the remainder shall not be affected thereby, and such remaining portions are hereby declared to be severable.
- Section 5. That this Resolution shall take effect immediately from and after its passage, and it is duly resolved.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 9th day of June, 2003.

ATTEST:


Ashley Mitchell, City Secretary


Joe Tillotson, Mayor

STATE OF TEXAS

§
§
§
§
§

KNOWN ALL MEN BY THESE PRESENTS:

COUNTY OF DALLAS

LICENSE FOR COMMUNICATIONS FACILITIES

This non-exclusive License for Communications Facilities ("Agreement") is made by and between the City of Lancaster (hereinafter referred to as the "CITY") and Sprint Spectrum L.P., a Delaware limited partnership (hereinafter referred to as "LICENSEE"), for the use of certain premises and/or facilities according to the following terms and conditions:

WITNESSETH:

WHEREAS, the CITY desires to provide LICENSEE with facilities for installing, removing, replacing, modifying, maintaining, housing and operating certain communications equipment, including the installation of antennas or antenna systems and the space required to run cable between the equipment and the antenna or antenna systems and equipment cabinets; and

WHEREAS, the CITY owns the premises and facilities described below and desires to allow the LICENSEE to enter and utilize these facilities and premises for the users described above;

NOW, THEREFORE, for the consideration and on the terms and conditions hereinafter set forth, the parties agree as follows:

Location

1. The premises and facilities (the "PREMISES") to be provided by the CITY are depicted on Exhibit "A," (also sometimes referred to as the "Site Plan") which is attached and incorporated herein by reference as if set forth in full, more specifically described as the "site" or the "leased premises."

Equipment

2. The CITY agrees to allow installation, removal, replacement, modification, maintenance and operation of LICENSEE'S equipment and/or improvements as described and illustrated in Exhibit "B," which is attached hereto and incorporated herein by reference as if set forth in full in accordance with the terms of this Agreement.

Term

3. This Agreement shall be for an initial term of five (5) years, commencing on the date upon which both CITY and LICENSEE have signed this Agreement "Commencement Date" and said Agreement may be terminated by LICENSEE during this initial term or additional terms upon providing LICENSOR 6 month's prior written notice of its intention. This Agreement will automatically renew for 4 additional terms of 5 years each

unless LICENSEE provides CITY with written notice of its intention not to renew at least 90 days prior to the expiration of the then current term.

4. All the terms and covenants of this Agreement apply to all extension periods, subject to Section 9, and subject to amendment by the mutual agreement of the parties, in writing and signed by both parties, as provided by this Agreement. At the expiration of all of the extension periods provided herein, unless renewed or superseded, this Agreement shall continue from month to month under the terms and conditions set forth herein, and it may be terminated by either party upon at least thirty (30) days notice to the other party

Licensee Default

5. The occurrence of any one or more of the following events shall constitute an "Event of Default" hereunder by LICENSEE:

(a) The failure by LICENSEE to make any payment of rent or any other payment required to be made by LICENSEE hereunder, as and when due, where such failure shall continue for a period of thirty (30) days after written notice thereof is received by LICENSEE from CITY. Time shall be and is of the essence with regard to LICENSEE'S obligation to timely remit all rentals required herein.

(b) The failure by LICENSEE to observe or perform any of the covenants or provisions of this Agreement to be observed or performed by LICENSEE, other than as specified in Paragraph 5(a), where such failure shall continue for a period of thirty (30) days after written notice thereof is received by LICENSEE from CITY; provided, however, that it shall not be deemed an Event of Default by LICENSEE if LICENSEE shall commence to cure such failure within said thirty (30) day period and thereafter diligently prosecute such cure to completion.

6. If there occurs an Event of Default by LICENSEE, in addition to any other remedies available to CITY at law or in equity, CITY shall have the option to terminate this Agreement and all rights of LICENSEE hereunder.

Overriding Public Need

7. In the event of an overriding public need, as determined by the CITY in its sole discretion, then the CITY may terminate this Agreement upon written notice, delivered not less than one year prior to termination, and only after the CITY has used its best efforts to relocate LICENSEE's antennas and equipment on other structures or property owned by the CITY and which are suitable (in the sole discretion of LICENSEE) for LICENSEE's use and the CITY has exhausted all such possible places for relocation. In the event of relocation of LICENSEE's antennas and equipment, all costs associated with the relocation shall be borne by CITY.

Title and Quiet Possession

8. CITY represents and agrees (a) that it is the owner of the PREMISES; (b) that it has the right to enter into this Agreement; (c) that the person signing this Agreement has the authority to sign; and

(d) that CITY shall not have unsupervised access to the PREMISES or to the LICENSEE'S equipment, subject to CITY'S right of eminent domain.

Use and Sublet of Premises

9. The use of the provided PREMISES by the LICENSEE in conjunction with the terms of this Agreement, is for the sole purpose of installation, operation, maintenance, removal, replacing and modifying of communications equipment, being a personal communication service system facility, in strict compliance with this Agreement and the attached Exhibits "A" through "D". The LICENSEE may not sublet to or license others to use the PREMISES without the prior written consent of the CITY, which consent may not be unreasonably withheld. However, LICENSEE will have the right, without notice to or consent of CITY, to sublease the PREMISES or assign its rights under this Agreement in whole or in part to: (a) any entity controlling, controlled by or under common control with LICENSEE; (b) any entity acquiring substantially all of the assets of LICENSEE; or (c) any entity that is authorized by LICENSEE to sell telecommunications products or services under the "Sprint PCS" brand name or any successor brand name(s).

Consideration

10. In consideration for providing the PREMISES for use by the LICENSEE, the LICENSEE shall pay to the CITY a license fee ("License Fee") of \$1,500.00 per month, partial months to be prorated which shall be due upon the earlier to occur of a) 60 days after the issuance of a building permit, or if no building permit is required, b) the date upon which Sprint PCS commences installation of the Facilities at the Premises ("License Fee Commencement Date"). Said License Fee shall be payable on the first day of each month thereafter throughout the term of this Agreement. Upon renewal for subsequent terms, rent shall be increased at the rate of 15% per renewal term.

Access

11. The LICENSEE shall have the non-exclusive right to access the aforementioned PREMISES at any time, by contacting the City Manager and by means of the access easement depicted in Exhibit "A_". If the CITY is contacted by LICENSEE after the normal business hours of the CITY, for the purpose of accessing the aforementioned location, the LICENSEE agrees to reimburse the CITY for the reasonable actual cost of any city staff involvement as may be necessary for this access.

Interference

12(A). LICENSEE shall not cause technical interference to the CITY or to any other licensee who is using the PREMISES at the time of LICENSEE'S installation or operation of its equipment. Should such interference occur, LICENSEE will take all steps necessary to correct such interference and, if such interference cannot be corrected, LICENSEE will cease its operations from the site, and this Agreement shall be terminated. The CITY will not grant a license to any other party for the use of the CITY'S property if that party's use will adversely affect or interfere with the LICENSEE'S signal operation of its communication system, or otherwise encroach upon the leased premises.

(B) LICENSEE, during the term of this Agreement, shall not interfere with the uses and operation of the water storage facility (water tower).

Utility Easements and Utility Cost

13. The LICENSEE will be responsible for any and all costs associated with electrical hookup, maintenance and service, which is due to the LICENSEE'S operations at the PREMISES. The CITY shall provide and grant to LICENSEE any easements necessary for the provision of electric and telephone hookup and service to this PREMISES and LICENSEE'S equipment. The initial easement(s) provided for these purposes are described in Exhibit "A."

Taxes

14. LICENSEE, upon receiving proper documentation from CITY, agrees to reimburse the CITY for all such taxes which are assessed against the CITY due to the personal property improvements constructed or maintained by LICENSEE on or about the PREMISES; provided however, the CITY shall use its best efforts to provide prior notification of any taxes for which LICENSEE is to be charged, so that LICENSEE will have the opportunity to appear before the taxing authority and contest any assessment.

Indemnification

15. Subject to the insurance requirements herein, the CITY and LICENSEE each indemnifies and agrees to defend the other against and holds the other harmless from any and all costs (including reasonable attorney's fees) and claims of liability or loss which arise out of the ownership, use and occupancy of the PREMISES by the indemnifying party. This indemnity does not apply to any claims arising from the negligence or intentional misconduct of the indemnified party. The indemnity obligations under this paragraph will survive termination of this Agreement. LICENSEE will substantially comply with all applicable laws relating to its possession and use of the PREMISES.

Insurance

16. LICENSEE shall obtain and maintain in full force and effect for the duration of this Agreement, and any extension or renewal thereof, at LICENSEE'S sole expense, liability insurance and workmen's compensation insurance, and a certificate of insurance with the coverages stipulated in this section, shall be submitted to CITY prior to the commencement of any performance under this Agreement. The required insurance must provide a minimum of \$1,000,000 single occurrence coverage for bodily injury (including death), and a minimum of \$1,000,000 single occurrence coverage for property damage. The CITY shall be named as an additional insured under said policy of insurance.

Condition of PREMISES

17(A). LICENSEE accepts the PREMISES as is, in its current condition, and the CITY makes no representations or warranties, and hereby disclaims any and all such representations or warranties, express or implied, of any kind or nature, with regard to the facilities and the PREMISES. The CITY shall maintain the PREMISES and its surrounding property in compliance with all applicable statutes, regulations and rules, and in a

manner which will not interfere with LICENSEE'S reasonable use of the site. Upon expiration, cancellation, or termination of this Agreement, the LICENSEE shall remove its equipment, antenna systems and structures from the PREMISES at LICENSEE'S sole cost and expense. However, upon vacation of this site, LICENSEE shall surrender the PREMISES in substantially the same condition as received, except for ordinary wear and tear, as determined by the CITY. If, as determined by the CITY, the PREMISES are not surrendered in satisfactory condition, the LICENSEE shall be liable to the CITY for an amount representing the actual cost to restore the PREMISES to substantially the same condition as received, ordinary wear and tear excepted. In the event of LICENSEE'S timely failure to remove its equipment, antenna systems, and structures, the CITY may remove and store at LICENSEE'S sole expense any such equipment, antenna systems, and structures..

B. In addition to the conditions of the PREMISES, LICENSEE shall:

1. Locate, at its sole expense, its antennas on the existing water tower subject to the conditions herein and subject to prior approval by the City Manager or his designee;
2. Cause its equipment cabinets to be secured by an appropriate gate, lock, and/or appropriate security device(s);
3. All initial construction, installation and location or relocation of any structure, cabinet, antenna or equipment shall be completed within 60 days of initial start of construction by LICENSEE except upon express written consent of the City Manager or his designee which consent shall not be unreasonably withheld, conditioned or delayed.
4. Have the right, subject to Paragraph 11, to repair, replace, remove, modify and maintain its equipment.

Tower Maintenance

18. It is understood that periodic maintenance and repair of the CITY'S facilities on the PREMISES is necessary. The LICENSEE agrees that its rights under this Agreement are in concert with the CITY'S rights to conduct and perform such maintenance and repairs. For such purposes, the CITY may, if public emergency requires, and upon exhausting LICENSOR'S best efforts to provide LICENSEE with adequate prior notice to provide LICENSEE with the opportunity either to adjust or relocate its equipment onto another portion of LICENSOR'S property or to otherwise supervise LICENSOR'S access to the PREMISES, reasonably and temporarily interfere with LICENSEES use of the facilities and PREMISES.

Notice

19. All notices to the parties shall be in writing and shall be sent by certified or registered mail, or hand delivered, to the address of the party as follows. Notices to LICENSEE are to be sent to: Sprint Spectrum L.P., National Lease Management 15500 West 113th Street, Lenexa, Kansas 66219 Mailstop:KSLNXC0201__, with a copy to Sprint Law Department, 6391 Sprint Parkway, Mailstop KSOPHT0101-Z2020, Overland Park, Kansas 66251-2020, Attn.: Sprint PCS Real Estate Attorney. Notices to CITY must be sent to the address shown underneath CITY'S signature.

Marking, Lighting and Radio Frequency Requirements

20. The LICENSEE acknowledges that it shall be responsible for compliance with all tower or building marker and lighting requirements which may be required by the Federal Aviation Administration or the Federal Communication Commission in conjunction with LICENSEE'S installation of improvements under this Agreement, as well any expenses, fees or fines associated with compliance or non-compliance. Should the CITY be cited by either the FCC or FAA because the location is not in compliance, due to LICENSEE'S installation of improvements under this Agreement, and if the LICENSEE does not cure the conditions of non-compliance within the time frame allowed by the citing agency, the CITY may terminate this Agreement.

21. LICENSEE agrees to comply with the Federal Communications Commission ("FCC") radio frequency ("RF") exposure rules and requirements for RF exposure to humans. LICENSEE will not cause radio frequency and/or electrical interference to the existing equipment of CITY or to any other tenant who is using adjacent property of CITY upon the earlier of the Commencement Date or at the time LICENSEE installs its communications equipment, provided that the equipment used by CITY or other licensee is operating within the technical parameters specified by its manufacturer and/or as defined by the FCC (see Exhibit C attached hereto for a list of existing and/or known users on adjacent property of CITY). Upon written notice from CITY to LICENSEE of such interference, LICENSEE will take all reasonable steps to correct such interference in a timely manner. If such interference cannot be reasonably corrected within five (5) business days from receipt of CITY's notice, LICENSEE will cease using its Communication Equipment, except for testing, until such time as LICENSEE corrects the interference.

22. CITY represents that it has no knowledge of any substance, chemical or waste (collectively, "substance") on the Site that is identified as hazardous, toxic or dangerous in any applicable federal, state or local law or regulation. LICENSEE will not introduce or use any such substance on the Site in violation of any applicable law.

Site Plan

23. The Site Plan has been approved by the CITY prior to the execution of this Agreement. The Site Plan describes and illustrates the location of the equipment, fixtures, antennas, cables, wiring and other structures to be installed, maintained and operated under this Agreement, as well as access, utility and other easements provided for by this Agreement. The Site Plan includes a scale drawing and inventory of the proposed equipment, as well as an elevation of the PREMISES with the proposed installations.

PERFORMANCE UNDER THIS AGREEMENT SHALL BE IN STRICT COMPLIANCE WITH THE APPROVED SITE PLAN. IF THE LICENSEE'S INSTALLATION, MAINTENANCE, OR OPERATION OF EQUIPMENT, FIXTURES, ANTENNAS, CABLES, WIRING AND OTHER STRUCTURES FAILS TO COMPLY WITH THE APPROVED SITE PLAN AND BUILDING PERMIT, AT ANY TIME, AS REASONABLY DETERMINED BY THE CITY, THEN THE CITY SHALL PROVIDE LICENSEE WRITTEN NOTICE OF THE NON-COMPLIANCE OR ALLEGED NON-COMPLIANCE, FOLLOWING WHICH NOTICE LICENSEE SHALL CORRECT THE NON-COMPLIANCE IN A TIMELY MANNER OR PROMPTLY REPRESENT IN WRITING TO CITY THE BASIS FOR LICENSEE'S DETERMINATION THAT LICENSEE IS IN COMPLIANCE WITH THIS AGREEMENT.

Miscellaneous

24. The CITY agrees to promptly execute and deliver to LICENSEE a recordable memorandum of this Agreement in the form attached as Exhibit "D."

Entire Agreement

25. This Agreement, together with Exhibits "A", "B", "C", "D" and the Memorandum of Agreement attached, is the entire agreement between the parties with respect to the subject matter covered in this Agreement. There is no other collateral oral or written agreement between the parties that in any matter relates to the subject matter of this Agreement.

Representation

26. Both the LICENSEE and the CITY represent that they have full capacity and authority to grant all rights and assume all obligations they have granted and assumed under this Agreement.

Governing Law

27. The validity of this Agreement and any of its terms or provisions, as well as the rights and duties of the parties, shall be governed by the laws of the State of Texas, and any venue for any action concerning this Agreement shall be in Dallas County, Texas.

Amendment

28. This Agreement may be amended only by the written mutual agreement of the parties hereto.

Legal Construction

29. In the event that any one or more of the provisions contained in this Agreement shall for any reason be held to be invalid, illegal or unenforceable in any respect, such invalidity, illegality or unenforceability shall not affect the other provisions, and this Agreement shall be construed as if such invalid, illegal, or unenforceable provision had never been contained in it.

EXECUTED in multiple originals on the 9th day of June, 2003 in Dallas County, Texas.

LICENSEE:
SPRINT SPECTRUM, L.P.,
a Delaware limited partnership

By: 

Name: Jim Meyers
Its Area Vice President, Site Development
Sprint PCS
1341 W. Mockingbird Lane, Suite 1200E
Dallas, TX 75247

CITY:
CITY OF LANCASTER, TEXAS

By: 

Name: Joe Tillotson
Its: Mayor
211 N. Henry
P.O. Box 940
Lancaster, Texas 75146-0946

ATTEST:

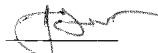

City Secretary

Exhibit "A"

SITE PLAN

See attached Site Plan pages

LICENSOR Initials: _____

LICENSEE Initials:  _____

Initial all attached pages

Note: LICENSOR and LICENSEE may, at LICENSEE'S option, replace this Exhibit with an exhibit setting forth the legal description of the property on which the PREMISES are located and/or an as-built drawing depicting the PREMISES.

**[Use this Exhibit A for License for Communications Facilities and Memorandum of Agreement*

EXHIBIT C

List of Existing/Known Users on Adjacent City Property

None applicable

LICENSOR Initials: _____

LICENSEE Initials: _____

Initial all pages



EXHIBIT D
Memorandum of Agreement

This Memorandum of Agreement ("Memorandum") dated June 9, 2003, evidences that a lease was made and entered into by a written License for Communications Facilities Agreement (the "Agreement") dated June 9, 2003, between City of Lancaster ("LICENSOR") and Sprint Spectrum L.P., a Delaware limited partnership ("LICENSEE").

The Agreement provides in part that Owner leases to Sprint PCS certain real property owned by Owner and located at 1011 E. Bell City of Lancaster, County of Dallas State of Texas, together with non-exclusive easements for reasonable access thereto, for placement of an underground grounding system, and for access to the appropriate source of electric and telephone facilities (the "PREMISES"). The PREMISES is further described in Exhibit A attached hereto. The term of the Agreement is 5 years commencing on June 9, 2003, which term is subject to 4 additional 5-year extensions that may be exercised by LICENSEE.

The parties have executed this Memorandum as of the day and year first above written.

LICENSOR:

City of Lancaster

By: DO NOT EXECUTE FOR EXHIBIT
PURPOSES ONLY

Name: Joe Tillman

Title: Mayor

Address: 211 N. Henry

P. O. Box 940

Lancaster, Texas 75146-

0946

Attest:

[Signature]
City Secretary

Attach Exhibit A

LICENSOR Initials: _____

LICENSEE:

Sprint Spectrum L.P., a Delaware limited partnership

By: DO NOT EXECUTE FOR EXHIBIT
PURPOSES ONLY

Name: Jim Meyers

Title: Area Vice President, Site Development

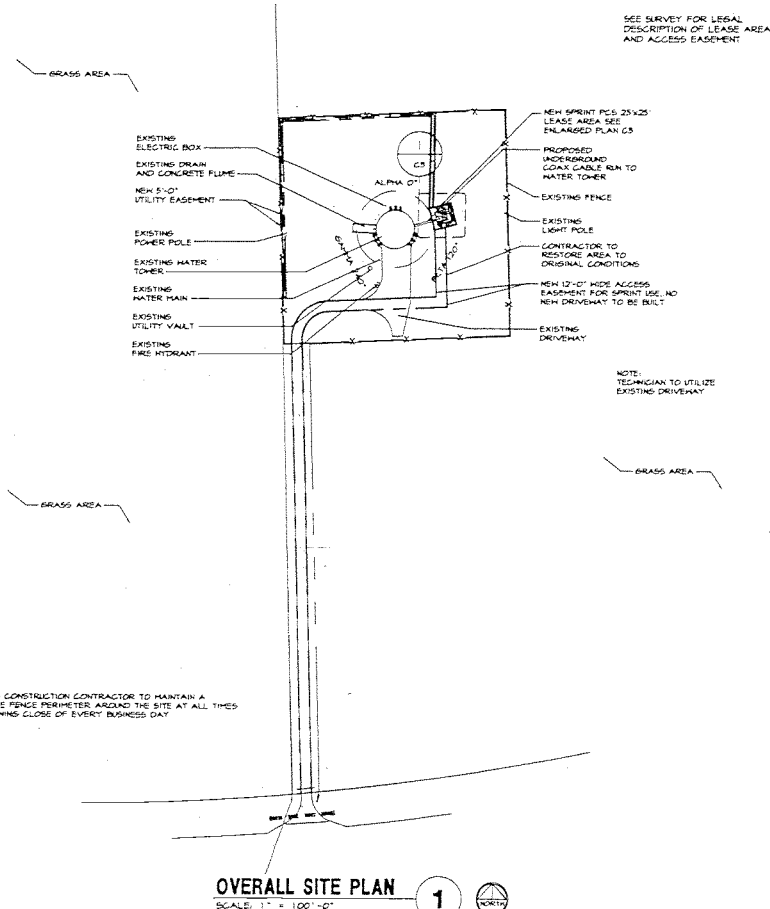
Address: _____

[Signature]

GENERAL NOTES:

1. CONTRACTOR SHALL COMPLY WITH ALL BUILDING CODES OF THE AUTHORITIES HAVING JURISDICTION.
2. NOTIFY THE SITE OWNER AND SITE MANAGER OF THE CONSTRUCTION START WELL IN ADVANCE OF THE CONSTRUCTION START DATE.
3. COORDINATE THE CONSTRUCTION STAGING AREA WITH THE SITE OWNER AND SITE MANAGER, WELL IN ADVANCE OF THE CONSTRUCTION START DATE.
4. PROTECT THE EXISTING FACILITIES AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION OPERATIONS.
5. THE CONTRACT LIMITS ARE AS NOTED ON THE DRAWINGS. CONFINED OPERATION TO AREAS WITHIN THE LIMITS INDICATED.
6. PROVIDE FOR COMPLETE TELEPHONE AND ELECTRICAL SERVICE AS INDICATED ON THE DRAWINGS. COORDINATE WITH SITE OWNER AND AUTHORITIES HAVING JURISDICTION.
7. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND COORDINATE THE INSTALLATION OF NEW UTILITIES.
8. CONTRACTOR IS TO FIELD VERIFY ALL EXISTING CONDITIONS AND PLAN DIMENSIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS.
9. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
10. THE EQUIPMENT LOCATIONS SHOWN SHALL NOT BE VARIED WITHOUT THE REVIEW AND APPROVAL OF THE ENGINEER.
11. EQUIPMENT PLATFORM AND ANTENNAS ARE DESIGNED TO MEET LOCAL BUILDING CODES, AND ANTI-VIBRATION-222-E STRUCTURAL STANDARDS FOR STEEL ANTENNA SUPPORTING STRUCTURES. THE DESIGN WIND SPEED IS 10 MPH AND 127' ICE.
12. CONTRACT COMPANIES AND THEIR EMPLOYEES SHALL OBSERVE AND PRACTICE ALL OSHA SAFETY GUIDELINES WHILE PERFORMING SERVICES.
13. CONTRACTOR SHALL PERFORM A SAFETY INSPECTION PRIOR TO COMMENCING ALL WORK ACTIVITIES AT A LEASED OR OWNED SITE. OWNER SHOULD BE IMMEDIATELY NOTIFIED OF SAFETY HAZARDS FOUND DURING THE INSPECTION THAT COULD CAUSE NOTIFIED OF SAFETY HAZARDS FOUND DURING THE INSPECTION THAT COULD CAUSE PROPERTY, ALL WORK SHALL BE HALTED UNTIL SUCH TIME THE POSSIBLE SHOULD REPORTED SAFETY HAZARD CORRECTED. THE SAFETY HAZARD, IF BE CORRECTED BY THE CONTRACTOR, SHALL ON SITE, AFTER THE CONTRACTOR HAS NOTIFIED OWNER OF THE HAZARD AND HAS RECEIVED APPROVAL FROM OWNER TO PERFORM THE CORRECTION.
14. WATER TOWER SCREEN WALL DESIGN AND STRUCTURAL ANALYSIS ARE UNDER SEPARATE CONTRACT BY OTHERS AND ARE EXCLUDED FROM THESE DESIGN DRAWINGS. REFER TO STRUCTURAL DRAWINGS FOR SPECIFIC DETAILS.
15. VERIFY WITH SPRINT PCS ENGINEER THE AZIMUTH AND ORIENTATION OF ANTENNA PRIOR TO INSTALLATION.
16. CONTRACTOR TO VERIFY ALL MOUNTING HEIGHTS AND AZIMUTHS OF ANTENNAS PRIOR TO INSTALLATION.
17. CONTRACTOR TO RESTORE ALL DAMAGED AREAS CAUSED BY CONSTRUCTION TO ORIGINAL CONDITION UPON COMPLETION OF CONSTRUCTION.
18. CONTRACTOR SHALL OBSERVE AND OBEY ALL WARNING SIGNS POSTED AT THIS SITE.

NOTE:
DURING CONSTRUCTION CONTRACTOR TO MAINTAIN A
ORANGE FENCE PERIMETER AROUND THE SITE AT ALL TIMES
FOLLOWING CLOSE OF EVERY BUSINESS DAY.



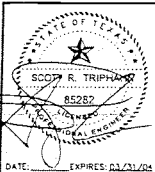
Sprint PCS

1341 W. MOCKINGBIRD LANE
SUITE 1200E
DALLAS, TEXAS 75247
PHONE: (214) 825-4000

2	8/1/02	CITY COMMENT
1	1/21/02	FOR CONSTRUCTION
4	1/26/02	PERMITS

W-T

W-T COMMUNICATION
DESIGN GROUP, LLC
3001 AM. FREETWAY, SUITE 139
DALLAS, TEXAS 75234
PH: (972) 738-0796
FA: (972) 738-0792



PROJECT NO: T02494

DRAWN BY: JLM

CHECKED BY: KWM

CASCADE # DA58XC800-D
LANCASTER
WATER TOWER

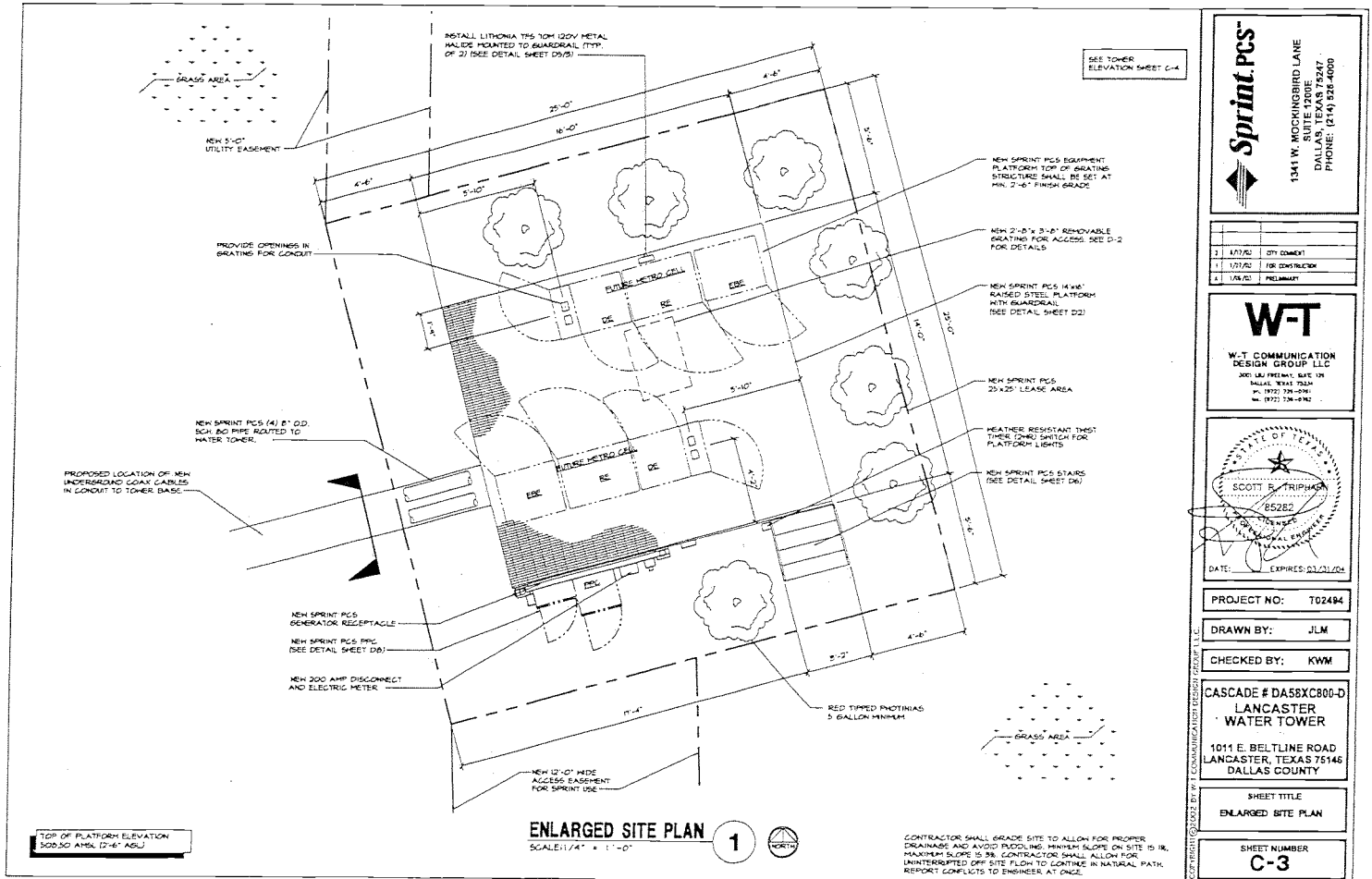
1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

SHEET TITLE

SITE PLAN

SHEET NUMBER

C-2



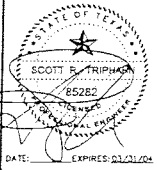
Sprint PCS

1341 W. ROCKINGBIRD LANE
DALLAS, TEXAS 75247
PHONE: (214) 526-4000

2	1/17/02	CITY COMMENT
1	1/17/02	FOR CONSTRUCTION
4	1/16/02	PRELIMINARY

W-T

W-T COMMUNICATION
DESIGN GROUP LLC
300 LA PRESENT, SUITE 100
DALLAS, TEXAS 75201
PH. (972) 738-0796
FAX. (972) 738-0792



PROJECT NO: T02494

DRAWN BY: JLM

CHECKED BY: KWM

CASCADE # DA58XC800-D
LANCASTER
WATER TOWER

1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
C-3

EXHIBIT B

Licensee's Equipment as described or illustrated

See attached.

LICENSOR Initials: _____

LICENSEE Initials: _____

Initial all attached pages



ABBREVIATIONS WHERE APPLICABLE

ADJ	ADJUSTABLE	MIN	MINIMUM
APPROX	APPROXIMATE	MTL	METAL
CAB	CABINET	NIC	NOT IN CONTRACT
CLP	CEILING	NTS	NOT TO SCALE
CONC	CONCRETE	OC	ON CENTER
CONT	CONTINUOUS	OPP	OPPOSITE
CU	CONSTRUCTION JOINT	SP	SQUARE FOOT
DIA	DIAMETER	SHT	SHEET
DWG	DRAWING	SIM	SIMILAR
EAB	EQUIPMENT GROUND BAR	SS	STAINLESS STEEL
EA	EACH	STL	STEEL
ELEC	ELECTRICAL	TCC	TOP OF CONCRETE
EL	ELEVATION	TOP	TOP OF MASONRY
EQ	EQUAL	TYP	TYPICAL
EQUIP	EQUIPMENT	VIF	VERIFY IN FIELD
EXT	EXTENSION	WOK	UNLESS OTHERWISE NOTED
FIN	FINISHED FLOOR	WPL	WELDED WIRE FABRIC
GA	GAUGE	E	CENTERLINE
GALV	GALVANIZED	E	PLATE
GEN	GENERAL CONTRACTOR	ASL	ABOVE GRADE LEVEL
GRD	GROUND	MSL	ABOVE MEAN SEA LEVEL
LD	LONG		
MAX	MAXIMUM		
MECH	MECHANICAL		
MFG	MANUFACTURER		
MIB	MASTER ISOLATED GROUND BAR		

SYMBOLS AND MATERIALS WHERE APPLICABLE

	NEW ANTENNA		BRICK
	EXISTING ANTENNA		MASONRY
	ASPHALT		CONCRETE
	ELECTRIC BOX		EARTH
	LIGHT POLE		GRAVEL
	FWD. MOMENT		PLASTIC
	SPOT ELEVATION		SAND
	SET ELEVATION		WOOD CONT.
	REVISION		WOOD BLOCKING
	GRID REFERENCE		STEEL
	DETAIL REFERENCE		CENTER LINE
	ELEVATION		PROPERTY LINE
	SECTIONS AND DETAILS		STEPPED FOOTING
			HATCH LINE
			WORK POINT
			COAXIAL CABLE
			GROUND WIRE # 2 AWG

CONTRACTOR SHALL REFER TO SPRINT PCS DETAILED SPECIFICATIONS FOR CELL SITES FOR ANY ITEMS OR WORK NOT LISTED OR DETAILED HEREIN. STANDARD SPECIFICATIONS SHALL SUPERSEDE WHERE CONFLICTS OCCUR.

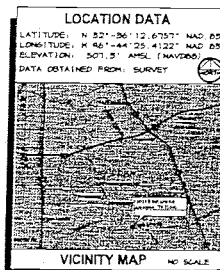
CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



Sprint PCSSM - DALLAS

CASCADE # DA58XC800-D
LANCASTER WATER TOWER

1011 E. BELTLINE ROAD
CITY OF LANCASTER, TEXAS 75146
COUNTY OF DALLAS, TEXAS
PROPOSED EXISTING WATER TOWER COMMUNICATION SITE



FROM SPRINT'S OFFICE AT MOCKINGBIRD LANE AND I-35E, TRAVEL I-35 SOUTH TO 20 EAST, DRIVE EAST TO LANCASTER ROAD, (FRT M2) EXIT AND MAKE RIGHT, CONTINUE SOUTH TO BELTLINE ROAD AND MAKE A LEFT, LANCASTER WATER TOWER IS SITTING TO THE LEFT OF BELTLINE.

DRIVING DIRECTIONS

SITE NUMBER: DAS58XC800-D
SITE NAME: LANCASTER WATER TOWER
SITE ADDRESS: 1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
PROPERTY OWNER: CITY OF LANCASTER
246 E. FIRST ST.
LANCASTER, TEXAS 75146
ZONING: JURISDICTION: CITY OF LANCASTER
ZONING CLASSIFICATION: N/A
APPLICANT: SPRINT PCS
1341 W. MOCKINGBIRD LANE
SUITE 1200
DALLAS, TEXAS 75247
CONTACT PERSON:
CONTACT NO. 1:
PROJECT SUMMARY

CONTRACTOR TO UTILIZE INDEPENDENT UNDERGROUND UTILITY LOCATOR ON ALL SITES 48 HRS PRIOR TO DIGGING. TEXAS ONE CALL NUMBER IS (800) 245-4545

TEXAS ONE CALL

POWER:
T&U:
CONTACT PERSON: GEORGE MELNICEZ
CONTACT NUMBER: (472) 772-4158
TELEPHONE:
N/A
CONTACT PERSON:
CONTACT NUMBER:

UTILITIES

PAGE	DESCRIPTION
T1	TITLE SHEET
SW-1	LAND SURVEY (REF. ONLY)
C2	OVERALL SITE PLAN
C3	ENLARGED SITE PLAN
C4	WATER TOWER ELEVATIONS
C5	CONSTRUCTION DETAILS
C6	CONSTRUCTION DETAILS
C7	CONSTRUCTION DETAILS
C8	GENERAL NOTES & DETAILS
E1	ELECTRICAL SITE PLAN
E2	ELECTRIC/TELECOM RISER AND DETAILS
E3	ELECTRIC AND TELECOM CABINETS
B1	GROUNDING DETAIL
B2	GROUNDING RISER DIAGRAM
B3	SITE GROUNDING DETAILS
D1	COAX CABLE GROUNDING DETAILS
D2	PLATFORM LAYOUT
D3	PLATFORM PLAN
D4	PLATFORM SECTIONS
D5	PLATFORM DETAILS
D6	UTILITY FRAME DETAIL
D7	LADDER AND STAIR RAGA
D8	SCISSOR LAYOUT
D9	UTILITY RAGE
S1	STRUCTURAL DETAIL (REF. ONLY)

SHEET INDEX

LANDLORD	
SPRINT HQR.	
SPRINT ENG.	
SPRINT R.F.	
ZONING	
CONSTRUCTION	
NETWORK	
PROPERTY	

APPROVALS

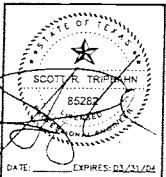


1341 W. MOCKINGBIRD LANE
SUITE 1200
DALLAS, TEXAS 75247
PHONE: (214) 525-4000

1	1/1/02	BY: CONDOT
2	1/27/02	FOR CONSTRUCTION
3	1/28/02	RELIANT

W-T

W.T. COMMUNICATION
DESIGN GROUP, LLC
2000 LBJ FRENCH BLVD. 100
DALLAS, TEXAS 75247
PH: (472) 772-4158
FAX: (472) 772-4162



DATE: EXPIRES: 03/31/04

PROJECT NO: T02494

DRAWN BY: JLM

CHECKED BY: KWM

CASCADE # DAS58XC800-D
LANCASTER
WATER TOWER
1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

ABBREVIATIONS WHERE APPLICABLE

ADJ.	ADJUSTABLE	MIN	MINIMUM
APPROX.	APPROXIMATE	MTL	METAL
CAB	CABINET	NIC	NOT IN CONTRACT
CLD	CELLING	NIS	NOT TO SCALE
CONC.	CONCRETE	OC	ON CENTER
CONT.	CONTINUOUS	OPP	OPPOSITE
CONJ.	CONSTRUCTION JOINT	SP	SQUARE FOOT
DIA	DIAMETER	SHT	SHEET
DWB	DRAINAGE	SH	SHILLAS
ESB	EQUIPMENT	SS	STAINLESS STEEL
EA	EACH	STL	STEEL
ELEC	ELECTRICAL	TOT	TOP OF CONCRETE
EL	ELEVATION	TOP	TOP OF MASONRY
EQ	EQUAL	TYP	TYPICAL
EQUIP	EQUIPMENT	VIF	VERIFY IN FIELD
EXT	EXTERIOR	UN	UNLESS OTHERWISE NOTED
FF	FINISHED FLOOR	WPE	WELDED WIRE FABRIC
GA	GALV.	E	CENTERLINE
GC	GENERAL CONTRACTOR	PL	PLATE
GRND	GROUND	ASL	ABOVE GRADE LEVEL
LB	LONG	AMS	ABOVE MEAN SEA LEVEL
MAX	MAXIMUM		
MCH	MECHANICAL		
MFR	MANUFACTURER		
MIS	MASTER ISOLATED GROUND BAR		

SYMBOLS AND MATERIALS WHERE APPLICABLE

NEW ANTENNA	EXISTING ANTENNA	ASPHALT	ELECTRIC BOX	LIGHT POLE	FIN. MONUMENT	SPOT ELEVATION	SET ELEVATION	REVISION	GRID REFERENCE	DETAIL REFERENCE	ELEVATION	SECTIONS AND DETAILS
GROUT OR PLASTER	BRICK	MASONRY	CONCRETE	EARTH	GRAVEL	PLYWOOD	SAND	WOOD CONT.	WOOD BLOCKING	STEEL	CENTER LINE	PROPERTY LINE
											5' STEPPED FOOTING	MATCH LINE
											WORK POINT	CONVEX CABLE
											GROUND WIRE # 2 AND	

CONTRACTOR SHALL REFER TO SPRINT PCS DETAILED SPECIFICATIONS FOR CELL SITES FOR ANY ITEMS OR WORK NOT LISTED OR DETAILED HEREON. STANDARD SPECIFICATIONS SHALL SUPERSEDE WHERE CONFLICTS OCCUR.

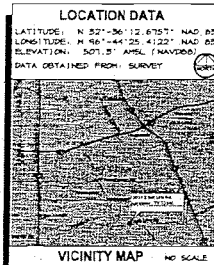
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Sprint PCSSM - DALLAS

CASCADE # DA58XC800-D
LANCASTER WATER TOWER

1011 E. BELTLINE ROAD
CITY OF LANCASTER, TEXAS 75146
COUNTY OF DALLAS, TEXAS
PROPOSED EXISTING WATER TOWER COMMUNICATION SITE



FROM SPRINT'S OFFICE AT MOCKINGBIRD LANE AND I-35E, TRAVEL I-35 SOUTH TO 25 EAST. DRIVE EAST TO LANCASTER ROAD. (Hwy 842) EXIT AND MAKE RIGHT. CONTINUE SOUTH TO BELTLINE ROAD AND MAKE A LEFT. LANCASTER WATER TOWER IS SITTING TO THE LEFT OF BELTLINE.

DRIVING DIRECTIONS

SITE NUMBER: DASA800-D
SITE NAME: LANCASTER WATER TOWER
SITE ADDRESS: 1011 E. BELTLINE ROAD, LANCASTER, TEXAS 75146
PROPERTY OWNER: CITY OF LANCASTER, 240 E. FIRST ST., LANCASTER, TEXAS 75146
ZONING: JURISDICTION: CITY OF LANCASTER
ZONING CLASSIFICATION: N/A
APPLICANT: SPRINT PCS, 1341 W. MOCKINGBIRD LANE, SUITE 1200, DALLAS, TEXAS 75247
CONTACT PERSON:
CONTACT NO.:

PROJECT SUMMARY

CONTRACTOR TO UTILIZE INDEPENDENT UNDERGROUND UTILITY LOCATOR ON ALL SITES 48 HRS PRIOR TO DIGGING. TEXAS ONE CALL NUMBER IS (800) 245-4543

TEXAS ONE CALL

POWER: T&U
CONTACT PERSON: GEORGE MELNDEZ
CONTACT NUMBER: (472) 772-4154
TELEPHONE: N/A
CONTACT PERSON:
CONTACT NUMBER:

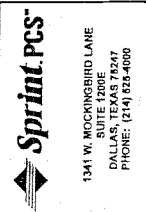
UTILITIES

PAGE	DESCRIPTION
T1	TITLE SHEET
SW-1	LAND SURVEY (REF. ONLY)
C2	OVERALL SITE PLAN
C3	ENLARGED SITE PLAN
C4	WATER TOWER ELEVATIONS
C5	CONSTRUCTION DETAILS
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E2	ELECT/TELECO RISER AND DETAILS
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E4	GROUNDING DETAIL
E5	GROUNDING RISER DIAGRAM
E6	SITE GROUNDING DETAILS
E7	COAX CABLE BROADCASTING DETAILS
D1	PLATFORM LAYOUT
D2	PLATFORM PLAN
D3	PLATFORM SECTIONS
D4	PLATFORM DETAILS
D5	UTILITY FRAME DETAIL
D6	LADDER AND STAIR RACK
D7	SKID MOUNT LAYOUT
D8	UTILITY RACK
S1	STRUCTURAL DETAIL (REF. ONLY)

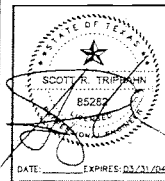
SHEET INDEX

LANDLORD	
SPRINT HSR	
SPRINT ENG	
SPRINT R.F.	
ZONING	
CONSTRUCTION	
METHOD	
PROPERTY	

APPROVALS



1	6/17/02	CITY COMMENT
2	1/27/02	FOR CONSTRUCTION
3	1/28/02	RECEIVED



DATE: EXPIRES: 03/31/04

PROJECT NO: T02494

DRAWN BY: JLM

CHECKED BY: KWM

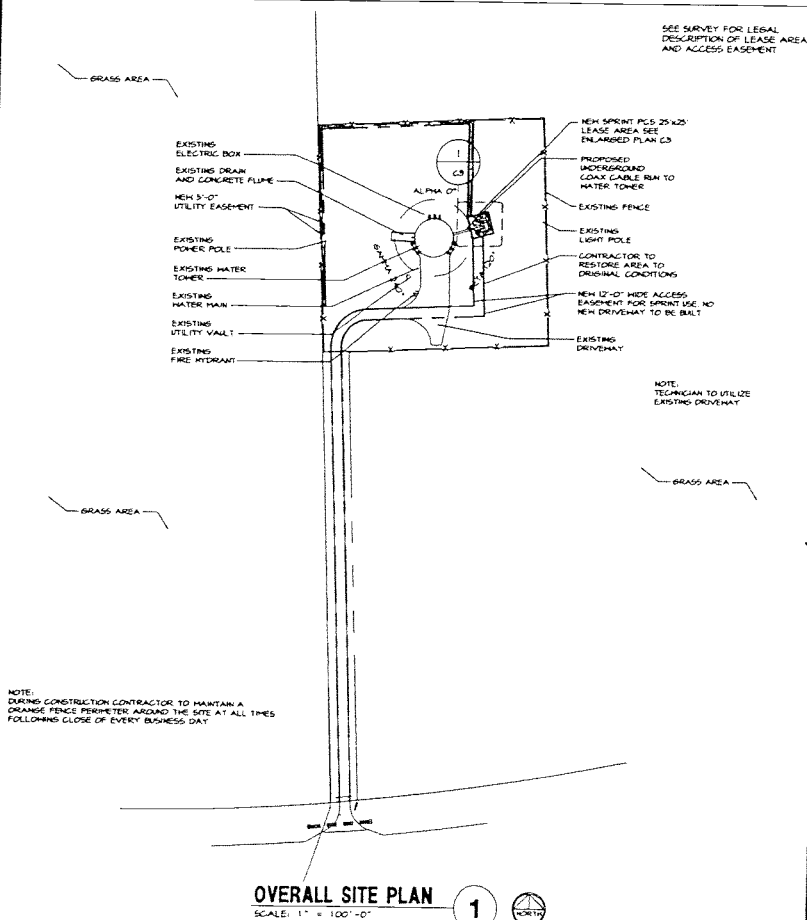
CASCADE # DA58XC800-D
LANCASTER WATER TOWER
1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

GENERAL NOTES:

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2. NOTIFY THE SITE OWNER AND SITE MANAGER OF THE CONSTRUCTION START WELL IN ADVANCE OF THE CONSTRUCTION START DATE.
3. COORDINATE THE CONSTRUCTION STAGING AREA WITH THE SITE OWNER AND SITE MANAGER WELL IN ADVANCE OF THE CONSTRUCTION START DATE.
4. PROTECT THE EXISTING FACILITIES AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION OPERATIONS.
5. THE CONTRACT LIMITS ARE AS NOTED ON THE DRAWINGS. CONFINED OPERATION TO AREAS WITHIN THE LIMITS INDICATED.
6. PROVIDE FOR COMPLETE TELEPHONE AND ELECTRICAL SERVICE AS INDICATED ON THE DRAWINGS. COORDINATE WITH SITE OWNER AND AUTHORITIES HAVING JURISDICTION.
7. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND COORDINATE THE INSTALLATION OF NEW UTILITIES.
8. CONTRACTOR IS TO FIELD VERIFY ALL EXISTING CONDITIONS AND PLAN DIMENSIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS.
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11. EQUIPMENT PLATFORM AND ANTENNAS ARE DESIGNED TO MEET LOCAL BUILDING CODES AND ANSI/UL/UL-222-E STRUCTURAL STANDARDS FOR STEEL ANTENNA SUPPORTING STRUCTURES. THE DESIGN WIND SPEED IS 10 MPH AND 12" I.C.E.
12. CONTRACTOR COMPANIES AND THEIR EMPLOYEES SHALL OBSERVE AND PRACTICE ALL OSHA SAFETY GUIDELINES WHILE PERFORMING SERVICES.
13. CONTRACTOR SHALL PERFORM A SAFETY INSPECTION PRIOR TO COMMENCING ALL WORK ACTIVITIES AT A LEASED OR OWNED SITE. OWNER SHOULD BE IMMEDIATELY NOTIFIED OF SAFETY HAZARDS FOUND DURING THE INSPECTION THAT COULD CAUSE BODILY HARM OR ENGAGEMENT TO LIFE OR THAT COULD CAUSE DAMAGE TO PROPERTY. ALL WORK SHALL BE HALTED UNTIL SUCH TIME THE POSSIBLE SHOULD REPORTED SAFETY HAZARD CORRECTED. THE SAFETY HAZARD, IF BE CORRECTED BY THE CONTRACTOR WHILE ON SITE, AFTER THE CONTRACTOR WAS NOTIFIED OWNER OF CORRECTION.
14. WATER TOWER SCREEN SHALL DESIGN AND STRUCTURAL ANALYSIS ARE UNDER SEPARATE CONTRACT BY OTHERS AND ARE EXCLUDED FROM THESE DESIGN DRAWINGS. REFER TO STRUCTURAL DRAWINGS FOR SPECIFIC DETAILS.
15. VERIFY WITH SPRINT PCS ENGINEER THE AZIMUTH AND ORIENTATION OF ANTENNA PRIOR TO INSTALLATION.
16. CONTRACTOR TO VERIFY ALL MOUNTING HEIGHTS AND AZIMUTHS OF ANTENNAS PRIOR TO INSTALLATION.
17. CONTRACTOR TO RESTORE ALL DAMAGED AREAS CAUSED BY CONSTRUCTION TO ORIGINAL CONDITION UPON COMPLETION OF CONSTRUCTION.
18. CONTRACTOR SHALL OBSERVE AND OBEY ALL WARNING SIGNS POSTED AT THIS SITE.



Sprint PCS
1341 W. WICKINGBRO LANE
DALLAS, TEXAS 75247
PHONE: (214) 825-4000

2	1/1/10	QTY. CHECKED
3	1/1/10	FOR CONSTRUCTION
4	1/10/10	PRELIMINARY

W-T
W-T COMMUNICATION
DESIGN GROUP LLC
3000 LBJ FREETWAY, SUITE 100
DALLAS, TEXAS 75235
PH: (214) 338-0901
FAX: (214) 338-0902

STATE OF TEXAS
SCOTT R. TRIPPO
85282
DATE: 03/31/05 EXPIRES: 03/31/05

PROJECT NO: T02494

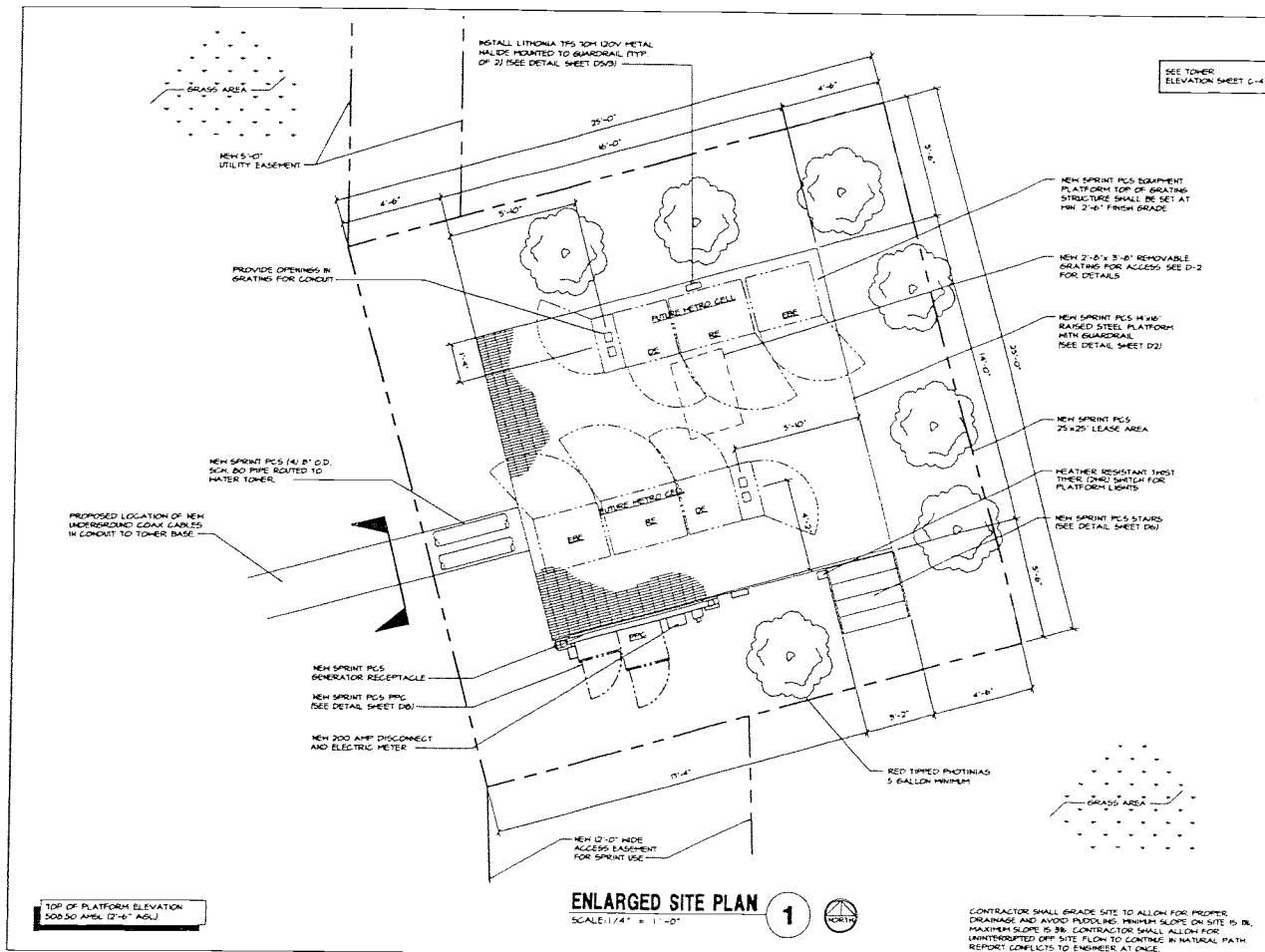
DRAWN BY: JLM

CHECKED BY: KWM

CASCADE # D458XC800-D
LANCASTER
WATER TOWER
1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

SHEET TITLE
SITE PLAN

SHEET NUMBER
C-2



1341 W. MOCKINGBIRD LANE
SUITE 200E
DALLAS, TEXAS 75247
PHONE: (214) 828-4000

1	1/15/02	10% CONCEPT
2	1/27/02	20% PRELIMINARY
3	1/27/02	30% PRELIMINARY

W.T. COMMUNICATION
DESIGN GROUP LLC
200 W. FREEMAN, SUITE 100
DALLAS, TEXAS 75244
PH: (214) 738-0801
FAX: (214) 738-0802

DATE: _____ EXPIRES: 03/31/04

PROJECT NO: T02494

DRAWN BY: JLM

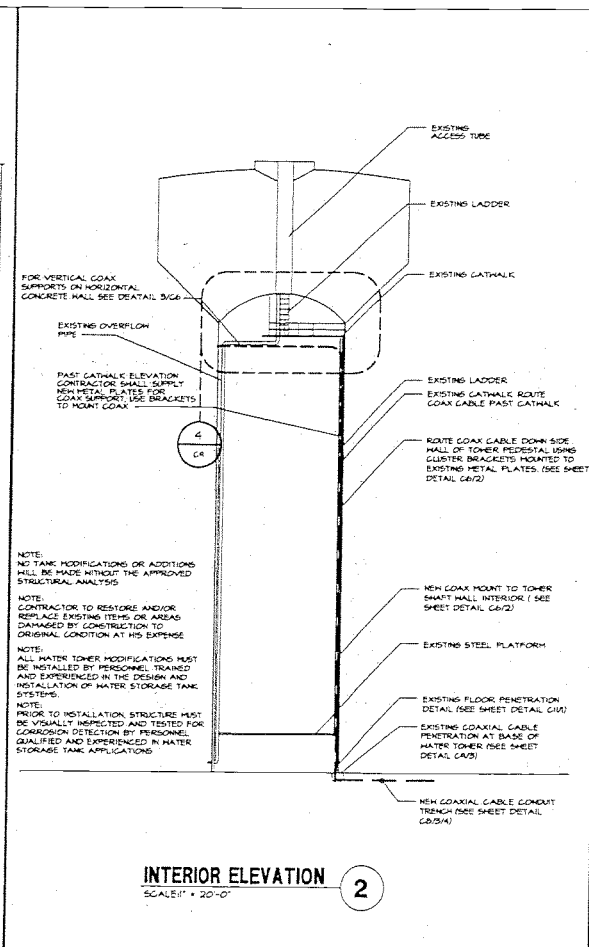
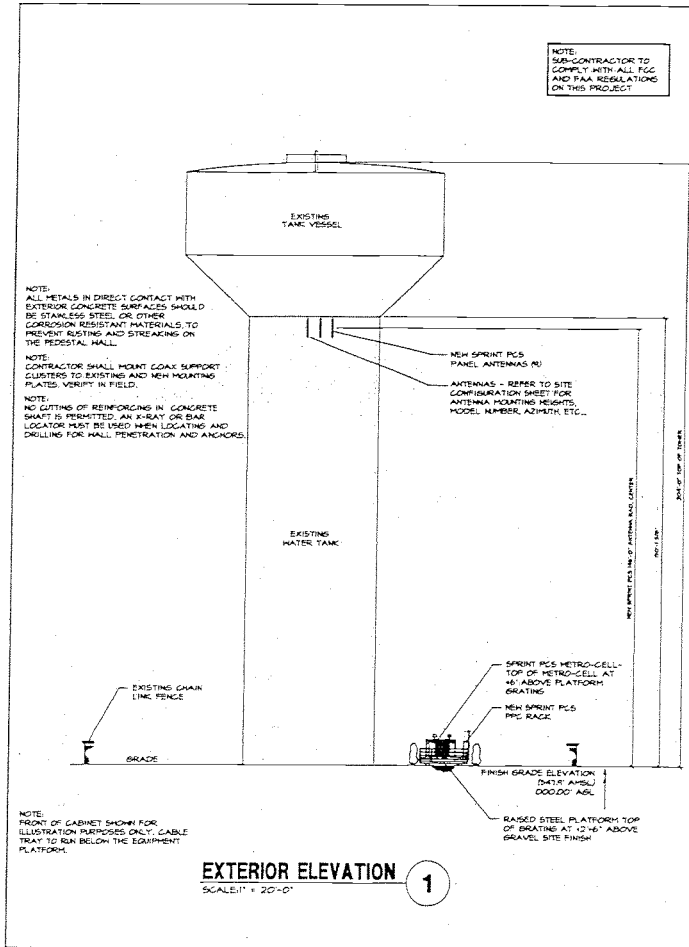
CHECKED BY: KWM

CASCADE # DA58XC800-D
LANCASTER WATER TOWER

1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
C-3



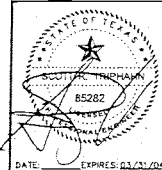
Sprint PCS

1341 W. MOCKINGBIRD LANE
SUITE 1200E
DALLAS, TEXAS 75247
PHONE: (214) 575-9000

1	4/17/03	CITY COMMENT
1	1/27/03	FOR CONSTRUCTION
1	1/28/03	RECEIVED

W-T

W-T COMMUNICATION
DESIGN GROUP LLC
2001 LBJ FREWAY, SUITE 120
DALLAS, TEXAS 75247
PH: (972) 738-0791
FAX: (972) 738-0792



PROJECT NO: T02494

DRAWN BY: JLM

CHECKED BY: KWM

CASCADE # DA58XC800-D
LANCASTER
WATER TOWER

1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

SHEET TITLE
WATER TOWER
ELEVATION

SHEET NUMBER
C-4

ANTENNA AND CABLE COLOR CODING CHART

GROUP	ANTENNA	1ST RING	2ND RING	3RD RING
ALPHA	TAG/RAD	YELLOW	BROWN	WHITE
	RK1	YELLOW	WHITE	WHITE
	FUTURE	YELLOW		
BETA	TAG/RAD	RED	BROWN	WHITE
	RK1	RED	WHITE	WHITE
	FUTURE	RED		
GAMMA	TAG/RAD	GREEN	BROWN	WHITE
	RK1	GREEN	WHITE	WHITE
	FUTURE	GREEN		

COLOR CODE ALL ANTENNA AND COAX CABLES WITH 2" WIDE BANDS OF COLORED TAPE WITH 1" SEPARATION BETWEEN BANDS AT 3 LOCATIONS.

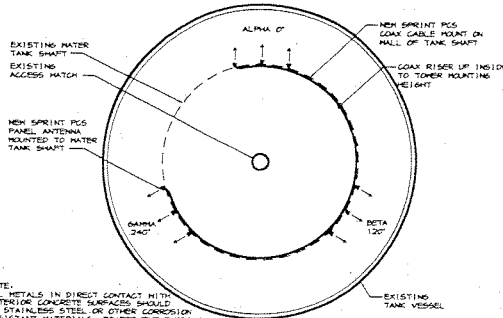
COLOR CODE ALL TOP AND BOTTOM BRACKET EITS WITH 1" WIDE BANDS OF COLORED TAPE WITH 1/2" SEPARATION BETWEEN BANDS.

START COLOR BANDS 2" BEYOND WEATHERPROOFING.

START COLOR BANDS NEXT TO END CONNECTOR.

ALL TOP JUMBERS WILL BE MAX. 10' IN LENGTH AND MIN. OF 3' IN LENGTH.

ALL CABLES SHALL BE MARKED AT TOP AND BOTTOM WITH 2" COLORED TAPE AND STENCIL TAG PER THE FOLLOWING TABLES.



ANTENNA LOCATION PLAN

1

COAX AND CABLE TRAY CHART

LONGEST RUN BETWEEN BTS AND ANTENNA	COAX SIZE	CABLE TRAY MIN. TURN RADIUS
< 100'	7/8" LOPS-50A	12"
100' - 150'	1-1/4" LOPS-50	12"
> 150'	1-5/8" LOPS-50A	18"

VERIFY SIZE OF COAX TO BE USED WITH SPRINT PCS

EQUIPMENT NOTES:

- ALL CABLE TRAY SHALL HAVE A DIAMOND PLATE COVER
- CONTRACTOR SHALL VERIFY EXACT DIMENSION BETWEEN ANTENNA MOUNTING BRACKETS WITH SPRINT PCS BEFORE INSTALLATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF SPRINT PCS STANDARD CONSTRUCTION SPECIFICATIONS.
- ALL TIE WIRING SHALL BE THOMAS AND BETTS TY 512-200C MULTI-LAYER STAINLESS STEEL SELF-LOCKING CABLE TIES COATED WITH HYLOX 11.
- PROVIDE COMPLETE CABLE TRAY SYSTEM (B-LINE BRANCH-BUS OR EQUAL) WIDTHS SHOWN ON DRAWINGS. GRAY FINISH UNLESS NOTED OTHERWISE.

SITE CONFIGURATION DATA

	ALPHA	BETA	GAMMA
ANTENNA INDEX (REFER TO LOOKUP TABLE) [1-100-21]			
ANTENNA MODEL	PCSABOS-1R-2	PCSABOS-1R-2	PCSABOS-1R-2
HAZIMUTH (TRUE NORTH)	0	120	240
ANTENNA GAIN (SPECIFIED)	14.5	14.5	20.0
SECTOR ANTENNA HEIGHT (FEET ABOVE AGU)	140.0	140.0	140.0
SECTOR ANTENNA HEIGHT (METERS)	46.0	46.0	46.0
ELECTRICAL DOWN TILT	2	2	2
MECHANICAL DOWN TILT	0.0	0.0	0.0
Rx ANTENNA DIVERSITY SPACING REQ'D	6.0	6.0	6.0
MAXIMUM ALLOWABLE TOTAL CABLE LOSS	4.6	4.6	4.6

	ALPHA	BETA	GAMMA
FEED LINE CABLE			
CABLE INDEX [1-100-2]	5	3	3
CABLE TYPE	1/2" POWERLAP-30	1/2" POWERLAP-30	1/2" POWERLAP-30
LENGTH (FT)	170.0	170.0	170.0
CONNECTOR LOSS (dB)	0.26	0.26	0.26
CABLE LOSS (dB)	2.405	2.405	2.405

	ALPHA	BETA	GAMMA
TOP JUMPER			
CABLE INDEX	1	1	1
CABLE TYPE	1/2" POWERLAP-30	1/2" POWERLAP-30	1/2" POWERLAP-30
LENGTH (FT)	6.0	6.0	6.0
CONNECTOR LOSS (dB)	0.26	0.26	0.26
CABLE LOSS (dB)	0.407	0.407	0.407

	ALPHA	BETA	GAMMA
BOTTOM JUMPER			
CABLE INDEX	1	1	1
CABLE TYPE	1/2" POWERLAP-30	1/2" POWERLAP-30	1/2" POWERLAP-30
LENGTH (FT)	6.0	6.0	6.0
CONNECTOR LOSS (dB)	0.26	0.26	0.26
CABLE LOSS (dB)	0.407	0.407	0.407

	ALPHA	BETA	GAMMA
TOTAL CABLE LOSS (dB)	3.214	3.214	3.214

NOTE: CONTRACTOR SHALL VERIFY INFORMATION ABOVE BEFORE ORDERING OR INSTALLING ANTENNAS.

ANTENNA DETAIL

SCALE: N.T.S.

2

PANEL ANTENNA

SCALE: N.T.S.

3

Sprint PCS

1341 W. ROCKINGBIRD LANE
SUITE 1200E
DALLAS, TEXAS 75247
PHONE: (214) 528-4000

W-T

W.T. COMMUNICATION
DESIGN GROUP LLC
301 W. PINEBARK BLVD. 10
DALLAS, TEXAS 75247
PH: (214) 336-0901
FAX: (214) 336-0902



DATE: 03/31/04 EXPIRES: 03/31/04

PROJECT NO: T02494

DRAWN BY: JLM

CHECKED BY: KWM

CASCADE # DA58XC800-D
LANCASTER
WATER TOWER

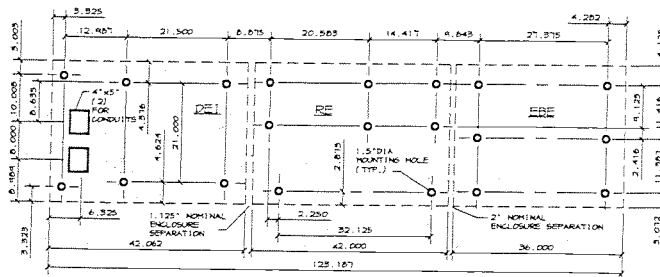
1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75148
DALLAS COUNTY

SHEET TITLE
CONSTRUCTION
DETAILS

SHEET NUMBER
C-5

SITWORK NOTES:

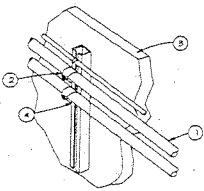
- EXISTING GROUND SURFACE UNDER DRIVEWAY AND LEASE AREA SHALL BE STRIPPED OF VEGETATION, TOPSOIL, AND ROOTS TO A MINIMUM DEPTH OF TWELVE INCHES TO REVEAL FIRM UNDISTURBED SOIL. THE EXPOSED SURFACE SHALL BE PREPARED TO AID IN IDENTIFYING SOFT OR MEAN ISOLATED AREAS. ALL DEPRESSIONS AND MEAN AREAS SHALL BE THOROUGHLY CLEANED OUT TO THE SURFACE OF FIRM SOIL AND BACKFILLED WITH SELECT FILL. ALL CLEANING OPERATIONS SHALL BE ACCOMPLISHED DURING PERIODS OF DRY WEATHER ONLY.
- ALL FILLING AND BACKFILLING WILL CONSIST OF SELECT GRANULAR MATERIAL, SUCH AS LOCALLY AVAILABLE SAND OR CLAYEY SAND. SAND FILL SHALL BE A NON-PLASTIC MATERIAL FREE OF ALL ROOTS, NOOD, CLAY LUMPS AND OTHER DELETERIOUS MATERIALS WITH NOT MORE THAN 10% (BY WEIGHT) OF MATERIAL PASSING A U.S. STANDARD NO. 200 SIEVE. IF CLAYEY SAND IS USED, MATERIAL SHALL HAVE A LIQUID LIMIT NO GREATER THAN 25 AND A PLASTICITY INDEX NO GREATER THAN 6.
- ALL FILL SHOULD BE SPREAD IN LOOSE LIFTS OF 6 TO 8 INCHES AND COMPACTED TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY NEAR OPTIMUM WATER CONTENT IN ACCORDANCE WITH ASTM D 690.
- GEOTEXTILE FABRIC SHALL CONFORM TO SPECIFICATIONS CONTAINED IN THE TEXAS STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAY, STREETS AND AIRWAYS, LATEST EDITION, FOR CLASS 2 GEOTEXTILES. THE FABRIC SHOULD BE EXTENDED AT LEAST TWO FEET BEYOND THE EDGE OF THE AGGREGATE AND BE LAPPED AS PER MANUFACTURER'S RECOMMENDATIONS.
- CRUSHED STONE SURFACE COURSE SHALL COMPLY WITH THE MATERIAL REQUIREMENTS OF LATEST EDITION OF THE TEXAS. STONE SHALL BE COMPACTED TO 95% OF ITS RELATIVE DENSITY IN ACCORDANCE WITH ASTM D 690 (STANDARD PROCTOR) WITH MOISTURE CONTENT AT OPTIMUM OR WITHIN 5 PERCENT ABOVE THE OPTIMUM.



METRO-CELL ANCHOR TEMPLATE

SCALE: N.T.S.

1



NOTE:
ALL "UNISTRUT" CHANNEL SHALL BE GALVANIZED AND GOLD GALVALUT WHEN CUT.

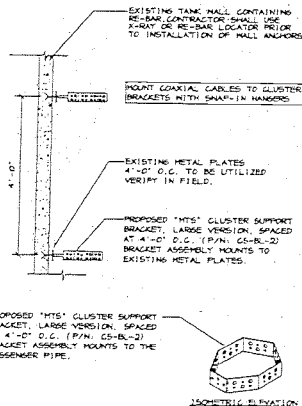
- CONDUIT
- CONDUIT CLAMP "UNISTRUT" PART # 3" CD40002 2" CD40006 1 1/2" CD40008 1" CD40010
- EXISTING WALL ASSEMBLY
- VERTICAL "UNISTRUT" P1000 1" SERIES 10' LENGTH FOR SPREAD AND FUTURE CARRIERS

USE STANDARD STAINLESS STEEL HARDWARE FOR WALL MOUNT AND CONNECTION OF CHANNELS SPACE UNITS # 6'-0" ON CENTER

WALL MOUNTED DETAIL

SCALE: N.T.S.

3



PROPOSED "MTS" CLUSTER SUPPORT BRACKET, LARGE VERSION, SPACED AT 4'-0" O.C. (P/VN: CS-BL-2) BRACKET ASSEMBLY MOUNTS TO EXISTING METAL PLATES.

ISOMETRIC ELEVATION

COAX MOUNT TO TOWER SHAFT WALL INTERIOR

SCALE: N.T.S.

2

CAST IN PLACE CONCRETE NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- ALL REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BULLET STEEL CONFORMING TO ASTM A615, GRADE 60 OR NEW DOMESTIC RAIL STEEL CONFORMING TO ASTM A616, GRADE 60.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH LATEST BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318.
- ALL REINFORCING DETAILS SHALL CONFORM TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI-315, UNLESS DETAILED OTHERWISE ON THE STRUCTURAL DRAWINGS.
- CONTRACTOR SHALL PROVIDE SPACERS, CHAIRS, BOLSTERS, ETC., NECESSARY TO SUPPORT REINFORCING STEEL. SUPPORT ITEMS WHICH BEAR ON EXPOSED EARTH SHALL HAVE ENDS WHICH ARE PLASTIC.
- MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT AS PER ACI-318.

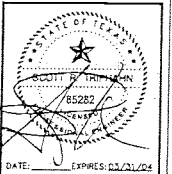
Sprint PCS

1341 W. MOCKINGBIRD LANE
SUITE 2200
DALLAS, TEXAS 75247
PHONE: (214) 528-4600

2	1/11/02	REVISED
3	1/21/02	FOR CONSTRUCTION
4	1/26/02	PRELIMINARY

W-T

W-T COMMUNICATION
DESIGN GROUP LLC
2001 LAW FREEMAN SUITE 129
IRVING, TEXAS 75039
PH: (972) 124-0901
FAX: (972) 124-0902



DATE: 1/26/02 EXPIRES: 03/31/04

PROJECT NO: T02494

DRAWN BY: JLM

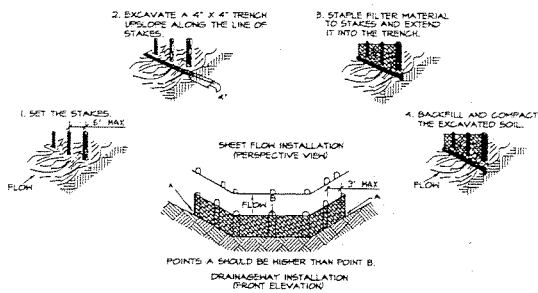
CHECKED BY: KWM

CASCADE # D458XC800-D
LANCASTER
WATER TOWER

1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

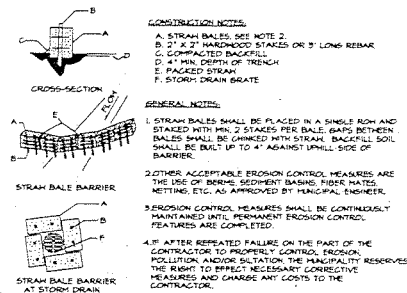
SHEET TITLE
CONSTRUCTION
DETAILS

SHEET NUMBER
C-6



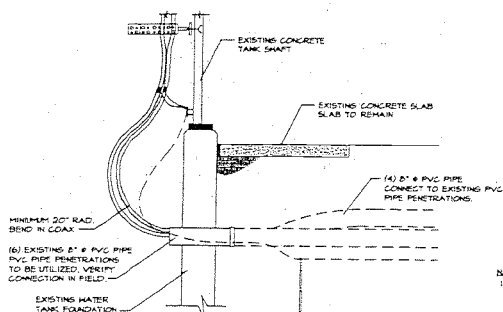
SILT FENCE
SCALE: N.T.S.

1



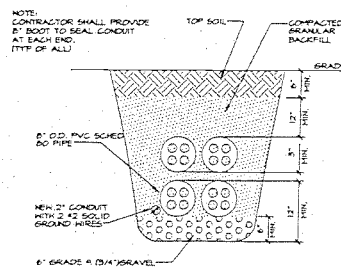
EROSION HAY BALES
SCALE: N.T.S.

2



COAX PENETRATION DETAIL
SCALE: N.T.S.

3



CONDUIT TRENCH
SCALE: N.T.S.

4

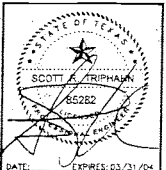
Sprint PCS

1341 W. MOCKINGBIRD LANE
SUITE 1200
DALLAS, TEXAS 75247
PHONE: (214) 525-4000

1	6/17/03	CITY COMMENT
1	1/27/03	FOR CONSTRUCTION
1	1/26/03	PRELIMINARY

W-T

W-T COMMUNICATION
DESIGN GROUP, LLC
3001 LA FAYETTE, SUITE 100
DALLAS, TEXAS 75246
TEL: (972) 738-0792



PROJECT NO: T02494

DRAWN BY: JLM

CHECKED BY: KWM

CASCADE # DA58XC800-D
LANCASTER
WATER TOWER

1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

SHEET TITLE
CONSTRUCTION DETAIL

SHEET NUMBER
C-7

GENERAL PAINTING INSTRUCTIONS

1. AFTER WELDING, SPOT REPAIR ALL ABRASION AND WELDED AREAS BY POWER TOOL CLEANING TO A SSPC-SP10 GRAY METAL FINISH. EXTERIOR, APPLY PRIME COAT OF THEMEC SERIES HQ, AND A FINAL COAT OF THEMEC SERIES TS TO A DFT OF 1.0-1.2 MILS. COLOR SHALL MATCH EXISTING EXTERIOR TOPCOAT COLOR.
2. SHOP ABRASIVE BLAST CLEAN INTERIOR TO A COMMERCIAL GRADE (SSPC-SP6) AND PRIME COAT NEW STEEL WITH A PRIME COAT OF THEMEC SERIES HQ AND A TOP COAT ON THEMEC SERIES HQ - URETHANE TO MATCH EXISTING COATING SYSTEM, TO A DFT OF 0.6 MILS. EDGES TO BE WELDED ARE NOT TO BE PRIMED.
3. PREPARE AND COAT ALL GALVANIZED ITEMS SPOT DAMAGED IN ACCORDANCE WITH ITEM 1 ABOVE, USING SERIES 21 PRIMER. ON GALVANIZED SURFACES NOT DAMAGED, NO PAINTING IS REQUIRED.
4. FOLLOW THE PAINT MANUFACTURER'S RECOMMENDATIONS FOR AMBIENT CONDITIONS, FOR APPLICATION, WET AND DRY FILM THICKNESS AND CURE TIME.

HEALTH AND SAFETY:

1. CONTRACTOR SHALL PROVIDE ALL SAFETY EQUIPMENT AND FALL PROTECTION TO INSURE SAFETY OF ON SITE PERSONNEL DURING CONSTRUCTION.
2. ACCESS TO THE TANK INTERIOR WATER COMPARTMENT SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF THE WATER DEPARTMENT SUPERVISOR. PRECAUTIONS SHALL BE TAKEN TO PREVENT WATER CONTAMINATION.
3. THE PAINT SYSTEM SHALL BE CHECKED FOR HAZARDOUS METALS. WHERE HAZARDOUS METALS ARE FOUND IN THE PAINT SYSTEM, THE ENVIRONMENT AND WORKERS MUST BE PROTECTED FROM CONTAMINATION.

GENERAL WELDING

1. ALL WELDING SHALL BE BY AN AWS CERTIFIED WELDER.
2. COMPLY WITH THE AWS STRUCTURAL WELDING CODES, INCLUDING AWS/AASMA D100-96, "AASMA STANDARD FOR WELDED STEEL TANKS FOR WATER STORAGE" AS MODIFIED TO DATE.
3. MAKE ALL WELDS TO THE TANK WALL WITH E7018 LOW HYDROGEN ROD. WELD SMOOTH AND AVOID UNDERCUTS AND ERRORS. BRIND SMOOTH ALL WELDS SO THAT NO SHARP PROTRUSIONS REMAIN. SMOOTH IS DEFINED AS NO CUTS OR ABRASIONS OCCUR WHEN RUBBING YOUR HAND OVER THE WELD.
4. DO NOT WELD WHEN THE AMBIENT TEMPERATURE IS BELOW 32°F UNLESS THE REQUIREMENTS OF AASMA D100, SEC. 10.2.1 ARE FOLLOWED.
5. BEFORE WELDING, REMOVE ALL COATINGS WITHIN 17' OF THE AREA TO BE WELDED. PREPARE EXISTING STRUCTURAL COMPONENTS SURFACES WHERE WELDING IS TO BE PERFORMED IN ACCORDANCE WITH SSPC AND API CODES.
6. WELDING MAY CAUSE BLISTERING OF THE PAINT NEXT TO THE WELD. EXTERIOR PAINT DAMAGE SHALL BE REPAIRED AFTER COMPLETION OF THE ANTENNA INSTALLATION, AND SHALL BE COMPATIBLE WITH THE EXISTING PAINT SYSTEMS. (THEMEC URETHANE - EXTERIOR).
7. DO NOT WELD GALVANIZED COMPONENTS DIRECTLY TO THE TANK SURFACE. BRIND GALVANIZED SURFACES FREE OF GALVANIZING PRIOR TO WELDING. PREPARE EXISTING STRUCTURAL COMPONENT SURFACES WHERE WELDING IS TO BE PERFORMED IN ACCORDANCE WITH AWS CODES.
8. USE ASTM A-70 CARBON STEEL FOR ALL STRUCTURAL STEEL. USE A-307 BOLTS UNLESS OTHERWISE SPECIFIED.
9. COMPLY WITH APPLICABLE AASMA D100, AASMA, ASTM STANDARDS, THE AISC, AISC, AND FEDERAL, STATE AND LOCAL CODES, DURING CONSTRUCTION DESIGN AND FABRICATION.
10. VERIFY FIELD CONDITIONS, FIELD FIT UP PROBLEMS OR CHANGES TO THE PLAN SHEETS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
11. CONTRACTOR SHALL CONTACT HELDING INSPECTOR 48 HOURS PRIOR TO ACTUAL WELDING. SPRINT PCS APPROVED.
12. WELD CERTIFICATION SHALL BE PROVIDED TO WELDING INSPECTOR PRIOR TO WORK COMMENCEMENT.

WATER TANK CLEANING AND PAINTING REQUIREMENTS

- ALL SURFACES: AFTER WELDING, CLEAN ALL DAMAGED SURFACES IN ACCORDANCE WITH SSPC-SP10 POWER TOOL CLEANING REQUIREMENTS.
- INTERIOR WETWORK:
- BLASTING: SPOT BLAST SSPC-SP10 NEAR-WHITE FINISH ALL RUSTED, ABRASION, LOOSE PAINT, AND POWER TOOL CLEANED AREAS.
- PRIME COAT: SPOT PRIME ONE COAT OF THEMEC SERIES HQ-255 TO ALL BARE STEEL WITHIN 12 HRS. AFTER BLASTING. DRY FILM THICKNESS = 0.5-0.7 MILS.
- FINISH COAT: ONE COAT THEMEC SERIES HQ-4AAB8 DRY FILM THICKNESS = 0.5-0.7 MILS.
- EXTERIOR:
- BLASTING: SPOT BLAST SSPC-SP10 COMMERCIAL ALL RUSTED, ABRASION, LOOSE PAINT, AND POWER TOOL CLEANED AREAS.
- PRIME COAT: SPOT PRIME ONE COAT OF THEMEC SERIES HQ-255 TO ALL BARE STEEL WITHIN 12 HRS. AFTER BLASTING. DRY FILM THICKNESS = 0.5-0.7 MILS.
- FINISH COAT: ONE COAT OF THEMEC SERIES TS - *** MATCH EXISTING COLOR. DRY FILM THICKNESS = 0.5-0.7 MILS.
- NOTE: CONTRACTOR TO VERIFY THAT ABOVE SPECS ARE APPROVED BY THE CITY PRIOR TO ORDERING AND PAINTING.
- *** CONTRACTOR SHALL ENSURE COLOR MATCH EXISTING PAINT ON TANK. MEET WITH CITY AND PROVIDE COLOR SAMPLE FOR APPROVAL PRIOR TO PAINTING.

NOTE:
THIS PAINT MAY NOT BE TRANSPARENT AND SHALL NOT BE USED TO PAINT THE ANTENNAS OR COAXIAL CABLE OR SCREEN WALL.

NOT USED
SCALE: N.T.S.

1

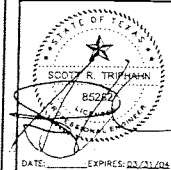
Sprint PCS

1341 W. MOCKINGBIRD LANE
SUITE 1200E
DALLAS, TEXAS 75247
PHONE: (214) 628-4000

3	4/1/02	CITY TOWNSHIP
1	1/21/02	FOR CONSTRUCTION
4	1/06/02	PRELIMINARY

W-T

W-T COMMUNICATION
DESIGN GROUP LLC
3001 JAY FREEMANT, SUITE 100
DALLAS, TEXAS 75244
P: (972) 728-1001
F: (972) 728-1002



DATE: _____ EXPIRES: 02/31/04

PROJECT NO: T02494

DRAWN BY: JLM

CHECKED BY: KWM

CASCADE # DA58XC800-D
LANCASTER
WATER TOWER

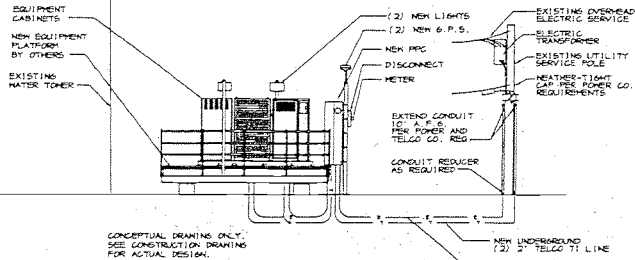
1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

SHEET TITLE
GENERAL NOTES
& DETAILS

SHEET NUMBER
C-8

COORDINATION WITH UTILITY COMPANY

THE ELECTRICAL CONTRACTOR SHALL COORDINATE COMPLETE ELECTRICAL SERVICE WITH LOCAL UTILITY COMPANIES FOR A COMPLETE OPERATIONS SYSTEM, INCLUDING TRANSFORMER CONNECTIONS, CONCRETE TRANSFORMER PADS PRIOR TO SUBMITTING BID TO INCLUDE ALL LABOR AND MATERIALS.



CONCEPTUAL DRAWING ONLY. SEE CONSTRUCTION DRAWING FOR ACTUAL DESIGN.

ELECTRIC AND TELEPHONE RISER

SCALE: N.T.S.

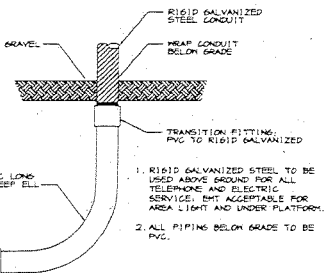
1

ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK SHALL BE IN STRICT CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE.
2. ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE U.L. APPROVED.
3. ALL WIRING SHALL BE COPPER.
4. MINIMUM WIRE SIZE SHALL BE # 12 AWG.
5. ALL CONDUCTORS SHALL BE IDENTIFIED AT ALL TERMINATIONS, JUNCTION BOXES AND FITTINGS.
6. COORDINATE LOCATION AND POWER REQUIREMENTS OF ALL EQUIPMENT WITH EQUIPMENT SUPPLIERS PRIOR TO INSTALLATION.
7. ALL POWER WIRING SHALL BE TYPE "THIN" RATED 40° C.
8. TWO FLOOD LIGHT CIRCUITS SHALL BE (2) #12 AND #12 IN MINIMUM 3/4" CONDUIT. CONDUIT SHALL BE RIGID CONDUIT ABOVE GRADE OR PVC BELOW GRADE. CONNECT BOTH LIGHTS ON SAME 20A CIRCUIT BREAKER IN MFC. CONDUIT SHALL BE RUN UNDER EQUIPMENT PLATFORM OR UNDERGROUND IF IT MAY BE A TRIPPING HAZARD.
9. CONTRACTOR TO OBTAIN ALL PERMITS, PAY PERMIT FEES, AND BE RESPONSIBLE FOR SCHEDULING INSPECTIONS.
10. CONTRACTOR TO OBTAIN LOCAL POWER AND TELEPHONE COMPANY APPROVAL AND COORDINATE WITH UTILITY COMPANIES SERVICE ENTRANCE REQUIREMENTS.
11. PROVIDE ALL LABOR AND MATERIAL DESCRIBED ON THIS DRAWING, AND ALL ITEMS INCIDENTAL TO COMPLETING AND PRESENTING THIS PROJECT AS FULLY OPERATIONAL.
12. CONTRACTOR TO PROVIDE TELEPHONE CONDUIT AS SHOWN ON PLANS.
13. CONTRACTOR TO PROVIDE ELECTRIC CONDUIT AS SHOWN ON PLANS.
14. NOTIFY LOCAL UTILITY SERVICE PRIOR TO ANY INSTALLATION.
15. ALL EQUIPMENT FURNISHED BY OTHERS SHALL BE PROVIDED WITH PROPER MOTOR STARTERS, DISCONNECTS, CONTROLS, ETC. BY THE ELECTRICAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE. THE ELECTRICAL CONTRACTOR SHALL INSTALL AND COMPLETELY WIRE ALL ASSOCIATED EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S WIRE DIAGRAMS AND AS REQUIRED FOR A COMPLETE OPERATING INSTALLATION. ELECT. CONTRACTOR SHALL VERIFY AND COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF EQUIPMENT PRIOR TO ROUGH-IN OF CONDUIT AND WIRING TO AVOID CONFLICTS, WHERE APPLICABLE.
16. UTILITY COMPANY COORDINATION: ELECTRICAL CONTRACTOR SHALL CONFIRM THAT ALL WORK IS IN ACCORDANCE WITH THE RULES OF THE LOCAL UTILITY COMPANY BEFORE SUBMITTING HIS BID. THE CONTRACTOR SHALL CHECK WITH THE UTILITY COMPANIES SUPPLYING SERVICE TO THIS PROJECT AND SHALL DETERMINE FROM THEM ALL EQUIPMENT AND GEARINGS WHICH THEY WILL REQUIRE AND SHALL INCLUDE THE COST IN HIS BID.

CONDUITS AND WIRING:

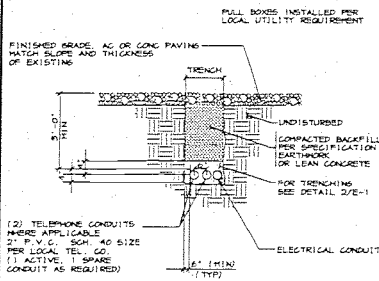
1. WIRING OF EVERY KIND MUST BE INSTALLED IN CONDUIT, UNLESS NOTED OTHERWISE, OR AS APPROVED BY THE ENGINEER.
2. WIRES AND CABLES FOR POWER SHALL BE INSTALLED IN GALVANIZED RIGID STEEL CONDUIT OR FLEXIBLE LIQUID TIGHT CONDUIT AS INDICATED ON DRAWING.
3. RACEWAYS SHALL BE GALVANIZED STEEL, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, UNLESS OTHERWISE NOTED. ALL RACEWAYS SHALL BE APPROVED FOR THE INSTALLATION.
4. PULL OR JUNCTION BOXES SHALL BE PROVIDED AS REQUIRED TO FACILITATE INSTALLATION OF RACEWAYS AND WIRING.
5. PROVIDE A COMPLETE RACEWAY AND WIRING INSTALLATION, PERMANENTLY AND EFFECTIVELY PROTECTED IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE AND LOCAL CODES.
6. CONTRACTOR SHALL INSTALL CONDUIT AND WIRE TO THE EQUIPMENT. COIL WIRES, SEAL CONDUIT AND WIRE ENDS FROM MOISTURE INFILTRATION. LEAVE ENOUGH WIRE TO TERMINATE AT EQUIPMENT. (MINIMUM OF 10 FEET)
7. CONDUIT ENTRIES INTO OUTDOOR EQUIPMENT SHALL BE PROX BOTTOM.



CONDUIT DETAIL

SCALE: N.T.S.

2



ELEC/TELCO TRENCH

SCALE: N.T.S.

3

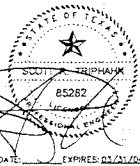
Sprint PCS

1341 W. MOCKINGBIRD LANE
SUITE 1200E
DALLAS, TEXAS 75247
PHONE: (214) 525-4000

3	1/17/03	CITY COMMENT
1	1/21/03	FOR CONSTRUCTION
4	1/26/03	PERMANENT

W-T

W-T COMMUNICATION
DESIGN GROUP LLC
2011 W. PRESTON, SUITE 100
DALLAS, TEXAS 75247
PH: (214) 336-4141
FX: (214) 336-4142



DATE: 1/21/03 EXPIRES 03/31/14

PROJECT NO: T02494

DRAWN BY: JLM

CHECKED BY: KWM

CASCADE # DA58XC800-D
LANCASTER
WATER TOWER

1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

SHEET TITLE
ELEC/TELCO RISER
AND DETAILS

SHEET NUMBER
E-2

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2 X #2,500 KO

2 X #2,500 KO

SIDE ELEVATION SCALE: N.T.S.

1

POWER METER, CUSTOMER PROVIDED ACCOMMODATES:
-H2, STD 200A METER
-H3, 200A TEST BY-PASS METER

EXTERNAL METER ADAPTER BRACKET CAN BE REMOVED FOR WALL MOUNTING.

PRIMARY BREAKER ASSY TRANSFER, -1/2" 5/16" SPACING, 5/16" IN
NORTEL 200A/200A SG-D MAIN/EMERGENCY WALKING BEAM

POWER METER, CUSTOMER PROVIDED ACCOMMODATES:
-H2, STD 200A METER
-H3, 200A TEST BY-PASS METER

COPPER CABLE PORT

20A GFI DUPLEX

ISOMETRIC VIEW SCALE: N.T.S.

3

PRIMARY BREAKER ASSY TRANSFER, -1/2" 5/16" SPACING, 5/16" IN
NORTEL 200A/200A SG-D MAIN/EMERGENCY WALKING BEAM

EMERGENCY CONNECTOR TRANSFER, -1/2" 5/16" SPACING, 5/16" IN
NORTEL 200A AMPLIFICATION

LOAD CENTER -200A 50-D 12 POSITION

AC SURGE PROTECTOR NT1 -1-5120V4

EXTERNAL METER ADAPTER BRACKET CAN BE REMOVED FOR WALL MOUNTING

POWER METER, CUSTOMER PROVIDED ACCOMMODATES:
-H2, STD 200A METER
-H3, 200A TEST BY-PASS METER

ALARM TERMINAL BLOCK & POSITION (HIRE TVSS)

DC SURGE PROTECTOR NT1 -1-5120V4

PLYWOOD BACK

TELCO 60D BAR -12 POSITION, TIN PLATED

REMOVABLE FRONT ACCESS PANELS

#2,500 KO

3 X #1,500 KO

2 X #2,000 KO

#1,575 KO

2 X #2,500 KO

5'-0"

DETAIL VIEWS OF CABINETS SCALE: N.T.S.

2

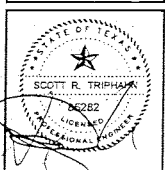
Sprint PCS

1341 W. MOCKINGBIRD LANE
SUITE 1200
DALLAS, TEXAS 75247
PHONE: (214) 525-4000

3	1/2/02	CITY COMMENT
1	1/7/02	FOR CONSTRUCTION
4	1/8/02	PRELIMINARY

W-T

W-T COMMUNICATION DESIGN GROUP LLC
3000 LBJ FRIEDLAND SUITE 101
DALLAS, TEXAS 75234
P: (972) 734-0901
F: (972) 734-0902



DATE: 12/13/02 EXPIRES: 02/31/04

PROJECT NO: T02494

DRAWN BY: JLM

CHECKED BY: KWM

CASCADE # DA58XC800-D

LANCASTER WATER TOWER

1011 E. BELTLINE ROAD

LANCASTER, TEXAS 75146

DALLAS COUNTY

SHEET TITLE

ELECTRIC AND TELCO CABINET

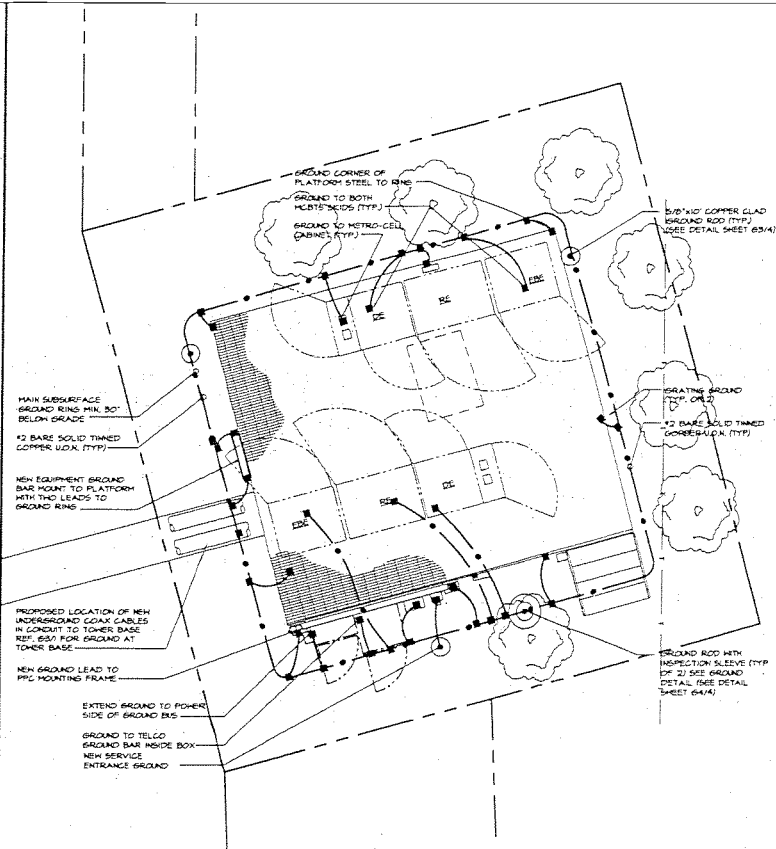
SHEET NUMBER

E-3

SCOTT R. TRIPPHAM, P.E., LICENSE NO. 26282, MECHANICAL ENGINEERING, STATE OF TEXAS

GROUNDING NOTES:

- GROUNDING CONNECTIONS SHALL BE EXOTHERMIC WELDS TO ANTENNA MASTS AND THE GROUND (BARS). REMAINING GROUNDING CONNECTIONS SHALL BE COMPRESSION FITTINGS.
- GROUND CONNECTIONS TO EQUIPMENT SHALL BE MADE USING TWO-HOLE CONNECTIONS. PROVIDE STAINLESS STEEL BOLTS AND LOCK WASHERS ON ALL MECHANICAL GROUND CONDUCTORS. USE LONG-BARREL LUG TYPE OR EQUIVALENT.
- EQUIPMENT SURFACES TO BE BONDED TO GROUNDING SYSTEM SHALL BE STRIPPED OF ALL PAINT AND DIRT.
- EXTERIOR GROUND CONNECTIONS SHALL BE FURNISHED WITH A LIBERAL PROTECTIVE COATING OF ANTI-OXIDE COMPOUND.
- ALL EXOTHERMIC WELDS SHALL BE CADWELD OR APPROVED EQUAL.
- ALL CABLE TRAY AND HANGERS SHALL BE GROUND TOGETHER BY JUMPERS. BOND EACH SECTION OF CABLE TRAY AND HANGERS TO THE GROUNDING CONDUCTOR WITH JUMPERS.
- GROUNDING CONDUCTOR SHALL BE BURIED 30" BELOW GRADE UNTIL AN ABOVE GRADE CONNECTION IS MADE.
- GROUND BAR SHALL BE NEWTON INSTRUMENT CAT. 750A-4 OR EQUAL. MOUNTING BRACKETS SHALL BE NEWTON INSTRUMENT CAT. 750A-6006 OR EQUAL.
- GROUND BAR SHALL BE MOUNTED VERTICALLY WHERE POSSIBLE.
- ADD LABEL "DO NOT REMOVE GROUND LEADS" AT EACH GROUND BAR.
- INSTALL ALL ABOVE GRADE GROUND LEADS IN NONMETALLIC FLEXIBLE CONDUIT.
- GROUNDING SHALL COMPLY WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE.
- GROUND COAXIAL CABLE SHIELDS AT BOTH ENDS WITH COAX CABLE GROUNDING KITS AND INSTALL GROUND KIT AT EACH CONNECTION.
- ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE. EXCEPT AS OTHERWISE INDICATED, GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLES. ALWAYS MAKE AT LEAST 12" RADIUS BENDS. NO WIRE CAN BE BENT AT 90° RADII WHEN NECESSARY.
- CONTRACTOR TO PROVIDE GROUND RING AS SHOWN ON GROUNDING SITE PLAN AND GROUNDING RISES DIAGRAM. CONTRACTOR SHALL TEST AND VERIFY THAT THE IMPEDANCE DOES NOT EXCEED 5 OHMS TO GROUND BY MEANS OF A BIDDLE-HEISSER TESTER. GROUNDING AND OTHER OPERATIONAL TESTING SHALL BE WITNESSED BY THE OWNER'S REPRESENTATIVE.
- GROUNDING CONDUCTORS SHALL BE COPPER ONLY. ABOVE GROUND EITHER SOLID OR STRANDED CONDUCTORS ARE PERMITTED. 10K AND ALL EXTERNAL CONDUCTORS WITH THE EXCEPTION FOR GROUND WIRE BETWEEN THE TOP AND THE BOTTOM OF THE ANTENNA TOWER MUST BE BARE. EQUIPMENT GROUND LEADS IN CABLE TRAYS MUST BE GREEN INSULATED.
- ALL EXOTHERMIC WELDS ABOVE FINISHED GRADE SHALL BE PAINTED WITH GOLD GALVANIZED ZINC ENRICHED PAINT TO MATCH COLOR OBJECT BONDED TO.
- THE FENCE GATE JUMPER SHALL BE A 4/0 HOLDING CABLE OR A FLEXIBLE 1 INCH COPPER BRAIDED JUMPER WITH SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING.



NOTE: ALL EXISTING GROUND RINGS DAMAGED DURING INSTALLATION OF NEW SHALL BE REPAIRED TO ORIGINAL SPECIFICATIONS AT CONTRACTOR'S EXPENSE

GROUNDING PLAN

SCALE: 1/4" = 1'-0"

1



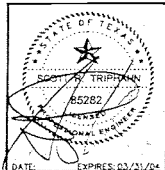
NOTE: VERIFY ALL EXISTING GROUND RINGS AND CONDUITS PRIOR TO EXCAVATION

Sprint PCS

1341 W. ROCKINGBIRD LANE
DALLAS, TEXAS 75247
PHONE: (214) 525-4000

3	6/17/01	CITY COMMENT
1	1/27/01	FOR CONSTRUCTION
4	1/26/01	PRELIMINARY

W-T
W-T COMMUNICATION
DESIGN GROUP, LLC
3601 ALBUQUERQUE BLVD. 100
DALLAS, TEXAS 75238
PH: (972) 738-0781
FAX: (972) 738-0782



PROJECT NO: T02494

DRAWN BY: JLM

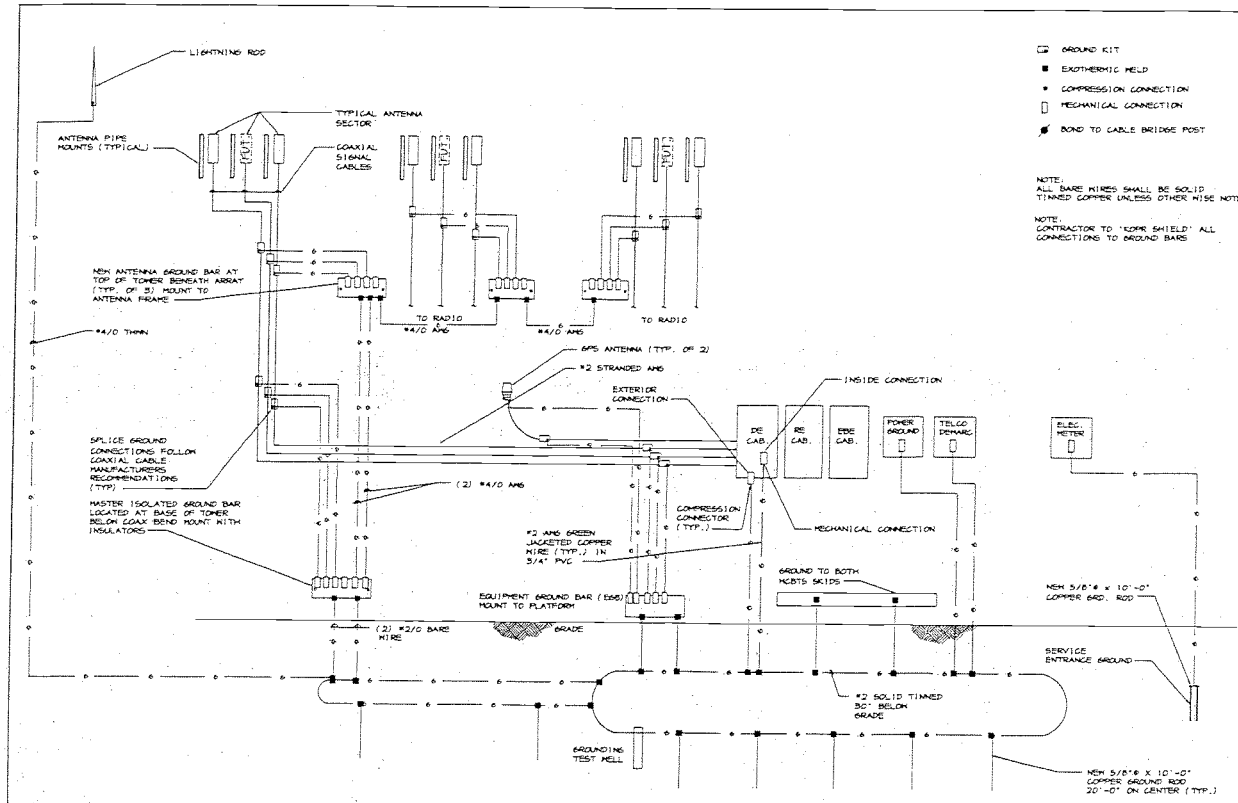
CHECKED BY: KWM

CASCADE # D458XC800-D
LANCASTER
WATER TOWER

1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

SHEET TITLE
GROUNDING DETAIL

SHEET NUMBER
G-1



- GROUND KIT
- EXOTHERMIC WELD
- COMPRESSION CONNECTION
- MECHANICAL CONNECTION
- BOND TO CABLE BRIDGE POST

NOTE:
ALL BARE WIRES SHALL BE SOLID
TINNED COPPER UNLESS OTHER WISE NOTED.

NOTE:
CONTRACTOR TO "KORR SHIELD" ALL
CONNECTIONS TO GROUND BARS

**GROUNDING
RISER DIAGRAM**
SCALE: NTS

1

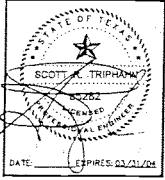


1341 W. WOCKINGBIRD LANE
SUITE 1200E
DALLAS, TEXAS 75247
PHONE: (214) 828-4000

2	1/17/01	BY OWNER
1	1/27/01	FOR CONSTRUCTION
1	1/28/01	PRELIMINARY



W-T
W.T. COMMUNICATION
DESIGN GROUP LLC
3001 LAURELWAY, SUITE 100
DALLAS, TEXAS 75247
PH: (972) 238-0791
FAX: (972) 738-0792



PROJECT NO: T02494

DRAWN BY: JLM

CHECKED BY: KWM

CASCADE # DA58XC800-D
**LANCASTER
WATER TOWER**
1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

SHEET TITLE
**GROUNDING RISER
DIAGRAM**

SHEET NUMBER
G-2

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NOT USED
SCALE: N.T.S.

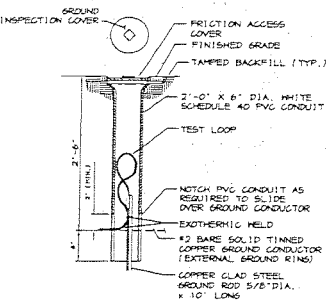
1

GROUND WIRE CONNECTION TO
GROUND BAR AT 3 ANTENNAS
SCALE: N.T.S.

2

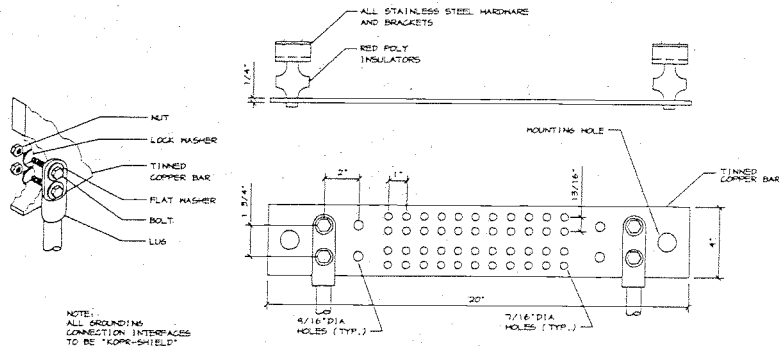
COAX CABLE
GROUNDING DETAIL
SCALE: N.T.S.

3



GROUNDING TEST WELL DETAIL
SCALE: N.T.S.

4



MASTER ISOLATED GROUND BAR
EQUIPMENT GROUND BAR DETAIL
SCALE: N.T.S.

5

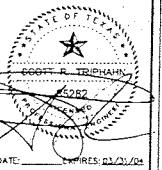
Sprint PCS

1341 W. HOCKINGBIRD LANE
SUITE 1200E
DALLAS, TEXAS 75247
PHONE: (214) 528-6000

3 4/17/03 071 CORRECT
1 1/27/03 FOR CONSTRUCTION
A 1/26/03 MELBAHAT

W-T

W-T COMMUNICATION
DESIGN GROUP LLC
3001 W. FREEMONT SUITE 100
DALLAS TEXAS 75234
PH. (972) 738-0266
FAX (972) 738-0266



DATE: 12/12/02 EXPIRES: 12/31/05

PROJECT NO: T02494

DRAWN BY: JLM

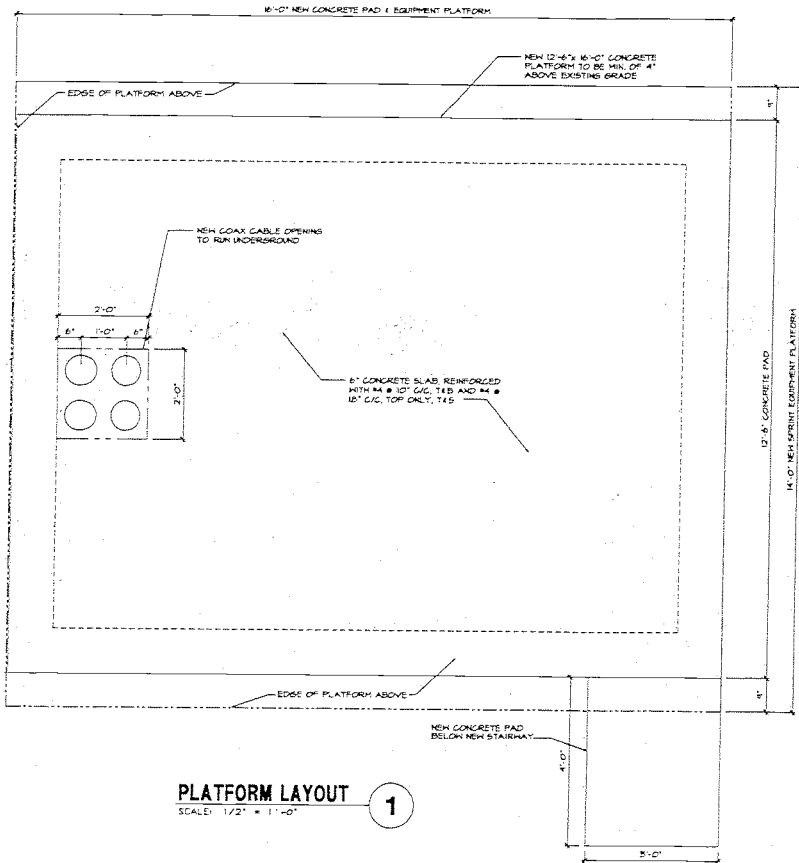
CHECKED BY: KWM

CASCADE # DA58XC800-D
LANCASTER
WATER TOWER

1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

SHEET TITLE
COAX CABLE
GROUNDING DETAILS

SHEET NUMBER
G-4



PLATFORM LAYOUT
SCALE: 1/2" = 1'-0"

1

NOTES:

1. ALL STRUCTURAL STEEL SHAPES AND PLATES SHALL BE ASTM A36, UNLESS NOTED OTHERWISE. CONNECTIONS SHALL BE BOLTED USING 3/4" DIAMETER ASTM A325 BOLTS.
2. ALL STEEL SHAPES SHALL BE FABRICATED AND THEN HOT DIP GALVANIZED.
3. GRATING SHALL BE 1" DEEP RECTANGULAR WELDED BAR GRATING WITH 3/4" HED BEARING SAAS FABRICATED IN ACCORDANCE WITH NAAFM GALVANIZED.
4. REFER TO SITE PLAN FOR PIER LOCATION AND ORIENTATION.
5. ELEVATION OF PLATFORM WILL BE SITE SPECIFIC. HOWEVER, IN NO CASE SHALL THE DISTANCE BETWEEN TOP OF GRATING AND TOP OF GRADE EXCEED 2'-6" WITHOUT THE ADDITION OF GUARDRAILS.
6. PLATFORM AND PIERS HAVE NOT BEEN DESIGNED FOR DETONIC LOADS. ENGINEERING MODIFICATIONS TO PLATFORM AND FOUNDATION SHALL BE REQUIRED IN AREAS WHERE DETONIC LOADING IS REQUIRED.

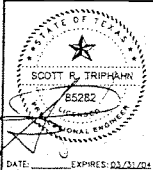


1341 W. MOCKINGBIRD LANE
SUITE 1300E
DALLAS, TEXAS 75247
PHONE: (214) 823-4000

2	4/7/02	STY ED/MDK
1	1/7/02	FOR CONSTRUCTION
1	1/26/02	PERMANENT

W-T

**W-T COMMUNICATION
DESIGN GROUP LLC**
2001 LA FRETWAY, SUITE 101
DALLAS, TEXAS 75247
PH: (972) 738-0700
FAX: (972) 738-0702



DATE: 1/1/02 EXPIRES: 12/31/04

PROJECT NO: T02484

DRAWN BY: JLM

CHECKED BY: KWM

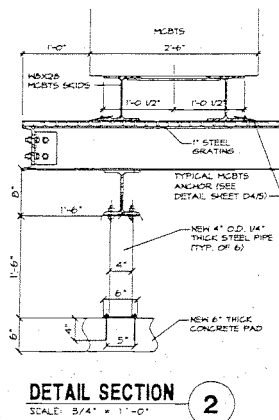
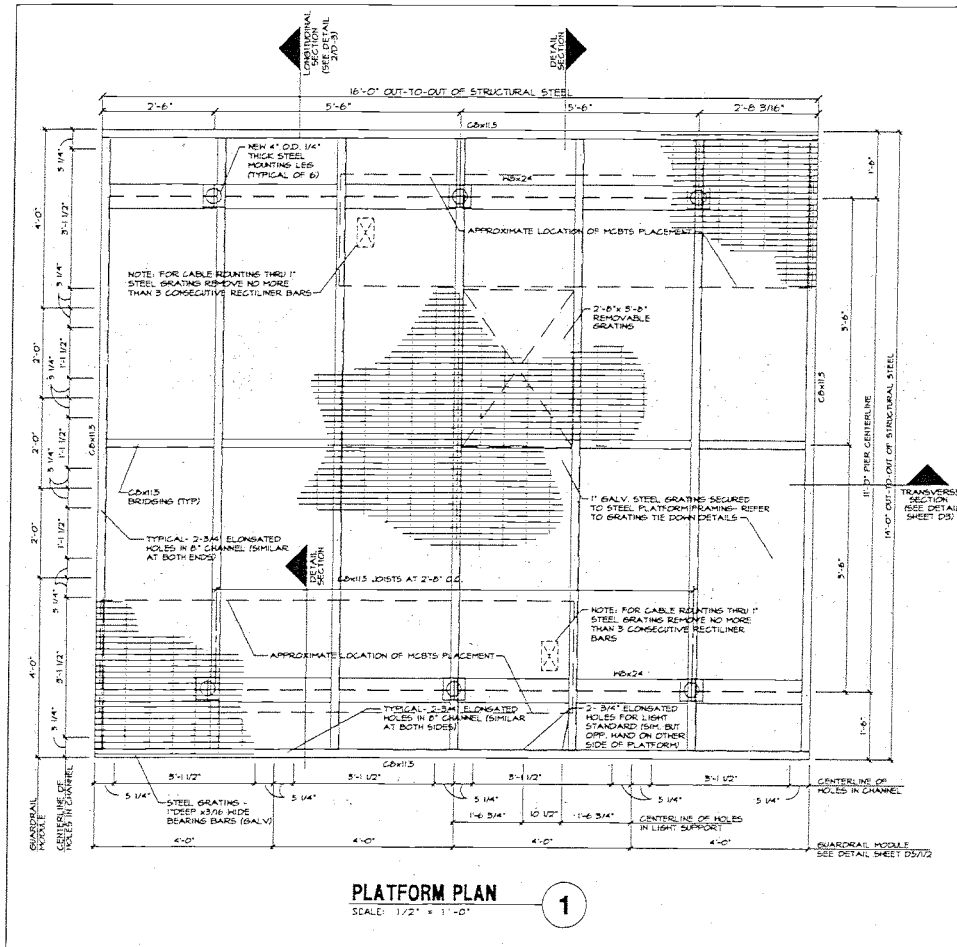
CASCADE # DA58XC800-D
**LANCASTER
WATER TOWER**

1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

SHEET TITLE
PLATFORM LAYOUT

SHEET NUMBER
D-1

PLATFORM DESIGN AND DETAILS
(PROVIDED BY OTHERS)



Sprint PCS
1341 W. MOCKINGBIRD LANE
SUITE 1200E
DALLAS, TEXAS 75247
PHONE: (214) 925-0650

2	8/17/02	CITY OF DALLAS
1	1/21/02	FOR CONSTRUCTION
1	1/26/02	PRELIMINARY

W-T
W-T COMMUNICATION
DESIGN GROUP LLC
3001 W. FREEMAN SUITE 100
DALLAS, TEXAS 75234
TEL: (972) 738-0701
FAX: (972) 738-0702

STATE OF TEXAS
SCOTT R. TRIPPHEN
Professional Engineer
No. 15562
DATE: 11/17/02 EXPIRES: 02/31/04

PROJECT NO: T02494

DRAWN BY: JLM

CHECKED BY: KWM

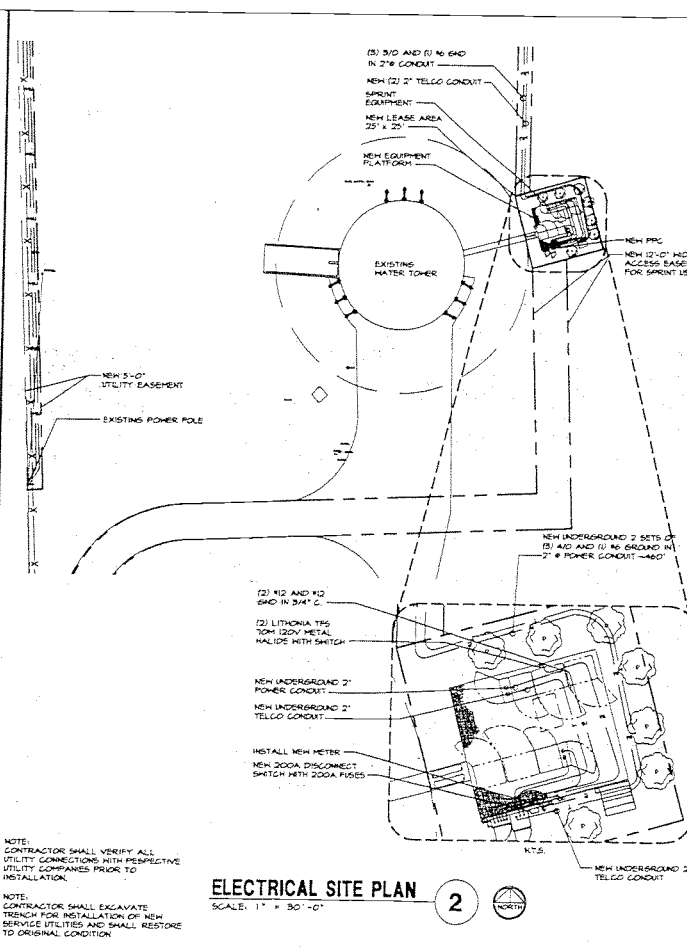
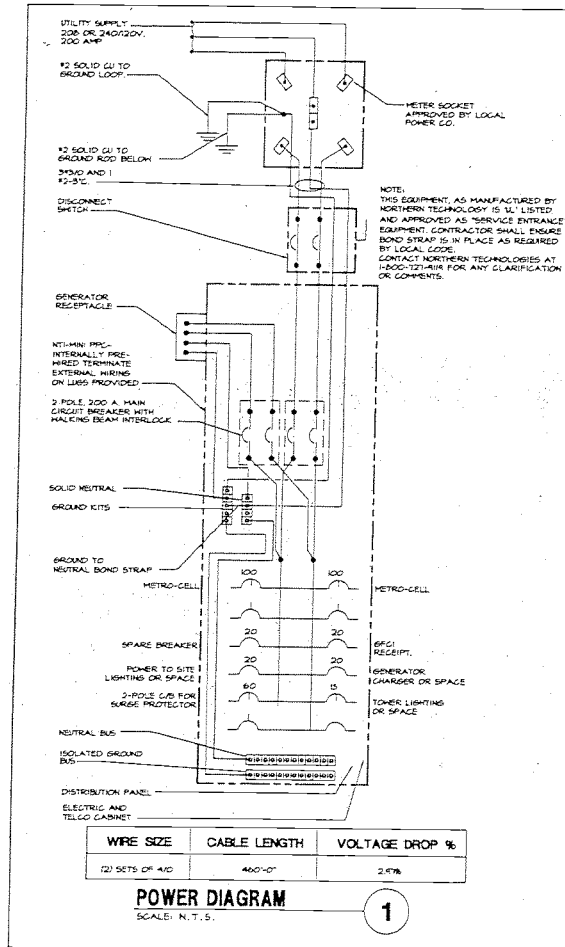
CASCADE # DA58XC800-D
LANCASTER
WATER TOWER

1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

SHEET TITLE
PLATFORM PLAN

SHEET NUMBER
D-2

PLATFORM DESIGN AND DETAILS
(PROVIDED BY OTHERS)



Sprint PCS

1341 W. MOCKINGBIRD LANE
SUITE 200E
DALLAS, TEXAS 75247
PHONE: (214) 324-4000

2	4/17/03	011 COMMENT
1	1/17/03	FOR CONSTRUCTION
1	1/16/03	PRELIMINARY

W-T
W.T. COMMUNICATION
DESIGN GROUP, LLC
3001 LAUREL WALK, SUITE 100
DALLAS, TEXAS 75244
PH: (972) 734-6361
FAX: (972) 734-6362

DATE: _____ EXPIRES: 03/31/04

PROJECT NO: T02494

DRAWN BY: JLM

CHECKED BY: KWM

CASCADE # D458XC800-D
LANCASTER
WATER TOWER

1011 E. BELTLINE ROAD
LANCASTER, TEXAS 75146
DALLAS COUNTY

SHEET TITLE
ELECTRICAL SITE PLAN

SHEET NUMBER
E-1

FIRST AMENDMENT TO THE LICENSE FOR COMMUNICATION FACILITIES

AMENDMENT NO. 1 to the License for Communications Facilities (this "**Amendment**"), effective as of the date last signed below ("**Effective Date**") is entered into between City of Lancaster, Texas, a Texas municipal corporation ("**City**") and Sprint Spectrum Realty Company, L.P., a Delaware limited partnership as successor-in-interest to Sprint Spectrum L.P. ("**Licensee**") and amends a certain Agreement between Licensee's predecessor and **City** dated June 9, 2003 (the "**Agreement**").

BACKGROUND

WHEREAS, Licensee desires to modify its installation on the Premises by installing, modifying, replacing, adding or exchanging out antennas and other equipment to the Licensee's Equipment as more particularly described in Exhibit A-1 and Exhibit B-1 attached hereto, and Licensee and City desire to modify the provisions of the Agreement as provided below.

NOW, THEREFORE, for good and valuable consideration the receipt and sufficiency of which are acknowledged, City and Licensee agree to amend the Agreement and hereby agrees to amend as follows:

1. **Modification to the Licensee's Equipment.** Section 1 and Section 2 of the Agreement shall be amended by amending Exhibit A and Exhibit B to add new equipment in Exhibit A-1 and Exhibit B-1 and to read follows:

"Exhibit A-1 and Exhibit B-1 supplements Exhibit A and Exhibit B to the Agreement, and shall not be deemed to supersede or otherwise modify Exhibit A and Exhibit B or any part thereof except to the extent specifically set forth in Exhibit A-1 and Exhibit B-1. Upon full execution of this Amendment, Licensee is permitted to do all work necessary to prepare, maintain and alter the Premises to install or otherwise modify the Licensee's Equipment, all as more fully described and contemplated in Exhibit A-1 and Exhibit B-1, with prior City approval of construction and installation plans in cooperation with the manufacturer of Licensee's Equipment."

2. **Consideration.** Section 10, sentence 3 of the Agreement is hereby deleted in its entirety and amended as follow:

"Commencing on the License Fee Commencement Date and every year after, the License Fee shall be increased at the rate of 3%."

3. **Additional Consideration.** As additional consideration for the modification and other rights set forth in this Amendment, and within 30 days following the start of construction of the modifications to the Licensee's equipment, Licensee will pay to City a one-time fee of FOUR THOUSAND NO/100 DOLLARS (\$4,000.00).

4. **Frequency Use.** Section 21 of the Agreement is amended as follows:

"Provided that any frequencies used by Licensee will not cause interference with the properly licensed and permitted pre-existing frequencies in use or in operation at the Licensee's Equipment and notwithstanding anything to the contrary contained herein; Licensee may operate the Licensee's Equipment at any frequencies for which it has all requisite permits, leases or licenses, but in no event shall such operation interfere with City's

equipment, frequencies or communication equipment as set forth in Section 21 of the Agreement."

5. **Notice Address.** Section 19 of the Agreement is hereby amended as follows:

"To City	City of Lancaster 211 N. Henry Street P. O. Box 940 Lancaster, Texas 75146-0946 Attn.: Mayor
To Licensee:	Sprint/Nextel Property Services Sprint Site ID: DA58XC800 Mailstop KSOPHT0101-Z2650 6391 Sprint Parkway Overland Park, Kansas 66251-2650
With a mandatory copy to:	Sprint/Nextel Law Department Sprint Site ID: DA58XC800 Mailstop KSOPHT0101-Z2020 6391 Sprint Parkway Overland Park, Kansas 66251-2020 Attn.: Real Estate Attorney"

6. **General Terms and Conditions**

a. All capitalized terms used in this Amendment, unless otherwise defined herein, will have the same meaning as the terms contained in the Agreement.

b. In case of any inconsistencies between the terms and conditions contained in the Agreement and the terms and conditions contained in this Amendment, the terms and conditions herein will control. Except as set forth below, all provisions of the Agreement are ratified and remain unchanged and in full force and effect.

c. This Amendment may be executed in duplicate counterparts, each of which will be deemed an original.

d. Each of the parties represents and warrants that it has the right, power, legal capacity and authority to enter into and perform its respective obligations under this Amendment.

e. Unless specifically amended herein the terms and conditions of the Agreement dated June 9, 2003 shall apply and be in full force and effect.

SIGNATURES ON FOLLOWING PAGE

The parties have executed this Amendment as of the Effective Date.

City:

City of Lancaster, Texas,
a Texas municipal corporation

Licensee:

Sprint Spectrum Realty Company, L.P.,
a Delaware limited partnership

By:



Printed
Name:

OPAL MAULDIN ROBERTSON

Title:

CITY MANAGER

Date:

8/20/2012

By:



Printed
Name:

Brian C Kooyman

Title:

Manager Real Estate

Date:

8/8/12

Site Name: 1011 East Beltline Road

Site ID #: DA58XC800-D

Exhibit A-1

[See Attached]

ABBREVIATIONS

AFT	ABOVE FINISHED FLOOR
AGL	ABOVE GRADE LEVEL
AMSL	ABOVE MEAN SEA LEVEL
APPROX	APPROXIMATE
AWG	AMERICAN WIRE GAUGE
BLOC	BUILDING
BTSS	BASE TRANSMISSION STATION
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CND	CONDUIT
DWG	DRAWING
FT	FOOT (FEET)
ESB	EQUIPMENT GROUND BAR
ELEC	ELECTRICAL
EMT	ELECTRICAL METALLIC TUBING
ELEV	ELEVATION
EDUP	EQUIPMENT
(E)	EXISTING
EXT	EXTERIOR
FND	FOUNDATION
F	FIBER
GA	GAUGE
GALV	GALVANIZED
GPS	GLOBAL POSITIONING SYSTEM
GND	GROUND
LTE	LONG TERM EVOLUTION
MAX	MAXIMUM
MFR	MANUFACTURER
MSB	MASTER GROUND BAR
MIN	MINIMUM
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OE/OT	OVERHEAD ELECTRIC/TELECO
PPC	POWER PROTECTION CABINET
RBS	RADIO BASED STATION
RDU	REMOTE RADIO UNIT
RCS	RIGID GALVANIZED STEEL
IN	INCH(ES)
INT	INTERIOR
LB(S) or #	POUND(S)
SP	SQUARE FOOT
STL	STEEL
TYP	TYPICAL
UE/UT	UNDERGROUND ELECTRIC/TELECO
UNO	UNLESS NOTED OTHERWISE
VF	VERIFY IN FIELD
W/	WITH
XFMR	TRANSFORMER

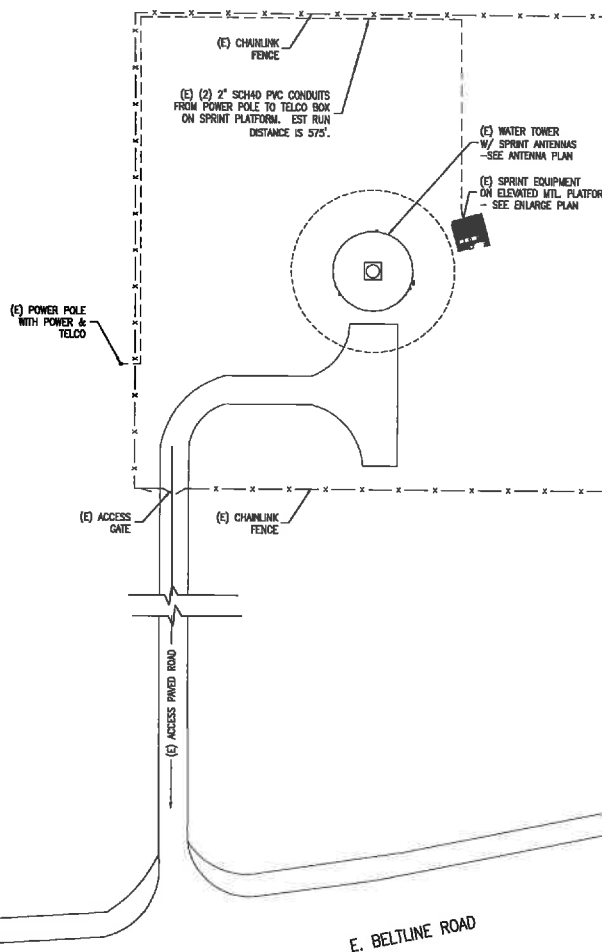
SYMBOLS

	REVISION
	WORK POINT
	UTILITY POLE
	BRICK
	COMPRESSED STONE
	CONCRETE
	EARTH
	GRAVEL
	MASONRY
	STEEL
	CENTERLINE
	PROPERTY LINE
	LEASE LINE
	EASEMENT LINE
	CHAIN LINK FENCE
	WOOD FENCE
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC/TELEPHONE



1 OVERALL SITE PLAN

FULL SIZE PLOT: SCALE: 1/16" = 1'-0"
 HALF SIZE PLOT: SCALE: 1/32" = 1'-0"
 0 4 8 16 32'



PREPARED FOR:



1 INTERNATIONAL BOULEVARD
 SUITE #800
 MAHWAH, N.J. 07495

CONSULTANT:



8021 LYNDON B. JOHNSON FREEWAY
 SUITE 204, DALLAS, TX 75243
 PHONE: 972-571-4803
 FAX: 972-571-4875
 WWW.ALLPROCONS.COM
 FIRM REGISTRATION # 8242
 A.C.C.I. # 11-4304

SITE NAME:

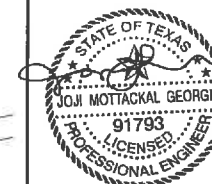
**F2-LANCASTER
 WATER TOWER**

SITE NUMBER:

DA58XC800

SITE ADDRESS:
 1013 E. BELTLINE ROAD
 LANCASTER, TX 75146
 DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY:	MAM		
APPROVED BY:	JMG		
DATE DRAWN:	08/04/11		
REVISION			
NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 90% CD	MAM	08/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:

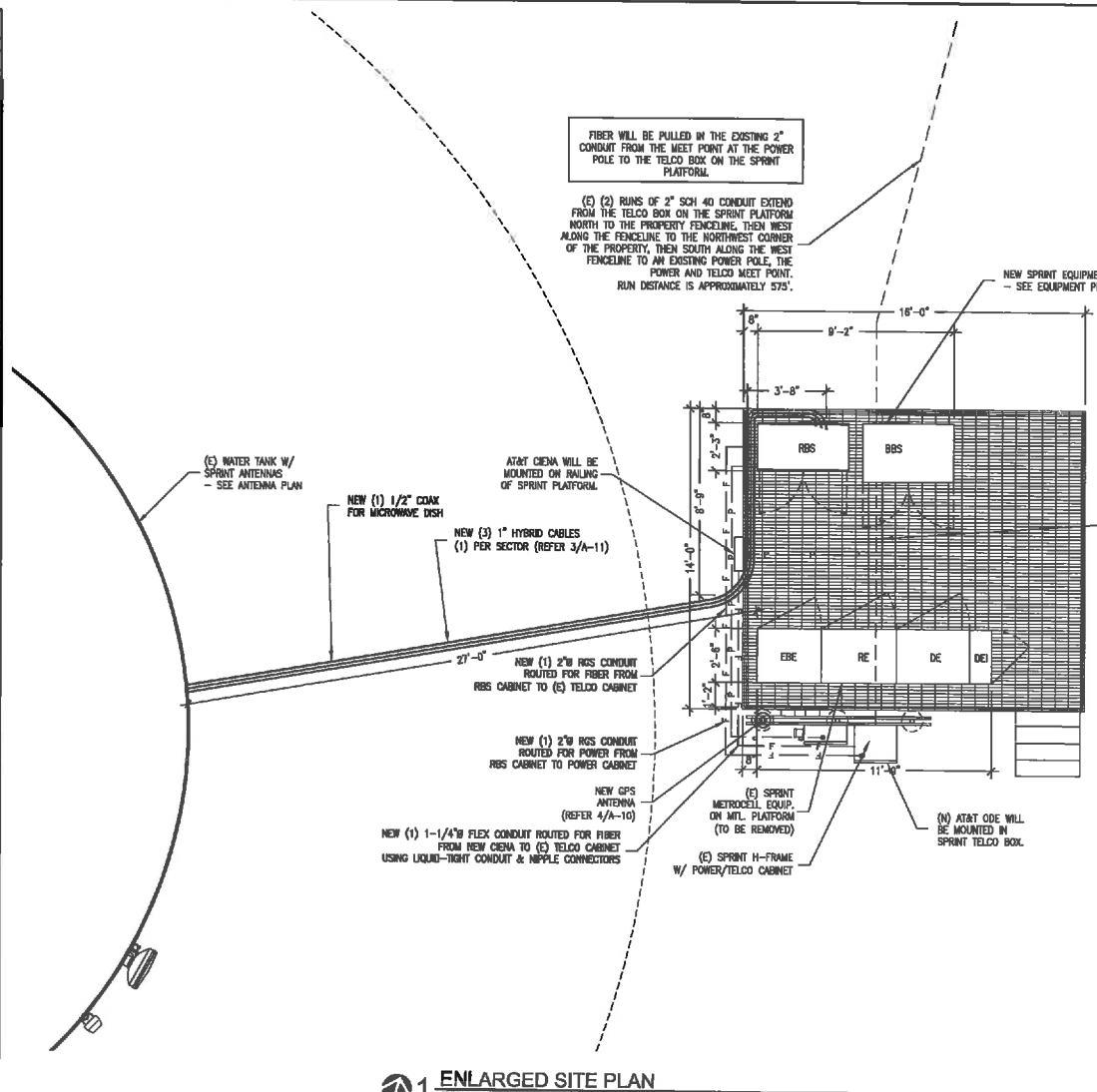
A-1

ABBREVIATIONS

ATF	ABOVE FINISHED FLOOR
AGL	ABOVE GRADE LEVEL
AMSL	ABOVE MEAN SEA LEVEL
APPROX	APPROXIMATE
AWG	AMERICAN WIRE GAUGE
BLDG	BUILDING
BTS	BASE TRANSMISSION STATION
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CND	CONDUIT
DWG	DRAWING
FT	FOOT (FEET)
ESB	EQUIPMENT GROUND BAR
ELEC	ELECTRICAL
EMT	ELECTRICAL METALLIC TUBING
ELEV	ELEVATION
EQUIP	EQUIPMENT
(E)	EXISTING
EXT	EXTERIOR
FND	FOUNDATION
F	FIBER
GA	GAUGE
GALV	GALVANIZED
GPS	GLOBAL POSITIONING SYSTEM
GND	GROUND
LIE	LONG TERM EVOLUTION
MAX	MAXIMUM
MFR	MANUFACTURER
MGR	MASTER GROUND BAR
MIN	MINIMUM
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OE/OT	OVERHEAD ELECTRIC/TELCO
PPC	POWER PROTECTION CABINET
RBS	RADIO BASED STATION
RDU	REMOTE RADIO UNIT
RIS	RIGID GALVANIZED STEEL
IN	INCH(ES)
INT	INTERIOR
LB(S) or #	POUND(S)
SP	SQUARE FOOT
STL	STEEL
TYP	TYPICAL
UE/UT	UNDERGROUND ELECTRIC/TELCO
UND	UNLESS NOTED OTHERWISE
VF	VERIFY IN FIELD
W/	WITH
WTR	WATER

SYMBOLS

	REVISION
	WORK POINT
	UTILITY POLE
	BRICK
	COMPRESSED STONE
	CONCRETE
	EARTH
	GRAVEL
	MASONRY
	STEEL
	CENTERLINE
	PROPERTY LINE
	LEASE LINE
	EASEMENT LINE
	CHAIN LINK FENCE
	WOOD FENCE
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC/TELEPHONE



1 ENLARGED SITE PLAN
 FULL SIZE PLOT: SCALE: 3/8" = 1'-0"
 HALF SIZE PLOT: SCALE: 3/16" = 1'-0"
 TRUE NORTH

PREPARED FOR:



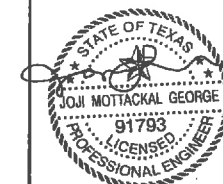
1 INTERNATIONAL BOULEVARD
 SUITE #800
 MAHWAH, N.J. 07485

CONSULTANT:



SITE NAME:
F2-LANCASTER WATER TOWER
 SITE NUMBER:
DA58XC800
 SITE ADDRESS:
 1013 E. BELTLINE ROAD
 LANCASTER, TX 75146
 DALLAS COUNTY

STAMP:

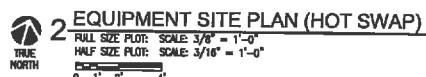
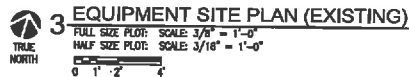


04/10/12

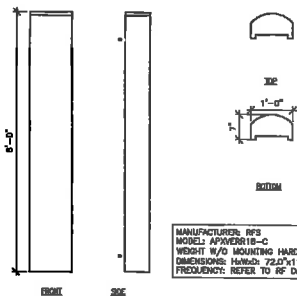
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APPROVED BY:	JMG		
DATE DRAWN:	08/04/11		
REVISION			
NO	DESCRIPTION	BY	DATE
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0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
ENLARGED SITE PLAN

SHEET NUMBER:
A-2



A-3

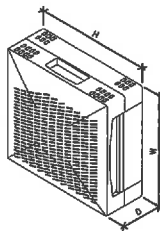


2 ANTENNA DETAIL
SCALE: 3/4" = 1'-0"

EXCERPT BUREAU-11
-DIMENSIONS (H x W x D):
17.8" x 17.8" x 7.2" (INCLUDES SUNSHIELD)
-WEIGHT: 55 LBS
-CLIMATE: -40°C TO +45°C
(SELF CONVECTION SILENT, NO FANS, IP55)
-POWER CONSUMPTION: 200 WATTS (TYP.)

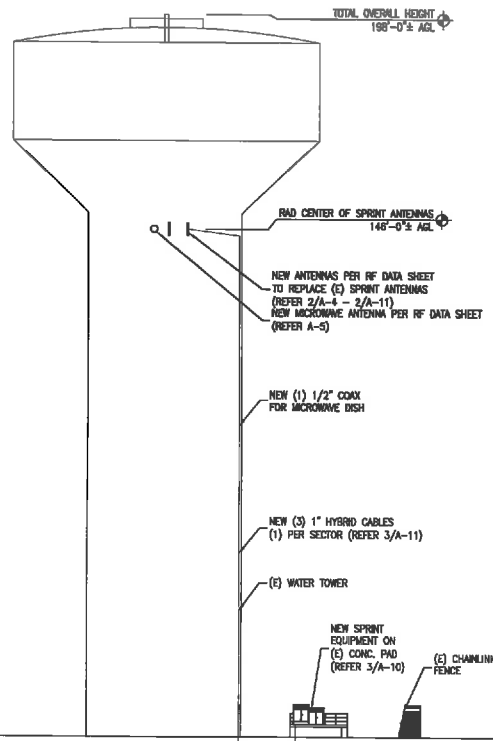
EXCERPT BUREAU-12
-DIMENSIONS (H x W x D):
18.2" x 17.8" x 8" (INCLUDES SUNSHIELD)
-WEIGHT: 60 LBS
-CLIMATE: -40°C TO +45°C
(SELF CONVECTION SILENT, NO FANS, IP55)
-POWER CONSUMPTION: 200 WATTS (TYP.)

NOTE:
RRUS CAN ONLY BE
PAINTED ON SOLAR SHIELD.



3 RRUS DETAIL
N.T.S.

NOTE:
STRUCTURAL ANALYSIS PERFORMED BY ALLPRO CONSULTING GROUP INC. AS PER AGC
#11-3030 DATED 8-20-2011. STATES THAT SPRINT'S TOWER PLATFORMS, ANAS, MOUNTS,
INCLUDING TOWER, AND ALL OTHER ASPECTS OF THE STRUCTURE IS IN CODE COMPLIANCE
FOR THE PROPOSED LOADS PER SPRINT'S NETWORK VISION EQUIPMENT DEPLOYMENT.



1 SITE ELEVATION
FULL SIZE PLOT: SCALE: 3/32" = 1'-0"
HALF SIZE PLOT: SCALE: 3/64" = 1'-0"
0' 1' 2' 4'

NOTES:

1. CONTRACTOR TO FIELD VERIFY ANTENNA CABLE LENGTHS.
2. ALL MAIN CABLES WILL BE COLOR CODED AT THREE (3) LOCATIONS.
3. COLOR CODE ALL ANTENNA AND COAX WITH 2" WIDE BANDS OF COLORED TAPE WITH 1" SEPARATION BETWEEN BANDS.
4. COLOR CODE ALL TOP AND BOTTOM GROUND KITS WITH 1" WIDE BANDS OF COLORED TAPE WITH 1/2" SEPARATION BETWEEN BANDS.
5. STARTI COLOR BANDS 2" BEYOND WEATHERPROOFING.
6. STARTI SECTOR COLOR NEXT TO END CONNECTOR.
7. ALL MAIN CABLES WILL BE GROUNDING W/ COAXIAL CABLE GROUND KITS AT:
 - THE ANTENNA LEVEL.
 - MID LEVEL IF TOWER IS OVER 200'
 - BASE OF TOWER PRIOR TO TURNING HORIZONTAL.
 - TERMINATION OF COAX LINES TO JUMPS
8. ALL NEW GROUND BAR DOWNLEADS ARE TO BE CABLED TO THE EXISTING ADJACENT GROUND BAR DOWNLEADS A MINIMUM DISTANCE OF 4FT BELOW GROUND BAR
9. PROVIDE BUSS BAR NEAR BTS FOR ATTACHMENT OF WMAX COAX GROUND KITS

COAXIAL ANTENNA CABLE NOTES:

1. THE ANTENNA COAXIAL CABLE INSTALLER SHALL BE RESPONSIBLE FOR PERFORMING AND SUPPLYING SPRINT WITH 3 TYPED WRITTEN SWEEP TESTS (ANTENNA RETURN LOSS TEST). THIS TEST SHALL BE PERFORMED TO THE SPECIFICATIONS AND PARAMETERS OUTLINED BY THE SPRINT RADIO FREQUENCY (RF) ENGINEER. THIS TEST SHALL BE PERFORMED PRIOR TO FINAL ACCEPTANCE OF THE SITE/
2. THE COAXIAL ANTENNA CABLE INSTALLER SHALL BE RESPONSIBLE FOR PERFORMING AND SUPPLYING SPRINT WITH 3 TYPED WRITTEN TIME DOMAIN REFLECTOMETER (TDR) TESTS TO VERIFY CABLE LENGTH AND TO CHECK FOR WATER DAMAGE.
3. VAPOR WRAP WILL BE USED TO SEAL ALL CONNECTIONS.
4. ALL JUMPS TO THE ANTENNAS FROM THE MAIN TRANSMISSION LINE WILL BE 1/2" JUMPS AND SHALL NOT EXCEED 6'-0". MAXIMUM LENGTH FOR THE JUMPS AT LIE ITS UNITS WILL BE 6'-0".
5. IF COAX IS BEING RE-USED FOR THIS INSTALLATION, PRE AND POST ANTENNA LINE SWEEPS ARE REQUIRED.
6. UPON COMPLETION, PROVIDE A HEIGHT VERIFICATION DEPICTING RAD CENTER AND TOP OF ANTENNA.

ANTENNA MOUNTING NOTES:

1. DESIGN AND CONSTRUCTION OF ANTENNA SUPPORTS SHALL CONFORM TO CURRENT ANSI/AIAA-222 APPENDIX B FOR WIND LOADING, 'STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES' OR APPLICABLE LOCAL CODES.
2. ALL STEEL MATERIALS SHALL BE GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 'ZINC (HOT-DIPPED GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS', UNLESS OTHERWISE NOTED.
3. ALL BOLTS, ANCHORS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 'ZINC-COATING (HOT DIP) ON IRON AND STEEL HARDWARE', UNLESS OTHERWISE NOTED.
4. DAMAGED GALVANIZED SURFACES SHALL BE REPAIRED BY COLD GALVANIZING IN ACCORDANCE WITH ASTM A780.
5. ALL ANTENNA MOUNTS SHALL BE INSTALLED WITH DOUBLE NUTS AND SHALL BE INSTALLED SHUG TIGHT.
6. MINIMUM HORIZONTAL SPACING SHALL BE 2'-0" BETWEEN ALL ANTENNAS.

NOTES:

1. ALL ADJUSTMENTS ARE TO BE ESTABLISHED CLOCKWISE FROM THE TRUE NORTH HEADING.
2. CONTRACTOR SHALL VERIFY PROPOSED ANTENNA RAD CENTER AND ORIENTATIONS WITH SPRINT PRIOR TO INSTALLATION OF ANTENNAS.
3. PRIOR TO ATTACHING ANTENNAS AND MOUNTING SECTIONS, EXISTING TOWER AND TOWER FOUNDATION MUST BE ANALYZED BY A LICENSED STRUCTURAL ENGINEER TO VERIFY TOWER IS CAPABLE OF SUPPORTING THE PROPOSED LOADS. REFER TO STRUCTURAL ANALYSIS BY ENGINEER.
4. CONTRACTOR SHALL REFER TO TOWER STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.

RF WINDING SIGNAGE & EMERGENCY SIGNAGE NOTES:

CONTRACTOR TO CONFIRM THAT THE SITE IS COMPLIANT WITH RF WINDING SIGNAGE & EMERGENCY SIGNAGE AS REQUIRED BY THE FEDERAL GUIDELINES CONTAINED WITHIN OET 85 BULLETIN & AS PER SPRINT GUIDELINES.
RF WINDING SIGNAGE & EMERGENCY SIGNAGE ON GATE.

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07485

CONSULTANT:



SITE NAME:
F2- LANCASTER WATER TOWER
SITE NUMBER:
DA58XC800
SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY:	MAM
APPROVED BY:	JMG
DATE DRAWN:	08/04/11
REVISION	
NO DESCRIPTION	BY DATE
0 SUBMISSION: 90% CD	MAM 08/04/11
0 100% CD PER RL	JJ 10/13/11
1 100% CD PER RL	JS 04/4/12
1 100% CD PER DCAD	JS 04/10/12

SHEET TITLE:
SITE ELEVATION & ANTENNA DETAILS

SHEET NUMBER:

A-4

Site Name: 1011 East Beltline Road

Site ID #: DA58XC800-D

Exhibit B-1

[See Attached]

Sprint®



PROJECT NAME: NETWORK VISION MMBTS LAUNCH
SITE NAME: F2-LANCASTER WATER TOWER
SITE NUMBER: DA58XC800
STRUCTURE TYPE: WATER TOWER
MARKET: DFW
LEGAL DESC: T M ELLIS ABST 432 PG 335 TR 6.1 ACS 1.8367
 VOL99105/1804 DD04201999 CO-DC
 0432335100601 23604323351

THESE DRAWINGS ARE PREPARED BASED ON RFDS REVISION V1, DATED 1/4/12. GENERAL CONTRACTOR TO VERIFY AND INCORPORATE MOST RECENT VERSION OF THE RFDS WITH ERICSSON PRIOR TO CONSTRUCTION. O.C. TO USE THE MOST CURRENT RFDS.

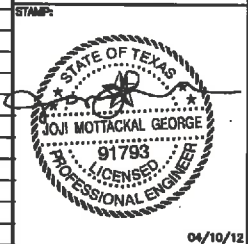
PREPARED FOR:

 1 INTERNATIONAL BOULEVARD
 SUITE #800
 MAHWAH, N.J. 07495

CONSULTANT:

ALLPRO
 CONSULTING GROUP, INC.
 801 LYNDON B. JOHNSON FREEWAY
 SUITE 204, DALLAS, TX 75243
 PHONE: 972-881-4000
 FAX: 972-881-4077
 WWW.ALLPROCONSULTING.COM
 PWT-PROFESSIONAL ENGINEER
 ACR # 11-4304

SITE NAME:
F2- LANCASTER WATER TOWER
SITE NUMBER:
DA58XC800
SITE ADDRESS:
 1013 E. BELTLINE ROAD
 LANCASTER, TX 75146
 DALLAS COUNTY



DRAWN BY:		MAM	
APPROVED BY:		JMG	
DATE DRAWN:		08/04/11	
REVISION			
NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 90% CD	MAM	08/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1

PROJECT SUMMARY

SITE NAME: F2-LANCASTER WATER TOWER
SITE NUMBER: DA58XC800
911 ADDRESS: 1013 E. BELTLINE RD.
 LANCASTER, TX 75146
APN#: 65043233510060100
LATITUDE: 32°35'24.28" N
LONGITUDE: 96°44'42.62" W
GROUND ELEVATION: 515' AMSL
JURISDICTION: DALLAS COUNTY (CITY OF LANCASTER)
ZONING: AGRICULTURAL-OPEN DISTRICT

SCOPE OF WORK

- 1) THE WIRELESS COMMUNICATIONS FACILITY IS NOT INTENDED FOR HUMAN OCCUPANCY
- 2) THE SCOPE OF WORK CONSISTS OF MODIFYING THE EXISTING WIRELESS INSTALLATION:
 - A. REMOVAL ALL EXISTING MICROCELL EQUIPMENT CABINET
 - B. INSTALLATION OF NEW EQUIPMENT CABINET
 - C. REMOVAL OF EXISTING ANTENNAS
 - D. INSTALLATION OF NEW ANTENNAS
 - E. INSTALLATION OF NEW RPLS (REMOTE RADIO UNITS)
 - F. INSTALLATION OF GPS ANTENNA
 - G. INSTALLATION OF NEW HYBRID CABLE
 - J. INSTALLATION OF NEW A2 UNITS

APPLICABLE CODES & STANDARDS

- INTERNATIONAL BUILDING CODE, 2006 EDITION AS ADOPTED BY LOCAL JURISDICTION.
- NATIONAL ELECTRICAL CODE, 2008 EDITION AS ADOPTED BY LOCAL JURISDICTION.
- UNIFORM MECHANICAL CODE, 2006 EDITION AS ADOPTED BY LOCAL JURISDICTION.
- INTERNATIONAL ENERGY CONSERVATION CODE, 2006 EDITION AS ADOPTED BY LOCAL JURISDICTION.

DRIVING DIRECTIONS

DEPART DALLAS/FT WORTH INTERNATIONAL AIRPORT
 START OUT GOING NORTH ON E AIRFIELD DR TOWARD
 E 31ST ST. 0.1 MI MAKE A U-TURN AT E 31ST ST
 ONTO E AIRFIELD DR. 0.5 MI TURN LEFT ONTO W
 WALNUT HILL LN. 0.8 MI TURN SLIGHT RIGHT ONTO
 TX-161. 0.8 MI MERGE ONTO TX-161 S VIA THE
 RAMP ON THE LEFT. 0.9 MI MERGE ONTO TX-163 E
 TOWARD DALLAS. 8.9 MI TX-163 E BECOMES I-30E
 S/US-77 S. 17.4 MI TAKE THE BELT LINE RD EXIT,
 EXIT 414, TOWARD FM-1352. 0.5 MI GO STRAIGHT
 TO GO ONTO N BECKLEY AVE. 0.7 MI TURN LEFT
 ONTO E BELT LINE RD. 5.1 MI 1013 E BELT LINE
 RD IS ON THE LEFT.

CONTACTS

APPLICANT:
 SPRINT PCS
 1 INTERNATIONAL BOULEVARD
 SUITE #800
 MAHWAH, N.J. 07495
 201-684-4000

PRIME CONTRACTOR:
 ERICSSON
 6300 LEGACY DRIVE
 PLANO, TEXAS 75024, USA
 PHONE: 972-863-0927

SITE ACQUISITION MANAGER:
 CHAD BLUNT
 972-583-0926

CONSTRUCTION MANGER:
 EUGENE WHITING
 919-302-2085

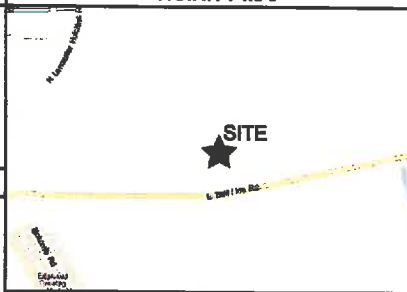
RF ENGINEER:
 GARY PEARCE
 gary.pearce@ericsson.com

TOWER OWNER:
 CITY OF LANCASTER
 CONTACT: JASON OR STEVEN
 PHONE: 214-536-1433

ARCHITECT/ENGINEER:
 ALLPRO CONSULTING GROUP, INC.
 9221 LYNDON B. JOHNSON FREEWAY,
 SUITE 204
 DALLAS, TX 75243
 CONTACT: JOJI M. GEORGE P.E.
 OFFICE: 972-231-8893
 FAX: 866-364-8375
TELEPHONE COMPANY:
 SOUTHWESTERN BELL
 1888-772-8098

POWER COMPANY:
 TXU
 1-800-24-9113

VICINITY MAP



APPROVALS

SPRINT REPRESENTATIVE	DATE
SPRINT RF ENGINEERING	DATE
SITE OWNER	DATE
SPRINT CONSTRUCTION MANAGER	DATE

THE ABOVE PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.

SITE ACCESS PROCEDURES

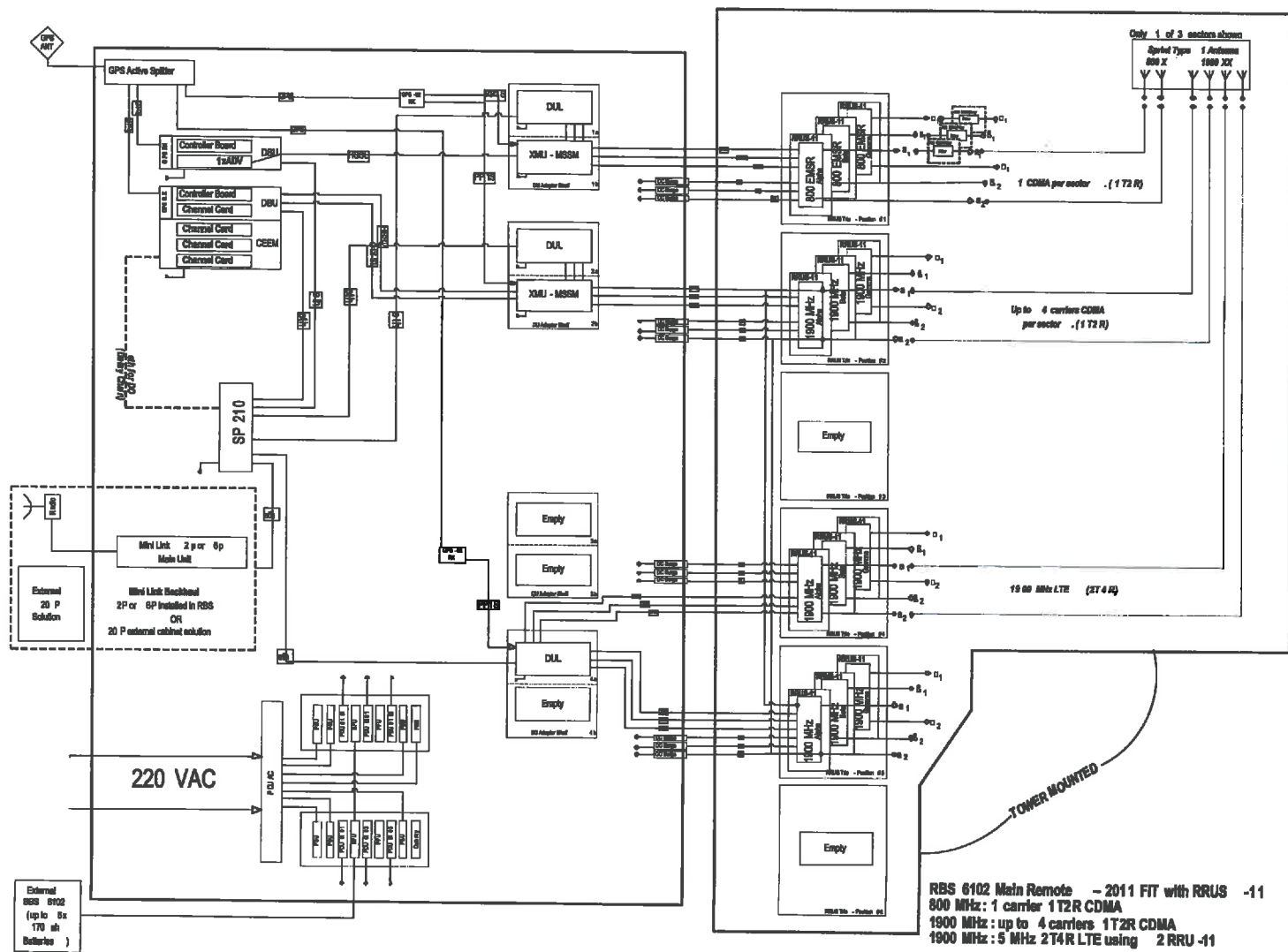
TURN INTO ACCESS ROAD FROM BELTLINE RD. INTO GATED SITE ACCESS CONTACT: JASON OR STEVEN 214-536-1433

LIST OF DRAWINGS

SITE GENERAL ARRANGEMENT PLANS	
T-1	TITLE SHEET
T-2	GENERAL NOTES
T-3	GENERAL NOTES
T-4	GENERAL NOTES
ARCHITECTURAL / CIVIL PLANS	
A-1	OVERALL SITE PLAN
A-2	ENLARGE SITE PLAN
A-3	EQUIPMENT SITE PLANS
A-4	SITE ELEVATION
A-5	EQUIPMENT SCHEDULE & RFDS
A-6	ANTENNA PLUMBING DIAGRAM
A-7	ENLARGED ANTENNA PLANS & COAX RUN DIAGRAM
A-8	(E) COLOR CODING
A-9	(N) COLOR CODING
A-10	DETAILS
A-11	DETAILS
ELECTRICAL PLANS	
E-1	ELECTRICAL PLAN & DETAILS
E-2	POWER/TELCO DIAGRAMS
E-3	GROUNDING PLANS - TEMPORARY
E-4	GROUNDING PLANS - FINAL
E-5	ELECTRICAL DETAILS
E-6	GROUNDING DETAILS
E-7	GROUNDING DETAILS

NOTE: DRAWING SCALES ARE FOR 24"x36" SHEETS UNLESS OTHERWISE NOTED.





PREPARED FOR:

Sprint

1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07495

CONSULTANT:

ALLPRO
CONSULTING GROUP, INC.
8221 LYNDON B. JOHNSON FREEWAY
SUITE 200, DALLAS, TX 75243
PHONE: 972-351-4800
FAX: 972-351-4274
WWW.ALLPROCONSULTING.COM
FIRM REGISTRATION # 0204
ACR # 11-4304

SITE NAME:
F2- LANCASTER WATER TOWER

SITE NUMBER:
DA58XC800

SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

STAMP:

STATE OF TEXAS
JOHN MOTTACKAL GEORGE
91793
LICENSED PROFESSIONAL ENGINEER

04/10/12

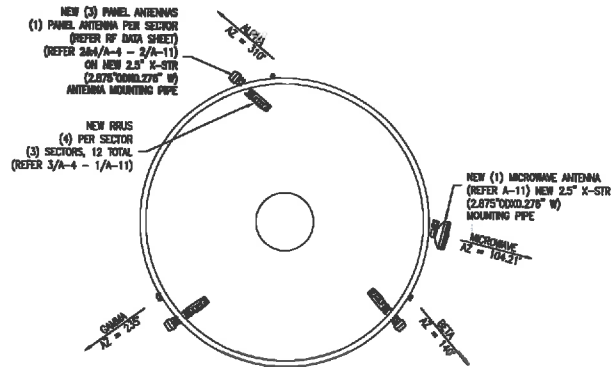
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APPROVED BY:	JMG
DATE DRAWN:	08/04/11

NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 90% CD	MAM	08/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
ANTENNA PLUMBING DIAGRAMS

SHEET NUMBER:
A-6

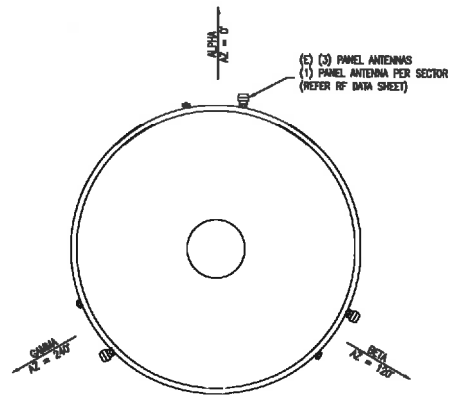
RBS 6102 Main Remote - 2011 FIT with RRU5 -11
800 MHz: 1 carrier 1T2R CDMA
1900 MHz: up to 4 carriers 1T2R CDMA
1900 MHz: 5 MHz 2T4R LTE using 2 RRU -11



4 PROPOSED ANTENNA PLAN - FINAL

FULL SIZE PLOT: SCALE: 1/4" = 1'-0"
HALF SIZE PLOT: SCALE: 1/8" = 1'-0"

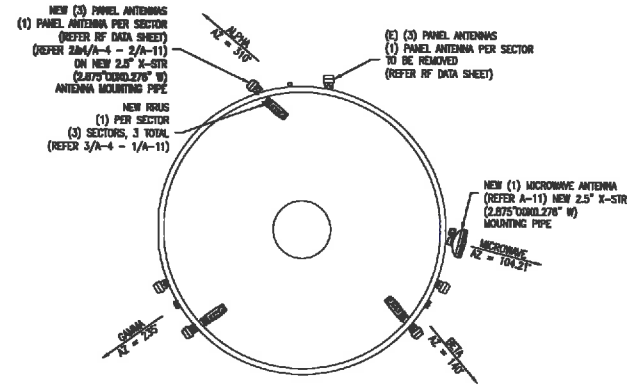
0 1 2 4



2 EXISTING ANTENNA PLAN

FULL SIZE PLOT: SCALE: 1/4" = 1'-0"
HALF SIZE PLOT: SCALE: 1/8" = 1'-0"

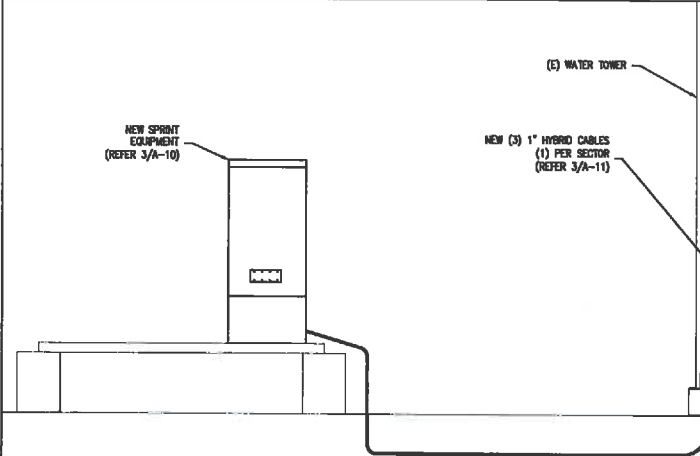
0 1 2 4



3 PROPOSED ANTENNA PLAN - HOT SWAP

FULL SIZE PLOT: SCALE: 1/4" = 1'-0"
HALF SIZE PLOT: SCALE: 1/8" = 1'-0"

0 1 2 4



1 COAX RUN DIAGRAM

FULL SIZE PLOT: SCALE: 1/2" = 1'-0"
HALF SIZE PLOT: SCALE: 1/4" = 1'-0"

0 1 2 4

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07485

CONSULTANT:

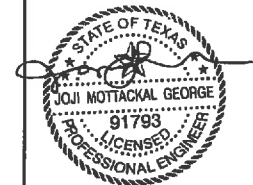


SITE NAME:
**F2- LANCASTER
WATER TOWER**

SITE NUMBER:
DA58XC800

SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 76148
DALLAS COUNTY

STAMP:



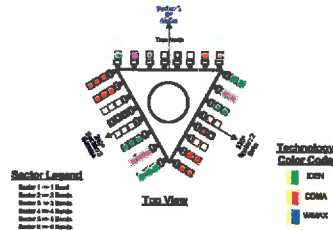
04/10/12

DRAWN BY:	MAM
APPROVED BY:	JMG
DATE DRAWN:	06/04/11
REVISION	
NO	DESCRIPTION
0	SUBMISSION: 90% CD MAM 06/04/11
0	100% CD PER RL JJ 10/13/11
1	100% CD PER RL JS 04/4/12
1	100% CD PER DCAD JS 04/10/12

SHEET TITLE:
**ENLARGED ANTENNA
PLANS**

SHEET NUMBER:
A-7

ANTENNA AND CABLE COLOR CODING (3 Bandwidth / Multiple RF Channels) Assuming 8 Wires and Antennas

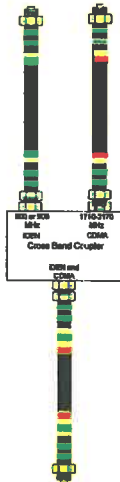


Example - Sector 1 and Cable 3 (IDEN)

Example - Sector 2 and Cable 5 (CDMA)

Example - Sector 2 and Cable 1 (IDEN & CDMA)

1. Color Band to be 2" wide on main line.
2. Spacing to be 1" between bands and 2" between line and technology bands. No space between technology color bands.
3. Color band on Jumper 1" wide w/ 1" space.
4. Start color bands 2" beyond weatherproofing.
5. Start Sector Color next to end connector.



3 ANTENNA & CABLE COLOR CODE SCALE: N.T.S.

Typical Coax Cable Color Coding Scheme				
Sector	Cable	First Ring	Second Ring	Third Ring
1 Alpha	1	Yellow	No Tape	No Tape
	2	Red	No Tape	No Tape
	3	Blue	No Tape	No Tape
	4	White	No Tape	No Tape
	5	Red	No Tape	No Tape
	6	Grey	No Tape	No Tape
	7	Purple	No Tape	No Tape
	8	Orange	No Tape	No Tape
2 Beta	1	Yellow	No Tape	No Tape
	2	Red	No Tape	No Tape
	3	Blue	No Tape	No Tape
	4	White	White	No Tape
	5	Red	Red	No Tape
	6	Grey	Grey	No Tape
	7	Purple	Purple	No Tape
	8	Orange	Orange	No Tape
3 Gamma	1	Yellow	No Tape	No Tape
	2	Red	No Tape	No Tape
	3	Blue	No Tape	No Tape
	4	White	White	White
	5	Red	Red	Red
	6	Grey	Grey	Grey
	7	Purple	Purple	Purple
	8	Orange	Orange	Orange

5 COAXIAL CABLE COLOR CODE SCALE: N.T.S.

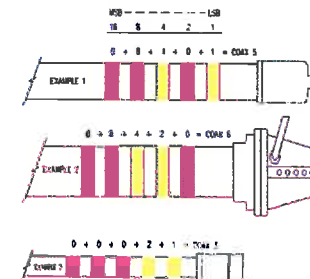
Technology Color Code	First Ring	Second Ring
IDEN	Yellow	Green
CDMA	Yellow	Red
WIMAX	Yellow	Blue

2 FREQUENCY COLOR CODE SCALE: N.T.S.

MICROWAVE LINE COLOR CHART					
CABLE	STRIPE 1	STRIPE 2 (2)	STRIPE 3 (4)	STRIPE 4 (8)	STRIPE 5 (16)
1	YELLOW	PURPLE	PURPLE	PURPLE	PURPLE
2	PURPLE	YELLOW	PURPLE	PURPLE	PURPLE
3	YELLOW	YELLOW	PURPLE	PURPLE	PURPLE
4	PURPLE	PURPLE	YELLOW	PURPLE	PURPLE
5	YELLOW	PURPLE	YELLOW	PURPLE	PURPLE
6	PURPLE	YELLOW	YELLOW	PURPLE	PURPLE
7	YELLOW	YELLOW	YELLOW	PURPLE	PURPLE
8	PURPLE	PURPLE	PURPLE	YELLOW	PURPLE
9	YELLOW	PURPLE	PURPLE	YELLOW	PURPLE
10	PURPLE	YELLOW	PURPLE	YELLOW	PURPLE
11	YELLOW	YELLOW	PURPLE	YELLOW	PURPLE
12	PURPLE	PURPLE	YELLOW	YELLOW	PURPLE
13	YELLOW	PURPLE	YELLOW	YELLOW	PURPLE
14	PURPLE	YELLOW	YELLOW	YELLOW	PURPLE
15	YELLOW	YELLOW	YELLOW	YELLOW	PURPLE
16	PURPLE	PURPLE	PURPLE	PURPLE	YELLOW
17	YELLOW	PURPLE	PURPLE	PURPLE	YELLOW
18	PURPLE	YELLOW	PURPLE	PURPLE	YELLOW
19	YELLOW	YELLOW	PURPLE	PURPLE	YELLOW
20	PURPLE	PURPLE	YELLOW	PURPLE	YELLOW
21	YELLOW	PURPLE	YELLOW	PURPLE	YELLOW
22	PURPLE	YELLOW	YELLOW	PURPLE	YELLOW
23	YELLOW	YELLOW	YELLOW	PURPLE	YELLOW
24	PURPLE	PURPLE	PURPLE	YELLOW	YELLOW

NOTE: LABELS SHALL BE PLACED CLOSEST TO THE CONNECTOR END OF THE CABLE

4 MICROWAVE COLOR CODE CHART SCALE: N.T.S.



1 MICROWAVE CABLE COLOR CODE SCALE: N.T.S.

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07485

CONSULTANT:



9221 LYNDON B. JOHNSON FREEWAY
SUITE 204, DALLAS, TX 75243
PHONE: 972-261-4883
FAX: 972-261-4371
WWW.ALLPROCONS.COM
FIRM REGISTRATION # 9242
AGE # 11-4304

SITE NAME:

**F2- LANCASTER
WATER TOWER**

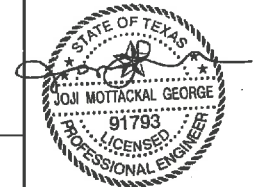
SITE NUMBER:

DA58XC800

SITE ADDRESS:

1013 E. BELTLINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY:	MAM
APPROVED BY:	JMG
DATE DRAWN:	08/04/11
REVISION	
NO	DESCRIPTION
0	SUBMISSION: 90% CD
0	100% CD PER RL
1	100% CD PER RL
1	100% CD PER DCD

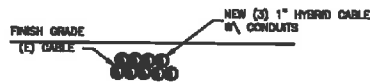
BY	DATE
MAM	08/04/11
JJ	10/13/11
JS	04/4/12
JS	04/10/12

SHEET TITLE:

(E) COLOR CODING

SHEET NUMBER:

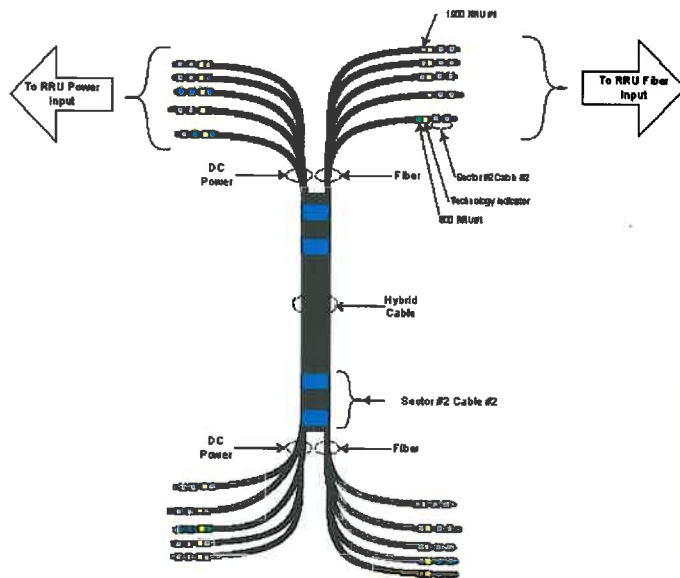
A-8



5 CABLE TRAY/ICE BRIDGE

NOTE:

HYBRID CABLE WILL BE MARKED IN A SIMILAR MANNER AS COAX CABLE DESCRIBED IN THE "ANTENNA & CABLE COLOR CODE" LABEL LOCATED ON THE SHEET. THE MAIN "TRUNK" OF THE HYBRID CABLE WILL NOT BE MARKED WITH THE FREQUENCY CODE AS THE HYBRID CABLE IN MANY CASES WILL CONTAIN ALL TECHNOLOGIES. THE INDIVIDUAL POWER PAIRS AND FIBER CABLES WILL BE LABELED WITH BOTH THE FREQUENCY AND SECTOR CABLE MARKINGS.



3 HYBRID CABLE COLOR CODE

SCALE: N.T.S.

Sector	Cable	First Ring	Second Ring	Third Ring
1 Alpha	1	Green	No Tape	No Tape
1	2	Blue	No Tape	No Tape
1	3	Brown	No Tape	No Tape
1	4	White	No Tape	No Tape
1	5	Red	No Tape	No Tape
1	6	Slate	No Tape	No Tape
1	7	Orange	No Tape	No Tape
1	8	Orange	No Tape	No Tape
2 Beta	1	Green	Green	No Tape
2	2	Blue	Blue	No Tape
2	3	Brown	Brown	No Tape
2	4	White	White	No Tape
2	5	Red	Red	No Tape
2	6	Slate	Slate	No Tape
2	7	Orange	Orange	No Tape
2	8	Orange	Orange	No Tape
3 Gamma	1	Green	Green	Green
3	2	Blue	Blue	Blue
3	3	Brown	Brown	Brown
3	4	White	White	White
3	5	Red	Red	Red
3	6	Slate	Slate	Slate
3	7	Orange	Orange	Orange
3	8	Orange	Orange	Orange

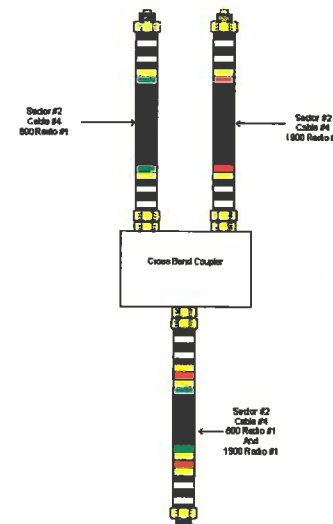
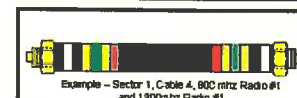
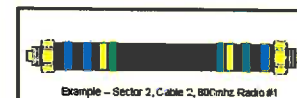
4 COAXIAL CABLE COLOR CODE

SCALE: N.T.S.

Frequency	Indicator	ID
800 #1	Yellow	Green
1900 #1	Yellow	Red
1900 #2	Yellow	Brown
Reserved	Yellow	Blue
Reserved	Yellow	White
Reserved	Yellow	Orange
Reserved	Yellow	Slate
Reserved	Yellow	White
1600 #1	Yellow	Blue

2 FREQUENCY COLOR CODE

SCALE: N.T.S.



1 ANTENNA & CABLE COLOR CODE

SCALE: N.T.S.

PREPARED FOR:



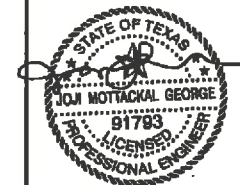
1 INTERNATIONAL BOULEVARD
SUITE 1600
MARTIN, N.J. 07465

CONSULTANT:



SITE NAME:
F2- LANCASTER WATER TOWER
SITE NUMBER:
DA58XC800
SITE ADDRESS:
1013 E. BELTUNE ROAD
LANCASTER, TX 76146
DALLAS COUNTY

STAMP:



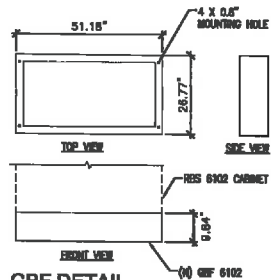
04/10/12

DRAWN BY:		MAM	
APPROVED BY:		JMG	
DATE DRAWN:		08/04/11	
REVISION			
NO	DESCRIPTION	BY	DATE
0	SUBMISSION: BAK CO	MAM	08/04/11
6	100% CO PER RL	JM	10/13/11
1	100% CO PER RL	JS	04/4/12
1	100% CO PER DEAD	JS	04/10/12

SHEET TITLE:
NEW COLOR CODING

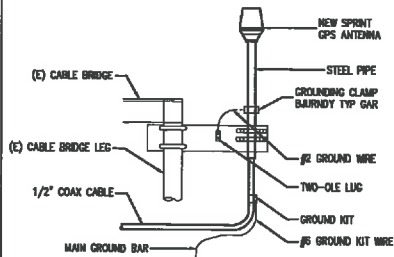
SHEET NUMBER:
A-9

MANUFACTURER: ERICSSON
MODEL: GLOBAL BASE FRAME (RFS) 6102
WEIGHT: <44.0 LBS.

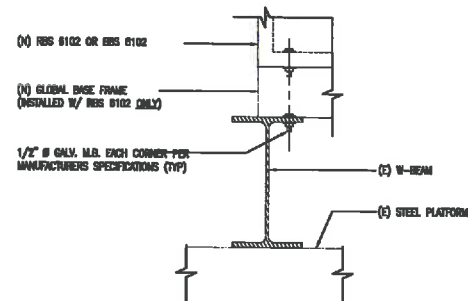


5 GBF DETAIL
SCALE: N.T.S.

4

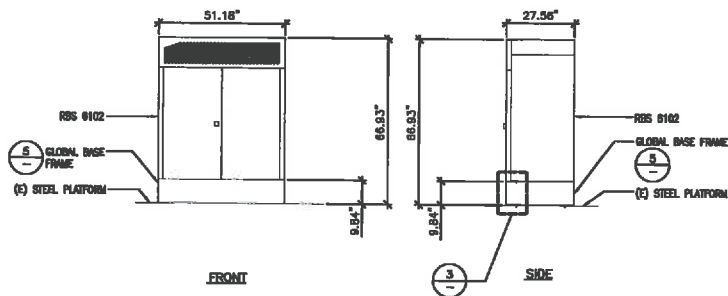


3 CABINET MOUNTING DETAIL
SCALE: N.T.S.



ERICSSON RBS 6102	
DIMENSIONS	51.18\"W x 27.56\"D x 48.63\"H
WEIGHT	**771.82 LBS.
MINIMUM CLEARANCES	
FRONT	27.56\"
SIDES	1.97\"
REAR	7.87\"

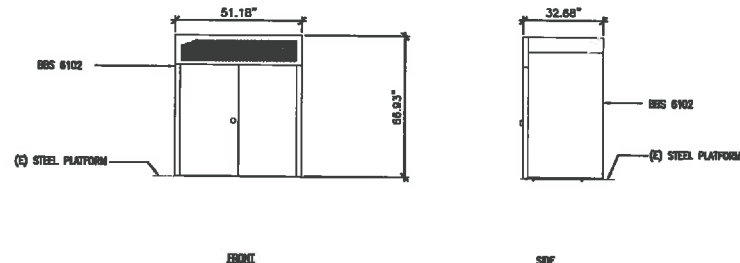
**WEIGHT SHOWN ON THE TABLE INCLUDES GLOBAL BASE FRAME, PROVIDED BY ERICSSON.
**WEIGHT SHOWN ON THE TABLE INCLUDES GLOBAL BASE FRAME, PROVIDED BY ERICSSON.



2 RBS 6102
SCALE: N.T.S.

ERICSSON RBS 6102	
DIMENSIONS	51.18\"W x 32.68\"D x 57.30\"H
WEIGHTS	**446.74 - 588.78 LBS.
	**481.43 - 654.77 LBS.
MINIMUM WEIGHTS	*** 583.8 LBS.
	*** 2,884 LBS.
MINIMUM CLEARANCES	
FRONT	31.00\"
SIDES	8.00\"
REAR	8.00\"

**WEIGHT SHOWN ON THE TABLE INCLUDES AIR MOUNTING
**WEIGHT SHOWN ON THE TABLE INCLUDES AIR MOUNTING
***WEIGHT SHOWN ON THE TABLE AND EACH OF THE 4 TYP IN WEIGHT
***WEIGHT SHOWN ON THE TABLE AND EACH OF THE 4 TYP IN WEIGHT



1 RBS 6102
SCALE: N.T.S.

PREPARED FOR:



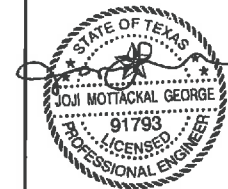
1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07485

CONSULTANT:



SITE NAME:
**F2- LANCASTER
WATER TOWER**
SITE NUMBER:
DA58XC800
SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75148
DALLAS COUNTY

STAMP:

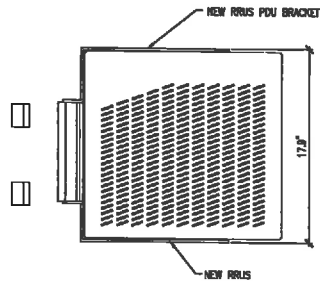


04/10/12

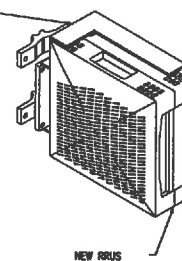
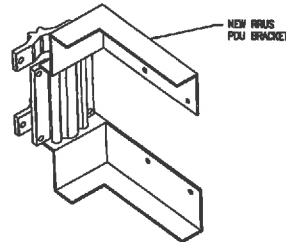
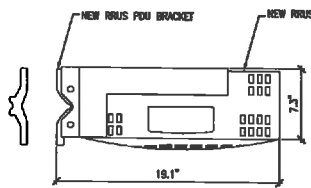
DRAWN BY:		MAM	
APPROVED BY:		JMG	
DATE DRAWN:		08/04/11	
REVISION			
NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 90% CD	MAM	08/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
DETAILS

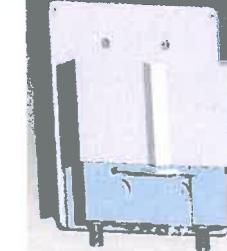
SHEET NUMBER:
A-10



5 RRUS - PDU MOUNTING BRACKET
SCALE: N.T.S.



ERISSON A2 MODULE
-DIMENSIONS (W x H x D):
15.0" x 12.5" x 3.4"
-VOLUME 10.76 LITERS
-WEIGHT: 0.6 KGS (1.3 LBS)



6 A2 MODULE DETAIL
SCALE: N.T.S.

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07438

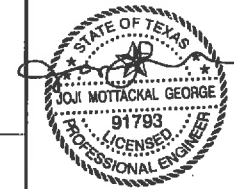
CONSULTANT:



CONSULTING GROUP, INC.
801 LYNDEN & JOHNSON FREEWAY
SUITE 204, DALLAS, TX 75243
PHONE: 972-354-8800
FAX: 972-354-8805
WWW.ALLPROCONSULTING.COM
FIRM REGISTRATION NO. 00000000000000000000
AOR # 11-4304

SITE NAME:
F2- LANCASTER WATER TOWER
SITE NUMBER:
DA58XC800
SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75148
DALLAS COUNTY

STAMP:



04/10/12

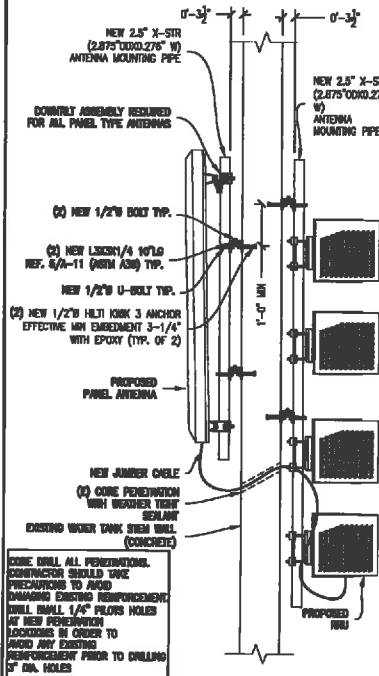
DRAWN BY:	MAM
APPROVED BY:	JMG
DATE DRAWN:	08/04/11
REVISION	
NO	DESCRIPTION
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0	100% CD PER RL
1	100% CD PER RL
1	100% CD PER DCD

SHEET TITLE:

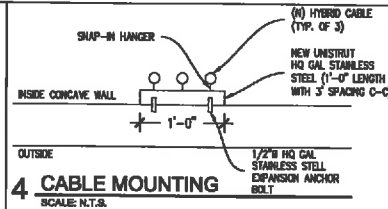
DETAILS

SHEET NUMBER:

A-11



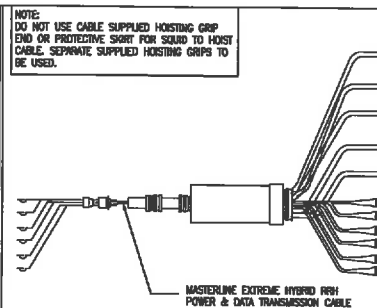
6 MOUNTING SECTIONS / PANEL OR DISH MOUNT



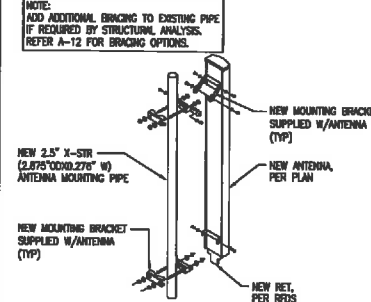
4 CABLE MOUNTING
SCALE: N.T.S.

UNITS	PIPE SIZE TYPE	PIPE SIZE CODE	W	X
IN	2.5" X-STR	2.5P	3.1250	3.1250
IN	2.5" X-STR	2.5P	3.1250	3.1250
IN	2.5" X-STR	2.5P	3.1250	3.1250
IN	2.5" X-STR	2.5P	3.1250	3.1250

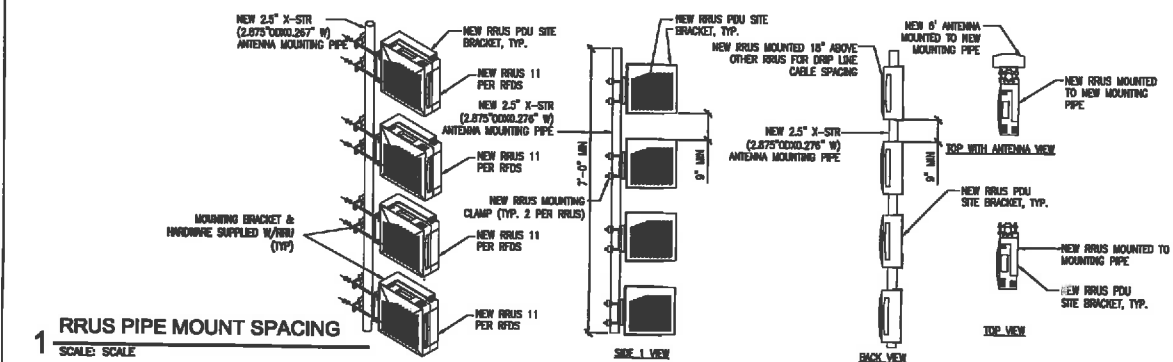
5 L3X3X1/4 10"LG WALL MOUNT
SCALE: N.T.S.



3 NEW CABLES
SCALE: N.T.S.



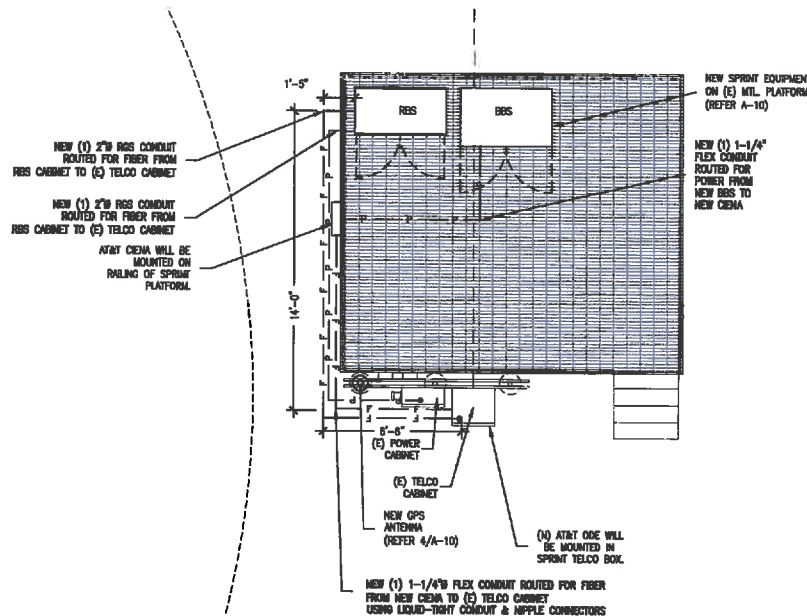
2 ANTENNA MOUNTING
SCALE: N.T.S.



1 RRUS PIPE MOUNT SPACING
SCALE: SCALE

3 DETAIL

SCALE: 1/2" = 1'-0"



1 UTILITIES SITE PLAN

FULL SIZE PLAN: SCALE: 1/4" = 1'-0"
HALF SIZE PLAN: SCALE: 1/8" = 1'-0"

0 1 2 4

2 DETAIL

SCALE: 1/2" = 1'-0"

ABBREVIATIONS:

A	AMPERE
AF	AMPERE FRAME
AG	ANTENNA GROUND BWR
C	CONDUIT
G	GROUND
HR	GROUND HOUR
HR	UNDER GROUND BWR
HR	MAIN CIRCUIT BREAKER
P	POLYVINYL CHLORIDE
P	POLE
RM	RED METAL CONDUIT
SN	SOLID NEUTRAL
V	VOLT
W	WIRE
W	PHASE

ELECTRICAL NOTES:

- ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), AND APPLICABLE LOCAL CODES.
- GROUNDING SHALL COMPLY WITH ARTICLE 250 OF NATIONAL ELECTRICAL CODE.
- ALL ELECTRICAL ITEMS SHALL BE UL APPROVED OR LISTED.
- ALL WIRES SHALL BE AWG MIN #12 100% COPPER UNLESS NOTED OTHERWISE.
- CONDUIT SHALL BE INSTALLED IN SCHEDULE 40 PVC CONDUIT UNLESS NOTED OTHERWISE.
- LABEL SPRINT SERVICE DISCONNECT SWITCH AND PFC CABINET WITH ENGRAVED ALUMINUM LABELS, LETTERS 1" IN HEIGHT.
- ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE. BEND GROUNDING LEGS WITH A MINIMUM 6" RADIUS.
- ENGAGE AN INDEPENDENT TESTING FIRM TO TEST AND VERIFY THAT RESISTANCE DOES NOT EXCEED 5 OHMS TO GROUND. TEST GROUND RIG RESISTANCE PRIOR TO MAKING FINAL GROUND CONNECTIONS TO INFRASTRUCTURE AND EQUIPMENT. GROUNDING AND OTHER OPERATIONAL TESTING SHALL BE WITNESSED BY SPRINT REPRESENTATIVE.
- PROVIDE PULL BOXES AND JUNCTION BOXES WHERE REQUIRED SO THAT CONDUIT BENDS DO NOT EXCEED 360°.
- OWN PERMITS AND PAY FEES RELATED TO ELECTRICAL WORK PERFORMED ON THIS PROJECT. DELIVER COPIES OF ALL PERMITS TO SPRINT REPRESENTATIVE.
- SCHEDULE AND ATTEND INSPECTIONS RELATED TO ELECTRICAL WORK REQUIRED BY JURISDICTION HAVING AUTHORITY. CORRECT AND PAY FOR ANY WORK REQUIRED TO PASS ANY FIELD INSPECTION.
- REQUIRED AS-BUILTS ARE TO BE DELIVERED TO SPRINT REPRESENTATIVE.
- PROVIDE TWO COPIES OF OPERATION AND MAINTENANCE MANUALS IN THREE-RING BINDER.
- FINISH AND INSTALL THE COMPLETE ELECTRICAL SERVICE, TELCO CONDUIT, AND THE COMPLETE GROUNDING SYSTEM.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. INSTALLED IN A NEAT MANNER, AND SHALL BE SUBJECT TO APPROVAL BY SPRINT REPRESENTATIVE.
- CONDUCT A PRE-CONSTRUCTION SITE VISIT AND VERIFY EXISTING SITE CONDITIONS AFFECTING THIS WORK. REPORT ANY OMISSIONS OR DISCREPANCIES FOR CLARIFICATION PRIOR TO THE START OF CONSTRUCTION.
- PROTECT ADJACENT STRUCTURES AND FINISHES FROM DAMAGE. REPAIR TO ORIGINAL.
- REMOVE DEBRIS ON A DAILY BASIS. DEBRIS NOT REMOVED IN A TIMELY FASHION WILL BE REMOVED BY OTHERS AND THE RESPONSIBLE SUBCONTRACTOR SHALL BE CHARGED ACCORDINGLY. REMOVAL OF DEBRIS SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE. DEBRIS SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF LEGALLY.
- UPON COMPLETION OF WORK, THE SITE SHALL BE CLEAN AND FREE OF DUST AND FINGERPRINTS.
- REFER TO ANY TRICHOGRAPHY, CONTACT LOCAL UTILITY TO VERIFY LOCATION OF ANY EXISTING BURIED SERVICE CONDUITS.
- DOCUMENT GROUND RING INSULATION AND CONNECTIONS TO IT WITH PHOTOGRAPHS PRIOR TO INSTALLING SITE. PRESENT PHOTO ARCHIVE AT SITE "PUNCH LIST" WALK TO SPRINT'S REPRESENTATIVE.

LEGEND:

(M)	KILOWATT HOUR METER
----	COPPER GROUND BWR MOUNTED ON ISOLATORS
— —	CIRCUIT BREAKER
S	TOGGLE LIGHT SWITCH
Ⓢ	JUNCTION BOX
Ⓢ	GROUND TEST WELL
•	EXOTHERMIC BONDING CONNECTION
Ⓢ	5/8" DIA X 10'-0" COPPER-CLAD STEEL GROUND ROD
Ⓢ	120 VOLT NEMA CONFIGURATION 5-20R DUPLEX RECEPTACLE MOUNTED 18" AFF
—P—	POWER WIRING
—T—	TELCO WIRING
—G—	GROUND WIRE
—F—	FIBER WIRE

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07495

CONSULTANT:



SITE NAME:
F2-LANCASTER WATER TOWER
SITE NUMBER:
DA58XC800
SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75140
DALLAS COUNTY

STAMP:



04/10/12

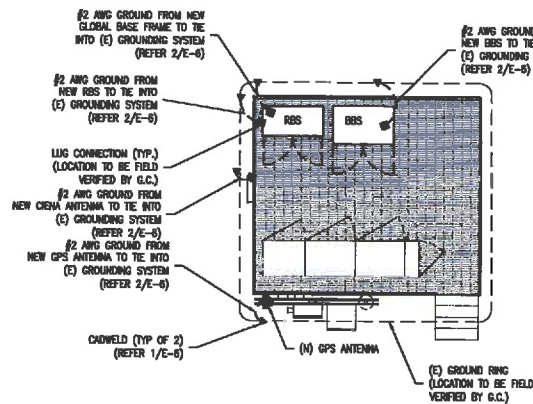
DRAWN BY:		MAM	
APPROVED BY:		JMG	
DATE DRAWN:		08/04/11	
REVISION			
NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 80% CD	MAM	08/04/11
0	100% CD PER RL	JW	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER CDAD	JS	04/10/12

SHEET TITLE:
UTILITIES SITE PLAN
SHEET NUMBER:
E-1

2 ANTENNA GROUNDING (HOT SWAP)

SCALE: 1/4" = 1'-0"
0 1' 2' 4' 8'

NOTE: REFER TO SHEET E-4 FOR GROUNDING PLANS FOR FINAL CONFIGURATIONS.



1 GROUNDING PLAN (HOT SWAP)

TRUE NORTH
FULL SIZE PLD: SCALE: 1/4" = 1'-0"
HWP SIZE PLD: SCALE: 1/8" = 1'-0"
0 1' 2' 4' 8'

NOTE: REFER TO SHEET E-4 FOR GROUNDING PLANS FOR FINAL CONFIGURATIONS.

GROUNDING NOTES:

1. ALL DOWN CONDUCTORS AND GROUND RING CONDUCTOR SHALL BE #2 AWG, SOLID, BARE, TINNED COPPER, UNO. ALL CONNECTIONS TO GROUND RING SHALL BE EXOTHERMICALLY WELDED. CONDUCTOR SHALL BE A MINIMUM DEPTH BELOW GRADE OF 30 INCHES OR TO THE LEDGE. MINIMUM BEND RADIUS SHALL BE 8 INCHES. CONDUCTOR SHALL BE AT LEAST 24 INCHES FROM ANY FOUNDATION, UNO.
2. ELECTRICAL SERVICE GROUND ROD SHALL BE COPPER CLAD STEEL, HARDER, T88, E800 OR EQUIVALENT.
3. WHERE MECHANICAL CONDUCTOR CONNECTIONS ARE SPECIFIED, BOLTED, COMPRESSION-TYPE CLAMPS OR SPLIT-BOLT TYPE CONNECTORS SHALL BE USED.
4. GRIND OFF GALVANIZING IN AFFECTED AREA. EXOTHERMICALLY WELD #2 CONDUCTOR AT 8 INCHES ABOVE GRADE OR FOUNDATION, WHICHEVER IS HIGHER. COLD-GALV AFTER EXOTHERMICALLY WELD OTHER END TO GROUND.
5. GROUND CONDUCTORS ON EXTERIOR WALL OF SHELTER SHALL BE ENCASED IN 3/4" PVC CONDUIT TO GRADE. MOUNT PVC WITH GALVANIZED "C" CLAMPS. SEAL TOP ENDS.
6. FOLLOWING COMPLETION OF WORK, CONDUCT GROUND TEST. SUBMIT WRITTEN TEST TO CONSTRUCTION MANAGER AND PROJECT MANAGER.
7. ALL GROUNDING WORK SHALL COMPLY WITH CARRIER(S) STANDARDS.
8. GROUNDING REQUIREMENTS SHOWN ON THIS PLAN ARE FOR ITEMS THAT ARE LOCATED NEAR GRADE LEVEL AND THAT NEED TO BE TIED TO THE BELOW GRADE GROUND RING.
9. UNLESS NOTED OTHERWISE, ALL GROUNDING SHALL BE IN ACCORDANCE WITH SPRINT'S S88 DOCUMENTS 3.01A.02.004 "BONDING, GROUNDING AND TRANSIENT PROTECTION FOR CELL SITES", AND 3.01B.10.002 "SITE RESISTANCE TO EARTH TESTING". ALL GROUNDING SHALL ALSO COMPLY WITH ALL STATE AND LOCAL CODES, AND THE NATIONAL ELECTRICAL CODE (NEC).
10. THE GROUND RING SHALL BE INSTALLED WITHIN 16 TO 24 INCHES FROM THE EQUIPMENT PAD FOUNDATION OR EQUIPMENT PLATFORM.
11. GROUND RODS SHALL NEVER BE SPACED HORIZONTALLY CLOSER THAN TWICE THE GROUND ROD LENGTH.
12. UNLESS NOTED OTHERWISE, ALL GROUNDING CONNECTIONS SHALL BE MADE BY AN EXOTHERMIC WELD.
13. NOTIFY THE CONSTRUCTION MANAGER 24 HOURS IN ADVANCE WHEN THE BURIED GROUND RING IS INSTALLED SO THAT A REPRESENTATIVE CAN INSPECT THE GROUND RING BEFORE IT IS BACKFILLED WITH SOIL.
14. RESISTANCE TO EARTH TESTING IS REQUIRED PER SMC STANDARDS ON ALL NEW SITES.

GROUNDING LEGEND:

SYMBOL	DESCRIPTION
▶	EXOTHERMIC WELD
—	GROUND CONDUCTOR
■	MECHANICAL CONNECTION
⚡	GROUND ROD EXOTHERMICALLY WELDED TO GROUND RING
—	INTERIOR GROUND LEAD
○	CHAIN LINK FENCE

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07465

CONSULTANT:



1221 LYNCHBURN JOHNSON FREEWAY
SUITE 204 DALLAS, TX 75243
PHONE: 972-351-4883
FAX: 972-351-4876
WWW.ALLPROCONSULT.COM
PROM REGISTRATION #4042
AEC # 11-4304

SITE NAME:

**F2- LANCASTER
WATER TOWER**

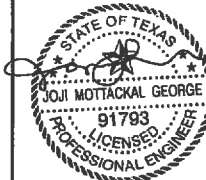
SITE NUMBER:

DA58XC800

SITE ADDRESS:

1013 E. BELTLINE ROAD
LANCASTER, TX 76148
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY: MAM

APPROVED BY: JMG

DATE DRAWN: 06/04/11

REVISION

NO	DESCRIPTION	BY	DATE
0	SUBMISSION; 90% CD	MAM	06/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:

**GROUNDING PLANS
(HOT SWAP)**

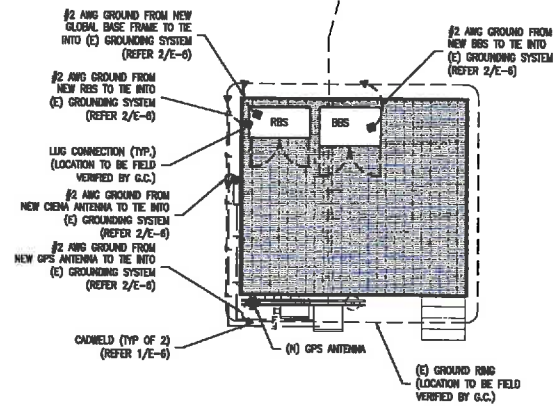
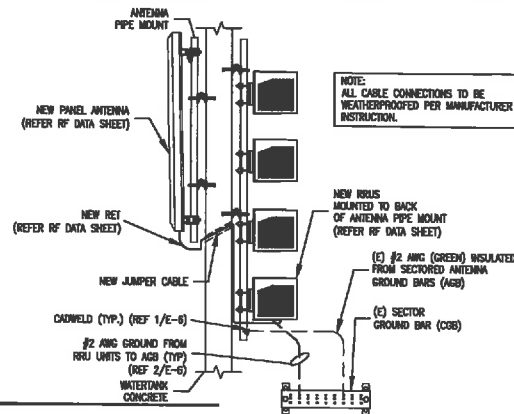
SHEET NUMBER:

E-3

2 ANTENNA GROUNDING (FINAL)

SCALE 1/4" = 1'-0"

NOTE: REFER TO SHEET E-3 FOR GROUNDING PLANS FOR TEMPORARY CONFIGURATIONS.



1 GROUNDING PLAN (FINAL)

FULL SIZE PLOT: SCALE 1/4" = 1'-0"
HALF SIZE PLOT: SCALE 1/8" = 1'-0"

NOTE: REFER TO SHEET E-3 FOR GROUNDING PLANS FOR TEMPORARY CONFIGURATIONS.

GROUNDING LEGEND:

SYMBOL	DESCRIPTION
—	EXTREMITY WELD
—	GROUND CONDUCTOR
—	MECHANICAL CONNECTION
—	GROUND ROD EXOTHERMICALLY WELDED TO GROUND RING
—	INTERIOR GROUND LEAD
—	CHAIN LINK FENCE

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07485

CONSULTANT:



SITE NAME:

F2- LANCASTER WATER TOWER

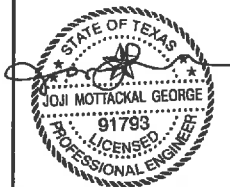
SITE NUMBER:

DA58XC800

SITE ADDRESS:

1013 E. BELTLINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY: MAM

APPROVED BY: JMG

DATE DRAWN: 08/04/11

NO	DESCRIPTION	BY	DATE
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0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
GROUNDING PLANS (FINAL)

SHEET NUMBER:

E-4

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07485

CONSULTANT:



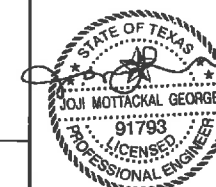
8221 LYNDON S. JOHNSON FREEWAY
SUITE 204, DALLAS, TX 75248
PHONE: 972-551-4888
FAX: 972-551-4875
WWW.ALLPROCONS.COM
FIRM REGISTRATION #042
ACR # 11-4304

SITE NAME:
**F2- LANCASTER
WATER TOWER**

SITE NUMBER:
DA58XC800

SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75145
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY:		MAM	
APPROVED BY:		JMG	
DATE DRAWN:		08/04/11	
REVISION			
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0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
ELECTRICAL DETAILS

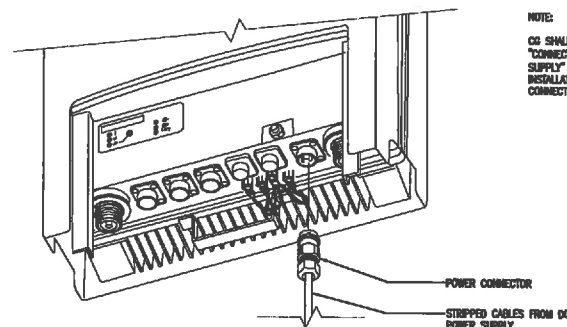
SHEET NUMBER:
E-5

6 NOT USED
SCALE: N.T.S.

5 NOT USED
SCALE: N.T.S.

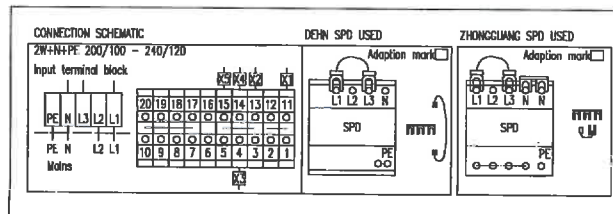
4 NOT USED
SCALE: N.T.S.

3 POWER CONNECTION AT RRUS
SCALE: 1/2" = 1'-0"



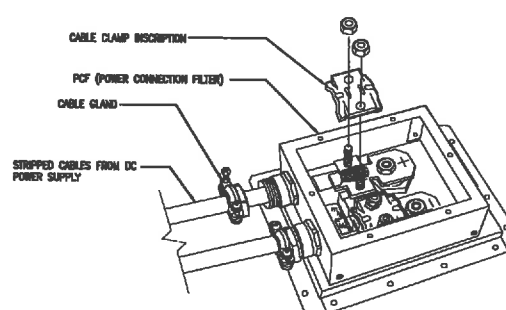
NOTE:
CG SHALL REFERENCE SECTION 8.4
"CONNECTING THE -60V DC POWER
SUPPLY" OF THE ERICSSON RRUS
INSTALLATION DOCUMENTS, FOR ALL
CONNECTION SPECIFICATIONS.

ONLY ONE OF THE SPD VARIANTS IS USED
2W+N+PE 200/100 - 240/120
240/120 V AC



2 AC POWER CONNECTION AT RBS
SCALE: N.T.S.

1 DC POWER CONNECTION AT RBS
SCALE: N.T.S.



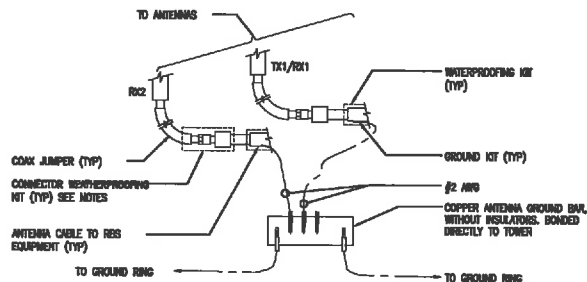
NOTE:
CG SHALL REFERENCE SECTION 10
"CONNECTING THE POWER SUPPLY"
OF THE ERICSSON RBS 6102
INSTALLATION DOCUMENTS, FOR ALL
CONNECTION SPECIFICATIONS.

7 NOT USED

SCALE: N.T.S.

NOTES:

- DO NOT INSTALL CABLE GROUND KIT AT A BOND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
- WEATHER PROOFING SHALL BE TWO-PART TAPE KIT. COLD SHRINK SHALL NOT BE USED.



4 ANTENNA GROUNDING KIT

SCALE: N.T.S.

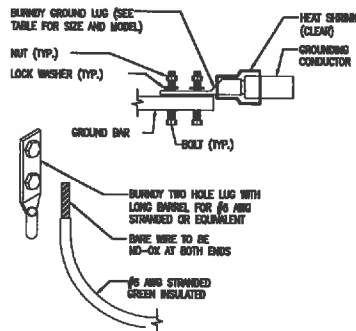
WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 AWG GREEN INSULATED	YAGC-27C36	3/8" - 18 NC S 2 BOLT
#2 AWG SOLID TINNED	YAGC-27C36	3/8" - 18 NC S 2 BOLT
#2 AWG STRANDED	YAGC-27C36	3/8" - 18 NC S 2 BOLT
#2/0 AWG STRANDED	YAGS-27C36	3/8" - 18 NC S 2 BOLT
#4/0 AWG STRANDED	YAGS-2N	1/2" - 18 NC S 2 BOLT

NOTES:

- ALL HARDWARE BOLTS, NUTS, LOCK WASHERS SHALL BE STAINLESS STEEL. ALL HARDWARE ARE TO BE AS FOLLOWS: BOLT, FLAT WASHER, GROUND BAR, GROUND LUG, FLAT WASHER AND NUT.
- COPPER SHIELD, ANTI-OK, OR NO-OK OR EQUIVALENT SHALL BE PLACED WHERE ALL DISSIMILAR METALS CONTACT.
- ALL LUGS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

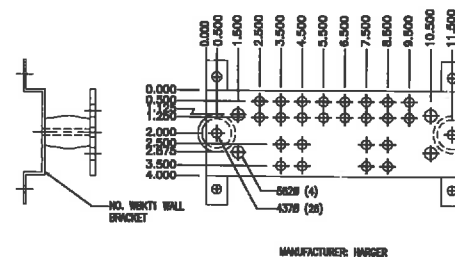
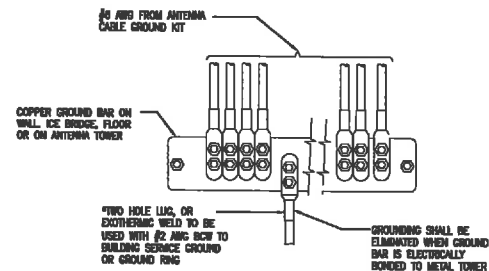
2 MECHANICAL LUG CONNECTION

SCALE: N.T.S.



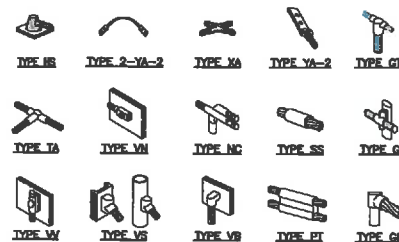
5 GROUNDWIRE INSTALLATION

SCALE: N.T.S.



3 12" GROUND BAR

SCALE: N.T.S.



NOTE:

EXOC EXOTHERMIC "BOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH PROJECT MANAGER FOR SPECIFIC MODELS TO BE USED FOR THIS PROJECT.

1 EXOTHERMIC WELD

SCALE: N.T.S.

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07445

CONSULTANT:

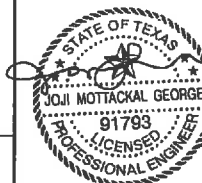


SITE NAME:
**F2- LANCASTER
WATER TOWER**

SITE NUMBER:
DA58XC800

SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY: MAM
APPROVED BY: JMG
DATE DRAWN: 08/04/11

NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 90% CD	MAM	08/04/11
0	100% CD PER RL	JU	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER CDAD	JS	04/10/12

SHEET TITLE:
GROUNDING DETAILS

SHEET NUMBER:
E-6



SHEET NUMBER: **E-7**

FIRST AMENDMENT TO THE LICENSE FOR COMMUNICATION FACILITIES

AMENDMENT NO. 1 to the License for Communications Facilities (this "**Amendment**"), effective as of the date last signed below ("**Effective Date**") is entered into between City of Lancaster, Texas, a Texas municipal corporation ("**City**") and Sprint Spectrum Realty Company, L.P., a Delaware limited partnership as successor-in-interest to Sprint Spectrum L.P. ("**Licensee**") and amends a certain Agreement between Licensee's predecessor and **City** dated June 9, 2003 (the "**Agreement**").

BACKGROUND

WHEREAS, Licensee desires to modify its installation on the Premises by installing, modifying, replacing, adding or exchanging out antennas and other equipment to the Licensee's Equipment as more particularly described in Exhibit A-1 and Exhibit B-1 attached hereto, and Licensee and City desire to modify the provisions of the Agreement as provided below.

NOW, THEREFORE, for good and valuable consideration the receipt and sufficiency of which are acknowledged, City and Licensee agree to amend the Agreement and hereby agrees to amend as follows:

1. **Modification to the Licensee's Equipment.** Section 1 and Section 2 of the Agreement shall be amended by amending Exhibit A and Exhibit B to add new equipment in Exhibit A-1 and Exhibit B-1 and to read follows:

"Exhibit A-1 and Exhibit B-1 supplements Exhibit A and Exhibit B to the Agreement, and shall not be deemed to supersede or otherwise modify Exhibit A and Exhibit B or any part thereof except to the extent specifically set forth in Exhibit A-1 and Exhibit B-1. Upon full execution of this Amendment, Licensee is permitted to do all work necessary to prepare, maintain and alter the Premises to install or otherwise modify the Licensee's Equipment, all as more fully described and contemplated in Exhibit A-1 and Exhibit B-1, with prior City approval of construction and installation plans in cooperation with the manufacturer of Licensee's Equipment."

2. **Consideration.** Section 10, sentence 3 of the Agreement is hereby deleted in its entirety and amended as follow:

"Commencing on the License Fee Commencement Date and every year after, the License Fee shall be increased at the rate of 3%."

3. **Additional Consideration.** As additional consideration for the modification and other rights set forth in this Amendment, and within 30 days following the start of construction of the modifications to the Licensee's equipment, Licensee will pay to City a one-time fee of FOUR THOUSAND NO/100 DOLLARS (\$4,000.00).

4. **Frequency Use.** Section 21 of the Agreement is amended as follows:

"Provided that any frequencies used by Licensee will not cause interference with the properly licensed and permitted pre-existing frequencies in use or in operation at the Licensee's Equipment and notwithstanding anything to the contrary contained herein; Licensee may operate the Licensee's Equipment at any frequencies for which it has all requisite permits, leases or licenses, but in no event shall such operation interfere with City's

equipment, frequencies or communication equipment as set forth in Section 21 of the Agreement."

5. **Notice Address.** Section 19 of the Agreement is hereby amended as follows:

"To City	City of Lancaster 211 N. Henry Street P. O. Box 940 Lancaster, Texas 75146-0946 Attn.: Mayor
To Licensee:	Sprint/Nextel Property Services Sprint Site ID: DA58XC800 Mailstop KSOPHT0101-Z2650 6391 Sprint Parkway Overland Park, Kansas 66251-2650
With a mandatory copy to:	Sprint/Nextel Law Department Sprint Site ID: DA58XC800 Mailstop KSOPHT0101-Z2020 6391 Sprint Parkway Overland Park, Kansas 66251-2020 Attn.: Real Estate Attorney"

6. **General Terms and Conditions**

a. All capitalized terms used in this Amendment, unless otherwise defined herein, will have the same meaning as the terms contained in the Agreement.

b. In case of any inconsistencies between the terms and conditions contained in the Agreement and the terms and conditions contained in this Amendment, the terms and conditions herein will control. Except as set forth below, all provisions of the Agreement are ratified and remain unchanged and in full force and effect.

c. This Amendment may be executed in duplicate counterparts, each of which will be deemed an original.

d. Each of the parties represents and warrants that it has the right, power, legal capacity and authority to enter into and perform its respective obligations under this Amendment.

e. Unless specifically amended herein the terms and conditions of the Agreement dated June 9, 2003 shall apply and be in full force and effect.

SIGNATURES ON FOLLOWING PAGE

The parties have executed this Amendment as of the Effective Date.

City:

City of Lancaster, Texas,
a Texas municipal corporation

Licensee:

Sprint Spectrum Realty Company, L.P.,
a Delaware limited partnership

By:



By:



Printed
Name:

OPAL MAULDIN ROBERTSON

Printed
Name:

Brian C Kooyman

CITY MANAGER

Manager Real Estate

Title:

Title:

Date:

8/20/2012

Date:

8/8/12

Site Name: 1011 East Beltline Road

Site ID #: DA58XC800-D

Exhibit A-1

[See Attached]

ABBREVIATIONS

AF	ABOVE FINISHED FLOOR
ACL	ABOVE GRADE LEVEL
AMSL	ABOVE MEAN SEA LEVEL
APPROX	APPROXIMATE
AWG	AMERICAN WIRE GAUGE
BLDG	BUILDING
BTS	BASE TRANSMISSION STATION
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CND	CONDUIT
DWG	DRAWING
FT	FOOT (FEET)
ESB	EQUIPMENT GROUND BAR
ELEC	ELECTRICAL
EMT	ELECTRICAL METALLIC TUBING
ELEV	ELEVATION
EQUP	EQUIPMENT
(E)	EXISTING
EXT	EXTERIOR
FND	FOUNDATION
F	FIBER
GA	GAUGE
GALV	GALVANIZED
GPS	GLOBAL POSITIONING SYSTEM
GND	GROUND
LTE	LONG TERM EVOLUTION
MAX	MAXIMUM
MFG	MANUFACTURER
MGB	MASTER GROUND BAR
MIN	MINIMUM
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OE/OT	OVERHEAD ELECTRIC/TELECO
PPC	POWER PROTECTION CABINET
RBS	RADIO BASED STATION
RUU	REMOTE RADIO UNIT
RGS	ROD GALVANIZED STEEL
IN	INCHES
INT	INTERIOR
LB(S) or #	POUNDS
SC	SQUARE FOOT
STL	STEEL
TYP	TYPICAL
UE/UT	UNDERGROUND ELECTRIC/TELECO
UNO	UNLESS NOTED OTHERWISE
VF	VERIFY IN FIELD
W/	WITH
XFR	TRANSFORMER

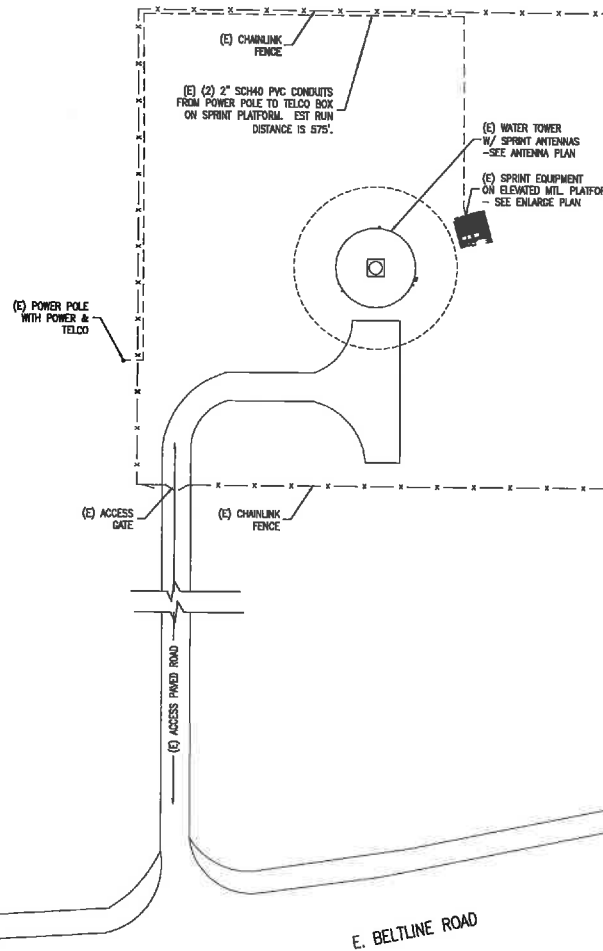
SYMBOLS

	REVISION
	WORK POINT
	UTILITY POLE
	BRICK
	COMPRESSED STONE
	CONCRETE
	EARTH
	GRAVEL
	MASONRY
	STEEL
	CENTERLINE
	PROPERTY LINE
	LEASE LINE
	EASEMENT LINE
	CHAIN LINK FENCE
	WOOD FENCE
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC/TELEPHONE



1 OVERALL SITE PLAN

FULL SIZE PLOT: SCALE: 1/16" = 1'-0"
 HALF SIZE PLOT: SCALE: 1/32" = 1'-0"
 0 4 8 16 32



PREPARED FOR:



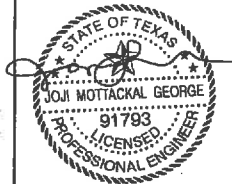
1 INTERNATIONAL BOULEVARD
 SUITE #800
 MAHWAH, N.J. 07495

CONSULTANT:



SITE NAME:
F2-LANCASTER WATER TOWER
 SITE NUMBER:
DA58XC800
 SITE ADDRESS:
 1013 E. BELTLINE ROAD
 LANCASTER, TX 75146
 DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY:	MAM
APPROVED BY:	JMG
DATE DRAWN:	08/04/11
REVISION	
NO	DESCRIPTION
0	SUBMISSION: 90% CD MAM 08/04/11
0	100% CD PER RL JI 10/13/11
1	100% CD PER RL JS 04/4/12
1	100% CD PER DCAD JS 04/10/12

SHEET TITLE:
OVERALL SITE PLAN

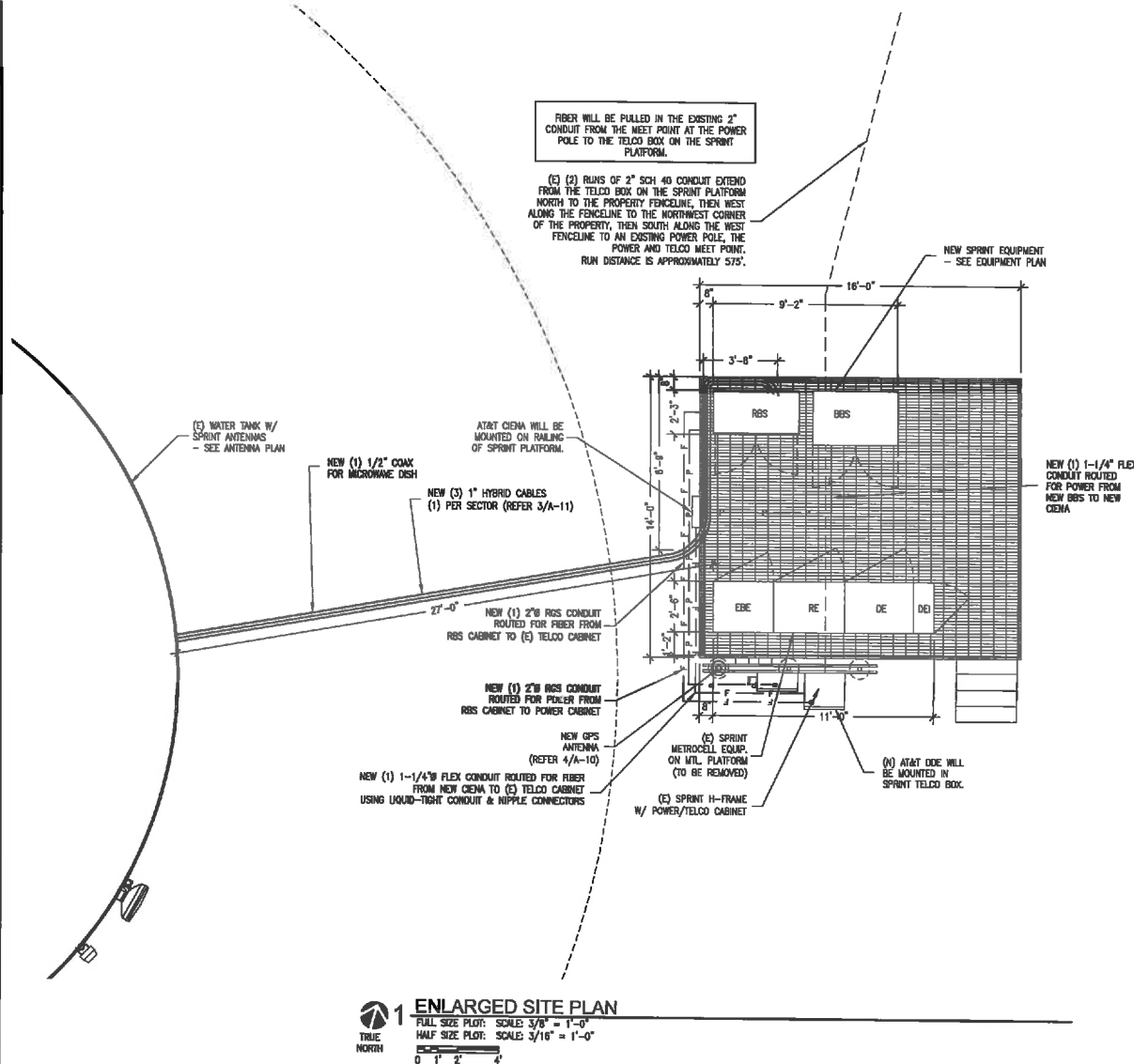
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A-1

ABBREVIATIONS

AF	ABOVE FINISHED FLOOR
AGL	ABOVE GRADE LEVEL
AMSL	ABOVE MEAN SEA LEVEL
APPROX	APPROXIMATE
AWG	AMERICAN WIRE GAUGE
BLDG	BUILDING
BTS	BASE TRANSMISSION STATION
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
COND	CONDUIT
DWG	DRAWING
FT	FOOT (FEET)
EGG	EQUIPMENT GROUND BAR
ELEC	ELECTRICAL
EMT	ELECTRICAL METALLIC TUBING
ELEV	ELEVATION
EQUIP	EQUIPMENT
(E)	EXISTING
EXT	EXTERIOR
FOU	FOUNDATION
F	FIBER
GA	GAUGE
GLV	GALVANIZED
GPS	GLOBAL POSITIONING SYSTEM
GRD	GROUND
LTE	LONG TERM EVOLUTION
MAX	MAXIMUM
MFR	MANUFACTURER
MSS	MASTERS GROUND BAR
MIN	MINIMUM
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OE/OT	OVERHEAD ELECTRIC/TELECOM
PPC	POWER PROTECTION CABINET
RBS	RADIO BASED STATION
RUU	REMOTE RADIO UNIT
RSS	RED GALVANIZED STEEL
IN	INCH(ES)
INT	INTERIOR
LB(S) or #	POUNDS(S)
SP	SQUARE FOOT
STL	STEEL
TYP	TYPICAL
UE/UT	UNDERGROUND ELECTRIC/TELECOM
UNO	UNLESS NOTED OTHERWISE
VF	VERIFY IN FIELD
W	WITH
XFMR	TRANSFORMER

SYMBOLS

	REVISION
	WORK POINT
	UTILITY POLE
	BRICK
	COMPRESSED STONE
	CONCRETE
	EARTH
	GRAVEL
	MASONRY
	STEEL
	CENTERLINE
	PROPERTY LINE
	LEASE LINE
	EASEMENT LINE
	CHAIN LINK FENCE
	WOOD FENCE
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC/TELEPHONE



1 ENLARGED SITE PLAN
 FULL SIZE PLOT: SCALE: 3/8" = 1'-0"
 HALF SIZE PLOT: SCALE: 3/16" = 1'-0"
 TRUE NORTH

PREPARED FOR:



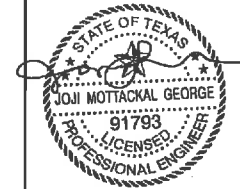
1 INTERNATIONAL BOULEVARD
 SUITE #800
 MAHWAH, N.J. 07485

CONSULTANT:



SITE NAME:
F2-LANCASTER WATER TOWER
 SITE NUMBER:
DA58XC800
 SITE ADDRESS:
 1013 E. BELTLINE ROAD
 LANCASTER, TX 75146
 DALLAS COUNTY

STAMP:



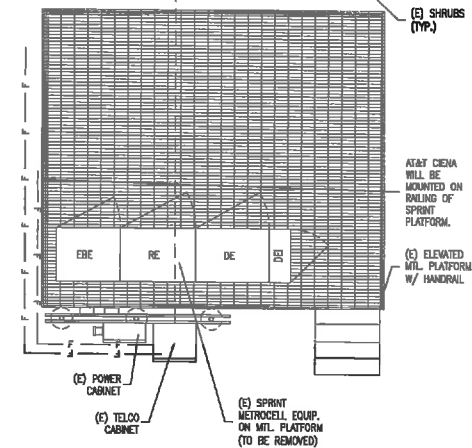
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0	100% CD PER RL JJJ 10/13/11
1	100% CD PER RL JS 04/4/12
1	100% CD PER DCAD JS 04/10/12

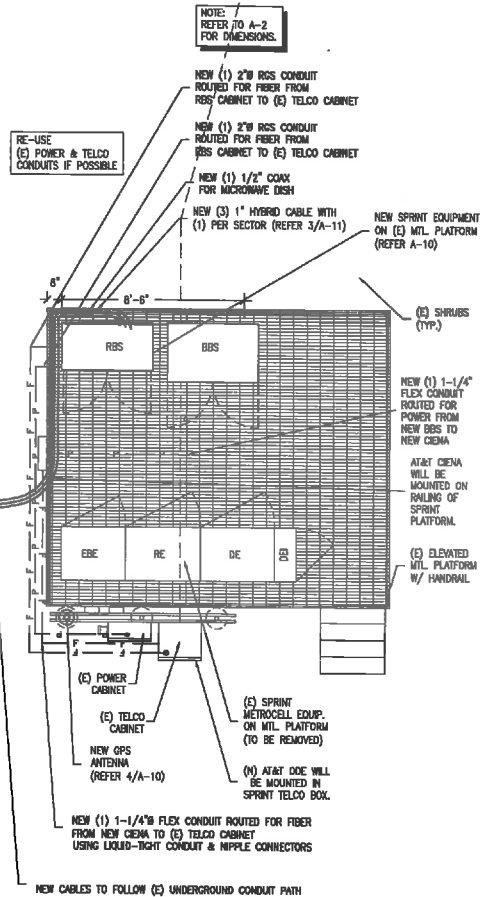
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ENLARGED SITE PLAN

SHEET NUMBER:

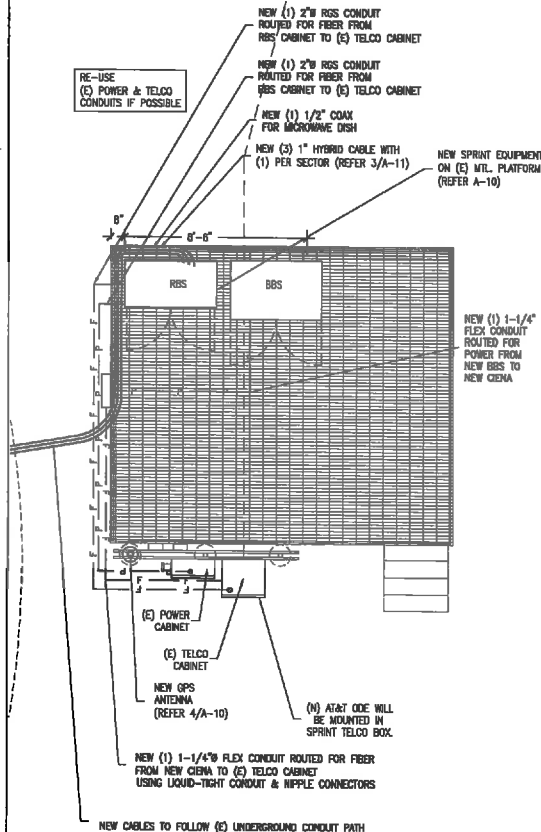
A-2



3 EQUIPMENT SITE PLAN (EXISTING)
 FULL SIZE PLOT: SCALE: 3/8" = 1'-0"
 HALF SIZE PLOT: SCALE: 3/16" = 1'-0"
 TRUE NORTH



2 EQUIPMENT SITE PLAN (HOT SWAP)
 FULL SIZE PLOT: SCALE: 3/8" = 1'-0"
 HALF SIZE PLOT: SCALE: 3/16" = 1'-0"
 TRUE NORTH



1 EQUIPMENT SITE PLAN (FINAL)
 FULL SIZE PLOT: SCALE: 3/8" = 1'-0"
 HALF SIZE PLOT: SCALE: 3/16" = 1'-0"
 TRUE NORTH

PREPARED FOR:

Sprint

1 INTERNATIONAL BOULEVARD
 SUITE #800
 MAHWAH, N.J. 07495

CONSULTANT:

ALLPRO
 CONSULTING GROUP, INC.
 9221 LYNDON B JOHNSON FREEWAY
 SUITE 204, DALLAS, TX 75243
 PHONE: 972-491-1883
 FAX: 972-491-1883
 WWW.ALLPROCONSULTING.COM
 P.E. REGISTRATION # 0442
 A.C.C. # 11-4304

SITE NAME:
F2- LANCASTER WATER TOWER

SITE NUMBER:
DA58XC800

SITE ADDRESS:
 1013 E. BELTLINE ROAD
 LANCASTER, TX 75146
 DALLAS COUNTY

STAMP:

04/10/12

DRAWN BY: MAM

APPROVED BY: JMC

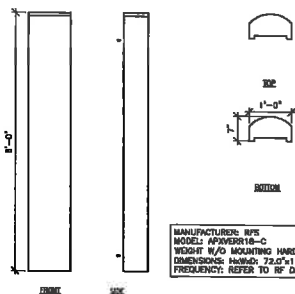
DATE DRAWN: 08/04/11

REVISION

NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 90% CD	MAM	08/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
EQUIPMENT PLANS

SHEET NUMBER:
A-3

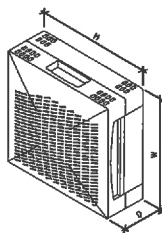


2 ANTENNA DETAIL
SCALE: 3/4" = 1'-0"

SECTION 8815-11
-DIMENSIONS (H x W x D):
17.8" x 17.8" x 7.2" (INCLUDES SUNSHIELD)
-WEIGHT: 55 LBS
-CLIMATE: -40°C TO +50°C
(SELF CONNECTION SILENT, NO FANS, IP55)
-POWER CONSUMPTION: 200 WATTS (TYP.)

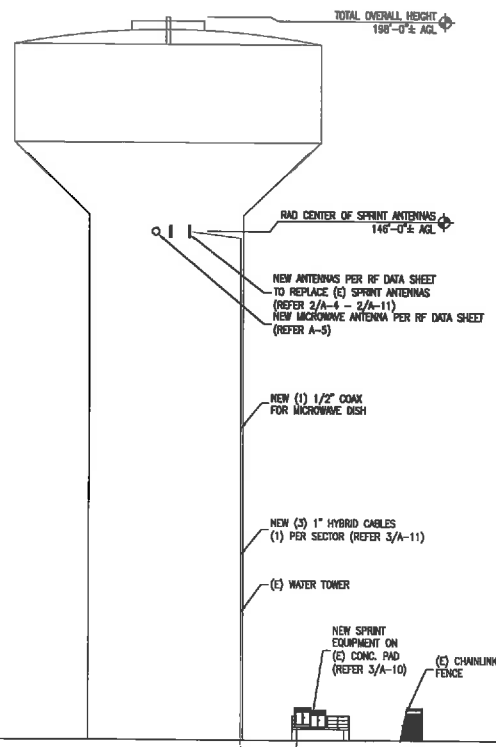
SECTION 8815-12
-DIMENSIONS (H x W x D):
18.2" x 17.8" x 8" (INCLUDES SUNSHIELD)
-WEIGHT: 60 LBS
-CLIMATE: -40°C TO +50°C
(SELF CONNECTION SILENT, NO FANS, IP55)
-POWER CONSUMPTION: 200 WATTS (TYP.)

NOTE:
RUS CAN ONLY BE
PAINTED ON SOLAR SHIELD.



3 RRUS DETAIL
N.T.S.

NOTE:
STRUCTURAL ANALYSIS PERFORMED BY ALLPRO CONSULTING GROUP INC. AS PER AISC
/11-3000 DATED 8-28-2011. STATES THAT SPRINT'S TOWER PLATFORM, ARMS, MOUNTS,
INCLUDING TOWER, AND ALL OTHER ASPECTS OF THE STRUCTURE IS IN CODE COMPLIANCE
FOR THE PROPOSED LOADS PER SPRINT'S NETWORK VEHICLE EQUIPMENT DEPLOYMENT.



1 SITE ELEVATION
FULL SIZE PLOT: SCALE: 3/32" = 1'-0"
HALF SIZE PLOT: SCALE: 3/64" = 1'-0"
0 1' 2' 4'

NOTES:

- CONTRACTOR TO FIELD VERIFY ANTENNA CABLE LENGTHS.
- ALL MAIN CABLES WILL BE COLOR CODED AT THREE (3) LOCATIONS.
- COLOR CODE ALL ANTENNA AND COAX WITH 2" WIDE BANDS OF COLORED TAPE WITH 1" SEPARATION BETWEEN BANDS.
- COLOR CODE ALL TOP AND BOTTOM GROUND KITS WITH 1" WIDE BANDS OF COLORED TAPE WITH 1/2" SEPARATION BETWEEN BANDS.
- START COLOR BANDS 2" BEYOND WEATHERPROOFING.
- START SECTOR COLOR NEXT TO END CONNECTOR.
- ALL MAIN CABLES WILL BE GROUNDED W/ CONICAL CABLE GROUND KITS AT:
 - THE ANTENNA LEVEL.
 - MID LEVEL IF TOWER IS OVER 200'
 - BASE OF TOWER PRIOR TO TURNING HORIZONTAL.
 - TERMINATION OF COAX LINES TO JUMPEES
- ALL NEW GROUND BAR DOWNLEADS ARE TO BE CABLED TO THE EXISTING ADJACENT GROUND BAR DOWNLEADS A MINIMUM DISTANCE OF 4FT BELOW GROUND BAR
- PROVIDE BUSS BAR NEAR BITS FOR ATTACHMENT OF WMAX COAX GROUND KITS

COAXIAL ANTENNA CABLE NOTES:

- THE ANTENNA COAXIAL CABLE INSTALLER SHALL BE RESPONSIBLE FOR PERFORMING AND SUPPLYING SPRINT WITH 3 TYPED SWEET TESTS (ANTENNA RETURN LOSS TEST). THIS TEST SHALL BE PERFORMED TO THE SPECIFICATIONS AND PARAMETERS OUTLINED BY THE SPRINT RADIO FREQUENCY (RF) ENGINEER. THIS TEST SHALL BE PERFORMED PRIOR TO FINAL ACCEPTANCE OF THE SITE.
- THE COAXIAL ANTENNA CABLE INSTALLER SHALL BE RESPONSIBLE FOR PERFORMING AND SUPPLYING SPRINT WITH 3 TYPED TIME DOMAIN REFLECTOMETER (TDR) TESTS TO VERIFY CABLE LENGTH AND TO CHECK FOR WATER DAMAGE.
- WAPOR WRAP WILL BE USED TO SEAL ALL CONNECTIONS.
- ALL JUMPEES TO THE ANTENNAS FROM THE MAIN TRANSMISSION LINE WILL BE 1/2" JUMPEES AND SHALL NOT EXCEED 6'-0". MAXIMUM LENGTH FOR THE JUMPEES AT LITE BITS UNITS WILL BE 6'-0".
- IF COAX IS BEING RE-USED FOR THIS INSTALLATION, PRE AND POST ANTENNA LINE SWEETS ARE REQUIRED.
- UPON COMPLETION, PROVIDE A HEIGHT VERIFICATION DEPICTING RAD CENTER AND TOP OF ANTENNA.

ANTENNA MOUNTING NOTES:

- DESIGN AND CONSTRUCTION OF ANTENNA SUPPORTS SHALL CONFORM TO CURRENT ANSI/ISA-232; APPENDIX B FOR WIND LOADING; "STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES" OR APPLICABLE LOCAL CODES.
- ALL STEEL MATERIALS SHALL BE GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIPPED GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS OTHERWISE NOTED.
- ALL BOLTS, ANCHORS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINC-COATING (HOT DIP) ON IRON AND STEEL HARDWARE", UNLESS OTHERWISE NOTED.
- DAMAGED GALVANIZED SURFACES SHALL BE REPAIRED BY COLD GALVANIZING IN ACCORDANCE WITH ASTM A780.
- ALL ANTENNA MOUNTS SHALL BE INSTALLED WITH DOUBLE NUTS AND SHALL BE INSTALLED SNUG TIGHT.
- MINIMUM HORIZONTAL SPACING SHALL BE 2'-0" BETWEEN ALL ANTENNAS.

NOTES:

- ALL ADJUSTS ARE TO BE ESTABLISHED CLOCKWISE FROM THE TRUE NORTH HEADING.
- CONTRACTOR SHALL VERIFY PROPOSED ANTENNA RAD CENTER AND ORIENTATIONS WITH SPRINT PRIOR TO REGULATION OF ANTENNAS.
- PRIOR TO ATTACHING ANTENNAS AND MOUNTING SECTIONS, EXISTING TOWER AND TOWER FOUNDATION MUST BE ANALYZED BY A LICENSED STRUCTURAL ENGINEER TO VERIFY TOWER IS CAPABLE OF SUPPORTING THE PROPOSED LOADS. REFER TO STRUCTURAL ANALYSIS BY CHENG.
- CONTRACTOR SHALL REFER TO TOWER STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS. NO EJECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.

IF BURNING SHOWN & EMERGENCY SHOWN INFO:

CONTRACTOR TO CONFIRM THAT THE SITE IS COMPLIANT WITH IF BURNING SHOWN & EMERGENCY SHOWN AS REQUIRED BY THE FEDERAL GUIDELINES CONTAINED WITHIN CBT 85 BULLETIN & AS PER SPRINT GUIDELINES. IF BURNING SHOWN & EMERGENCY SHOWN ON GNC.

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07495

CONSULTANT:



SITE NAME:

**F2- LANCASTER
WATER TOWER**

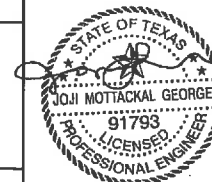
SITE NUMBER:

DA58XC800

SITE ADDRESS:

1013 E. BELTLINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY:		MAM	
APPROVED BY:		JMG	
DATE DRAWN:		08/04/11	
REVISION			
NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 90% CD	MAM	08/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
**SITE ELEVATION &
ANTENNA DETAILS**

SHEET NUMBER:

A-4

Site Name: 1011 East Beltline Road

Site ID #: DA58XC800-D

Exhibit B-1

[See Attached]



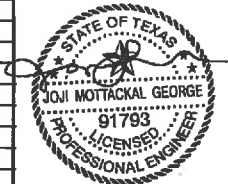
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VOL99105/1804 DD04201999 CO-DC
0432335100601 23604323351

THESE DRAWINGS ARE PREPARED BASED ON RFDS REVISION V1, DATED 1/4/12. GENERAL CONTRACTOR TO VERIFY AND INCORPORATE MOST RECENT VERSION OF THE RFDS WITH ERICSSON PRIOR TO CONSTRUCTION. G.C. TO USE THE MOST CURRENT RFDS.



ALLPRO
CONSULTING GROUP, INC.

STAMP:

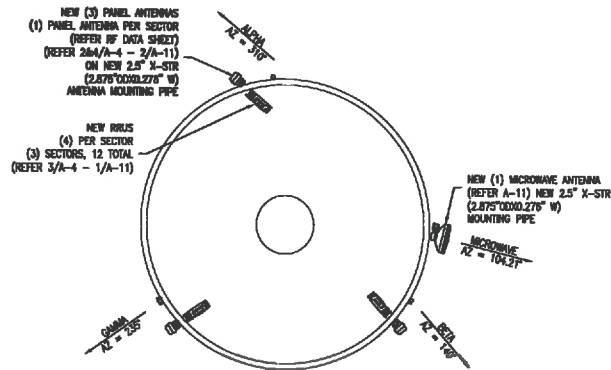


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REVISION			
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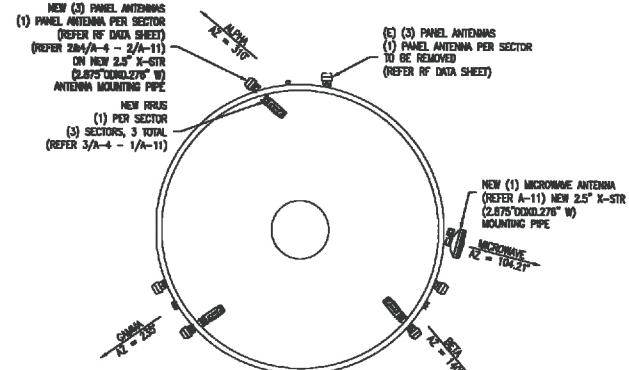
SHEET NUMBER:

PROJECT SUMMARY SITE NAME: F2-LANCASTER WATER TOWER SITE NUMBER: DA56X0800 911 ADDRESS: 1013 E. BELTLINE RD. LANCASTER, TX 75148 APN#: 83043233510080100 LATITUDE: 32°38'24.26" N LONGITUDE: 95°44'42.82" W GROUND ELEVATION: 518' AMSL JURISDICTION: DALLAS COUNTY (CITY OF LANCASTER) ZONING: AGRICULTURAL-OPEN DISTRICT		DRIVING DIRECTIONS DEPART DALLAS/FY WORTH INTERNATIONAL AIRPORT START OUT GOING NORTH ON E AIRFIELD DR TOWARD E 31ST ST. 0.7 MI MAKE A U-TURN AT E 31ST ST ONTO E AIRFIELD DR. 0.5 MI TURN LEFT ONTO W WALNUT HILL LN. 0.9 MI TURN SLIGHT RIGHT ONTO TX-161. 0.8 MI MERGE ONTO TX-161 S VIA THE RAMP ON THE LEFT. 0.9 MI MERGE ONTO TX-163 E TOWARD DALLAS. 0.9 MI TX-163 E BECOMES I-30E, S/LUS-77 S. 17.4 MI TAKE THE BELT LINE RD EXIT, EXIT 414, TOWARD FM-1382. 0.3 MI STAY STRAIGHT TO GO ONTO N BEECHLEY AVE. 0.7 MI TURN LEFT ONTO E BELT LINE RD. 5.1 MI 1013 E BELT LINE RD IS ON THE LEFT.		VICINITY MAP 		LIST OF DRAWINGS SITE GENERAL ARRANGEMENT PLANS T-1 TITLE SHEET T-2 GENERAL NOTES T-3 GENERAL NOTES T-4 GENERAL NOTES ARCHITECTURAL / CIVIL PLANS A-1 OVERALL SITE PLAN A-2 ENLARGE SITE PLAN A-3 EQUIPMENT SITE PLANS A-4 SITE ELEVATION A-5 EQUIPMENT SCHEDULE & RFDS A-6 ANTENNA PLUMBING DIAGRAM A-7 ENLARGED ANTENNA PLANS & COAX RUN DIAGRAM A-8 (E) COLOR CODING A-9 (M) COLOR CODING A-10 DETAILS A-11 DETAILS ELECTRICAL PLANS E-1 ELECTRICAL PLAN & DETAILS E-2 POWER/TELCO DIAGRAMS E-3 GROUNDING PLANS -- TEMPORARY E-4 GROUNDING PLANS -- FINAL E-5 ELECTRICAL DETAILS E-6 GROUNDING DETAILS E-7 GROUNDING DETAILS	
SCOPE OF WORK 1) THE WIRELESS COMMUNICATIONS FACILITY IS NOT INTENDED FOR HUMAN OCCUPANCY 2) THE SCOPE OF WORK CONSISTS OF MODIFYING THE EXISTING WIRELESS INSTALLATION: A. REMOVAL ALL EXISTING METROCELL EQUIPMENT CABINET B. INSTALLATION OF NEW EQUIPMENT CABINET C. REMOVAL OF EXISTING ANTENNAS D. INSTALLATION OF NEW ANTENNAS E. INSTALLATION OF NEW PLUS (PNEUMATIC RADIO UNITS) F. INSTALLATION OF GPS ANTENNA G. INSTALLATION OF NEW HYBRID CABLE J. INSTALLATION OF NEW AZ UNITS		CONTACTS APPLICANT: SPRINT PCS 1 INTERNATIONAL BOULEVARD SUITE #800 MAHWAH, N.J. 07495 201-684-4000 PRIME CONTRACTOR: ERICSSON 8300 LEGACY DRIVE PLANO, TEXAS 75024, USA PHONE: 972-583-0927 SITE ACQUISITION MANAGER: CHAD BLUNT 972-583-0826 CONSTRUCTION MANGER: EUGENE WHITING 919-302-2065 RF ENGINEER: GARY PERCIE gary.percie@ericsson.com TOWER OWNER: CITY OF LANCASTER CONTACT: JASON OR STEVEN PHONE: 214-538-1433 ARCHITECT/ENGINEER: ALLPRO CONSULTING GROUP, INC. 9221 LYNDON B. JOHNSON FREEWAY, SUITE 204 DALLAS, TX 75243 CONTACT: JOJI M. GEORGE P.E. OFFICE: 972-231-9893 FAX: 866-364-8375 TELEPHONE COMPANY: SOUTHWESTERN BELL 1888-772-6068 POWER COMPANY: TXU 1-800-24-9113		APPROVALS SPRINT REPRESENTATIVE _____ DATE _____ SPRINT RF ENGINEERING _____ DATE _____ SITE OWNER _____ DATE _____ SPRINT CONSTRUCTION MANAGER _____ DATE _____ THE ABOVE PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.			
APPLICABLE CODES & STANDARDS - INTERNATIONAL BUILDING CODE, 2006 EDITION AS ADOPTED BY LOCAL JURISDICTION. - NATIONAL ELECTRICAL CODE, 2008 EDITION AS ADOPTED BY LOCAL JURISDICTION. - UNIFORM MECHANICAL CODE, 2008 EDITION AS ADOPTED BY LOCAL JURISDICTION. - INTERNATIONAL ENERGY CONSERVATION CODE, 2006 EDITION AS ADOPTED BY LOCAL JURISDICTION.		SITE ACCESS PROCEDURES TURN INTO ACCESS ROAD FROM BELTLINE RD. INTO GATED SITE ACCESS CONTACT: JASON OR STEVEN 214-538-1433					

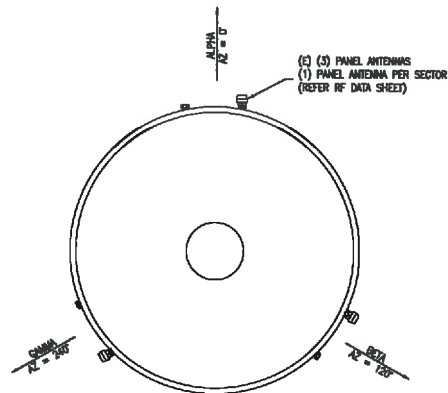
Texas 811
Know what's below.
Call before you dig.



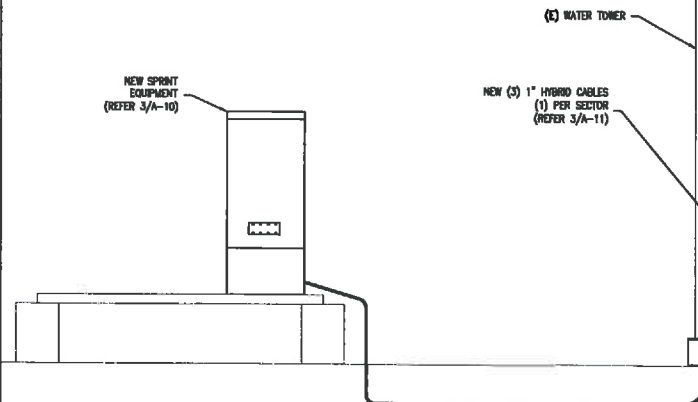
4 PROPOSED ANTENNA PLAN - FINAL
 FULL SIZE PLOT: SCALE: 1/4" = 1'-0"
 HALF SIZE PLOT: SCALE: 1/8" = 1'-0"



3 PROPOSED ANTENNA PLAN - HOT SWAP
 FULL SIZE PLOT: SCALE: 1/4" = 1'-0"
 HALF SIZE PLOT: SCALE: 1/8" = 1'-0"



2 EXISTING ANTENNA PLAN
 FULL SIZE PLOT: SCALE: 1/4" = 1'-0"
 HALF SIZE PLOT: SCALE: 1/8" = 1'-0"



1 COAX RUN DIAGRAM
 FULL SIZE PLOT: SCALE: 1/2" = 1'-0"
 HALF SIZE PLOT: SCALE: 1/4" = 1'-0"

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
 SUITE #800
 MAHWAH, N.J. 07485

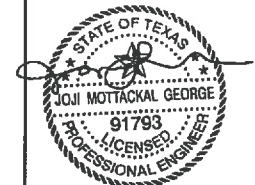
CONSULTANT:



**F2- LANCASTER
 WATER TOWER**

SITE NUMBER:
DA58XC800
 SITE ADDRESS:
 1013 E. BELTLINE ROAD
 LANCASTER, TX 76148
 DALLAS COUNTY

STAMP:



04/10/12

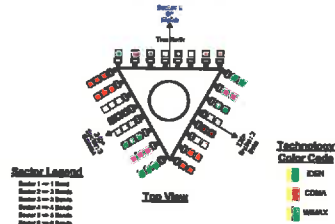
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APPROVED BY:	JMG		
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REVISION			
NO	DESCRIPTION	BY	DATE
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0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
**ENLARGED ANTENNA
 PLANS**

SHEET NUMBER:
A-7

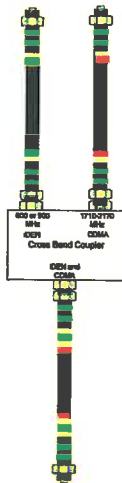
ANTENNA AND CABLE COLOR CODING

(2 Borehole / Multiple TSP Channels)
Ascending & Descending



Example - Sector 1 and Cable 3 (IDEN)
Example - Sector 2 and Cable 6 (CDMA)
Example - Sector 2 and Cable 1 (IDEN & CDMA)

1. Color Band to be 2" wide on main line.
2. Spacing to be 1" between bands and 2" between line and technology bands. No space between technology color bands.
3. Color band on Jumper 1" wide w/ 1" space.
4. Start color bands 2" beyond weatherproofing.
5. Start Sector Color next to end connector.



3 ANTENNA & CABLE COLOR CODE

SCALE: N.T.S.

Typical Coax Cable Color Coding Scheme				
Sector	Cable	First Ring	Second Ring	Third Ring
1 Alpha	1	Yellow	No Tape	No Tape
	2	Green	No Tape	No Tape
	3	Red	No Tape	No Tape
	4	White	No Tape	No Tape
	5	Red	No Tape	No Tape
	6	Grey	No Tape	No Tape
	7	Purple	No Tape	No Tape
	8	Orange	No Tape	No Tape
2 Beta	1	Yellow	No Tape	No Tape
	2	Green	No Tape	No Tape
	3	Red	No Tape	No Tape
	4	White	White	No Tape
	5	Red	Red	No Tape
	6	Grey	Grey	No Tape
	7	Purple	Purple	No Tape
	8	Orange	Orange	No Tape
3 Gamma	1	Yellow	Yellow	Yellow
	2	Green	Green	Green
	3	Red	Red	Red
	4	White	White	White
	5	Red	Red	Red
	6	Grey	Grey	Grey
	7	Purple	Purple	Purple
	8	Orange	Orange	Orange

5 COAXIAL CABLE COLOR CODE

SCALE: N.T.S.

Technology Color Code	First Ring	Second Ring
IDEN	Yellow	Green
CDMA	Yellow	Red
WIMAX	Yellow	Blue

2 FREQUENCY COLOR CODE

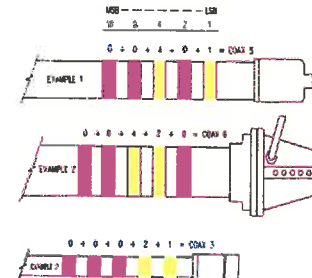
SCALE: N.T.S.

MICROWAVE LINE COLOR CHART					
CABLE	STRIPE 1	STRIPE 2 (2)	STRIPE 3 (4)	STRIPE 4 (8)	STRIPE 5 (16)
1	YELLOW	PURPLE	PURPLE	PURPLE	PURPLE
2	PURPLE	YELLOW	PURPLE	PURPLE	PURPLE
3	YELLOW	YELLOW	PURPLE	PURPLE	PURPLE
4	PURPLE	PURPLE	YELLOW	PURPLE	PURPLE
5	YELLOW	PURPLE	YELLOW	PURPLE	PURPLE
6	PURPLE	YELLOW	YELLOW	PURPLE	PURPLE
7	YELLOW	YELLOW	YELLOW	PURPLE	PURPLE
8	PURPLE	PURPLE	PURPLE	YELLOW	PURPLE
9	YELLOW	PURPLE	PURPLE	YELLOW	PURPLE
10	PURPLE	YELLOW	PURPLE	YELLOW	PURPLE
11	YELLOW	YELLOW	PURPLE	YELLOW	PURPLE
12	PURPLE	PURPLE	YELLOW	YELLOW	PURPLE
13	YELLOW	PURPLE	YELLOW	YELLOW	PURPLE
14	PURPLE	YELLOW	YELLOW	YELLOW	PURPLE
15	YELLOW	YELLOW	YELLOW	YELLOW	PURPLE
16	PURPLE	PURPLE	PURPLE	PURPLE	YELLOW
17	YELLOW	PURPLE	PURPLE	PURPLE	YELLOW
18	PURPLE	YELLOW	PURPLE	PURPLE	YELLOW
19	YELLOW	YELLOW	PURPLE	PURPLE	YELLOW
20	PURPLE	PURPLE	YELLOW	PURPLE	YELLOW
21	YELLOW	PURPLE	YELLOW	PURPLE	YELLOW
22	PURPLE	YELLOW	YELLOW	PURPLE	YELLOW
23	YELLOW	YELLOW	YELLOW	PURPLE	YELLOW
24	PURPLE	PURPLE	PURPLE	YELLOW	YELLOW

NOTE: LABELS SHALL BE PLACED CLOSEST TO THE CONNECTOR END OF THE CABLE

4 MICROWAVE COLOR CODE CHART

SCALE: N.T.S.



1 MICROWAVE CABLE COLOR CODE

SCALE: N.T.S.

PREPARED FOR:

Sprint

1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07495

CONSULTANT:

ALLPRO
CONSULTING GROUP, INC.
5221 LYNDON B. JOHNSON FREEWAY
SUITE 200, DALLAS, TX 75243
PHONE: 972-291-4803 FAX: 972-291-4803
WWW.ALLPROCS.COM
FIRM REGISTRATION # 1052
ACQ # 11-4304

SITE NAME:
F2- LANCASTER WATER TOWER
SITE NUMBER:
DA58XC800
SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

STAMP:

STATE OF TEXAS
JOHN WOTACKAL GEORGE
91793
LICENSED PROFESSIONAL ENGINEER

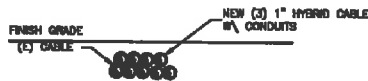
04/10/12

DRAWN BY: MAM
APPROVED BY: JMC
DATE DRAWN: 08/04/11
REVISION

NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 90% CD	MAM	08/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
(E) COLOR CODING

SHEET NUMBER:
A-8

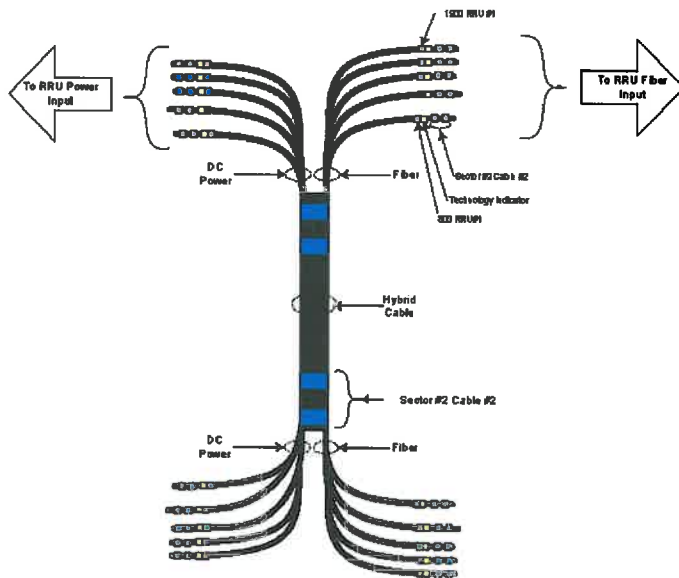


5 CABLE TRAY/BIDGE

SCALE: N.T.S.

NOTE:

HYBRID CABLE WILL BE MARKED IN A SIMILAR MANNER AS COAX CABLE DESCRIBED IN THE "ANTENNA & CABLE COLOR CODE" DETAIL LOCATED ON THE SHEET. THE MAIN "TRUNK" OF THE HYBRID CABLE WILL NOT BE MARKED WITH THE FREQUENCY CODE AS THE HYBRID CABLE IN MANY CASES WILL CONTAIN ALL TECHNOLOGIES. THE INDIVIDUAL POWER Pairs AND FIBER CABLES WILL BE LABELED WITH BOTH THE FREQUENCY AND SECTOR CABLE MARKINGS.



3 HYBRID CABLE COLOR CODE

SCALE: N.T.S.

Sector	Cable	First Ring	Second Ring	Third Ring
1 Alpha	1	Green	No Tape	No Tape
	2	Blue	No Tape	No Tape
	3	Brown	No Tape	No Tape
	4	White	No Tape	No Tape
	5	Red	No Tape	No Tape
	6	Slate	No Tape	No Tape
	7	Purple	No Tape	No Tape
	8	Orange	No Tape	No Tape
2 Beta	1	Green	Orange	No Tape
	2	Blue	Blue	No Tape
	3	Brown	Brown	No Tape
	4	White	White	No Tape
	5	Red	Red	No Tape
	6	Slate	Slate	No Tape
	7	Purple	Purple	No Tape
	8	Orange	Orange	No Tape
3 Gamma	1	Green	Green	Green
	2	Blue	Blue	Blue
	3	Brown	Brown	Brown
	4	White	White	White
	5	Red	Red	Red
	6	Slate	Slate	Slate
	7	Purple	Purple	Purple
	8	Orange	Orange	Orange

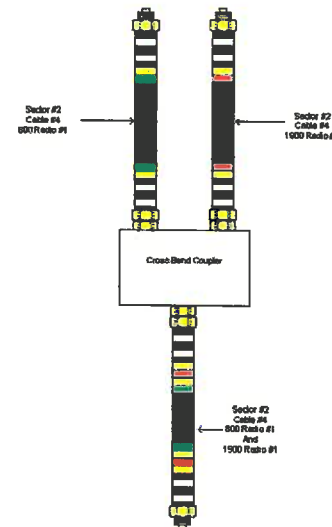
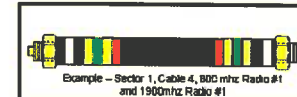
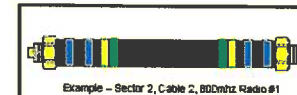
4 COAXIAL CABLE COLOR CODE

SCALE: N.T.S.

Frequency	Indicator	ID
800 #1	Yellow	Green
1500 #1	Yellow	Red
1500 #2	Yellow	Brown
Reserved	Yellow	Blue
Reserved	Yellow	Slate
Reserved	Yellow	Orange
Reserved	Yellow	White
1500 #1	Yellow	Blue

2 FREQUENCY COLOR CODE

SCALE: N.T.S.



1 ANTENNA & CABLE COLOR CODE

SCALE: N.T.S.

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE 8000
MANASSAS, N.J. 07405

CONSULTANT:

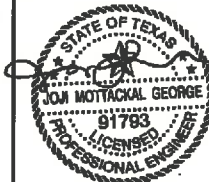


SITE NAME:
**F2- LANCASTER
WATER TOWER**

SITE NUMBER:
DA58XC800

SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 76146
DALLAS COUNTY

STAMP:



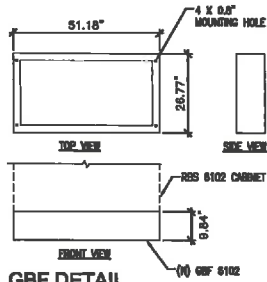
04/10/12

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APPROVED BY:	JMG		
DATE DRAWN:	08/04/11		
REVISION			
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1	100% CD PER RL	JS	04/04/12
1	100% CD PER ROAD	JS	04/10/12

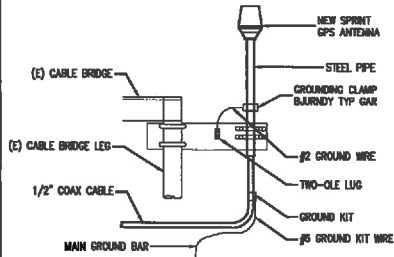
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NEW COLOR CODING

SHEET NUMBER:
A-9

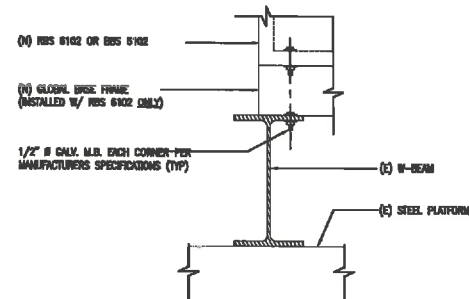
MANUFACTURER: ERICSSON
MODEL: GLOBAL BASE FRAME (GBF) 6102
WEIGHT: <440 LBS.



5 GBF DETAIL
SCALE: N.T.S.



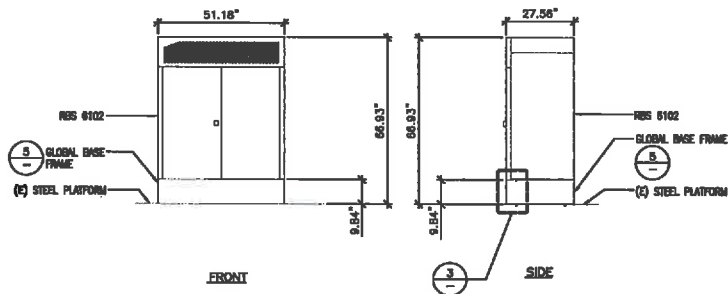
4



3 CABINET MOUNTING DETAIL
SCALE: N.T.S.

ERICSSON RBS 6102	
DIMENSIONS	51.18"W x 32.88"D x 67.28"H
WEIGHT	440 LBS.
MINIMUM CLEARANCES	
FRONT	27.56"
SIDE	9.84"
REAR	7.88"

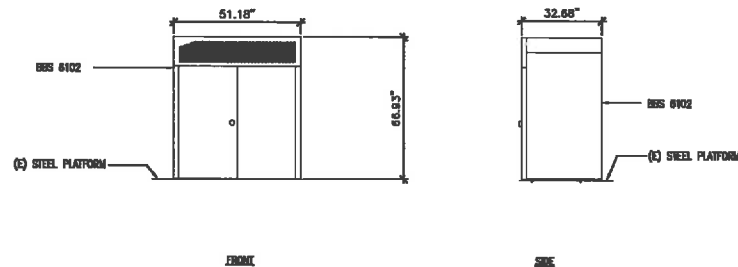
*WEIGHT SHOWN ON THE TABLE INCLUDES GLOBAL BASE FRAME, PROVIDED BY ERICSSON.
*WEIGHT SHOWN ON THE TABLE INCLUDES GLOBAL BASE FRAME, PROVIDED BY ERICSSON.



2 RBS 6102
SCALE: N.T.S.

ERICSSON BBS 6102	
DIMENSIONS	51.18"W x 32.88"D x 67.28"H
WEIGHTS	440 LBS. - 585.70 LBS.
BATTERY WEIGHTS	440 LBS. - 585.70 LBS.
MINIMUM CLEARANCES	
FRONT	31.00"
SIDE	9.00"
REAR	6.00"

*WEIGHT SHOWN ON THE TABLE INCLUDES BATTERIES
*WEIGHT SHOWN ON THE TABLE INCLUDES BATTERIES
*WEIGHT SHOWN ON THE TABLE ARE EACH (OF BATT. @ 170 LBS. BATTERY)
*WEIGHT SHOWN ON THE TABLE ARE EACH (OF BATT. @ 170 LBS. BATTERY)



1 BBS 6102
SCALE: N.T.S.

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE 800
MAHWAH, N.J. 07405

CONSULTANT:



SITE NAME:

**F2- LANCASTER
WATER TOWER**

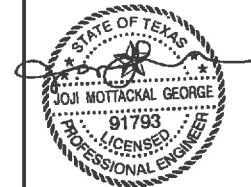
SITE NUMBER:

DA58XC800

SITE ADDRESS:

1013 E. BELTLINE ROAD
LANCASTER, TX 76146
DALLAS COUNTY

STAMP:



04/10/12

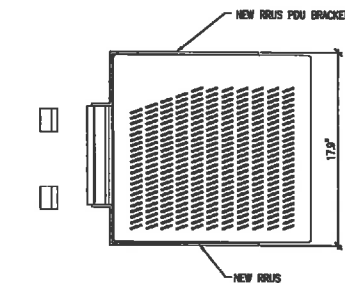
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APPROVED BY:	JMG		
DATE DRAWN:	08/04/11		
REVISION			
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1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCHD	JS	04/10/12

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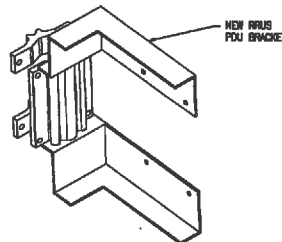
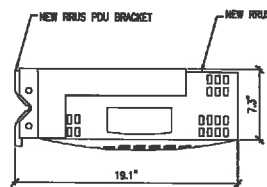
DETAILS

SHEET NUMBER:

A-10

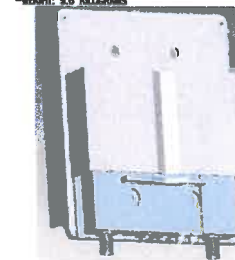


5 RRUS - PDU MOUNTING BRACKET
SCALE: N.T.S.



NEW RRUS

ERICSSON A2 MODULE
-DIMENSIONS (W x H x D):
15.0" x 12.8" x 3.4"
-VOLUME 10.76 LITERS
-WEIGHT: 9.6 KILOGRAMS



6 A2 MODULE DETAIL
SCALE: -

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07495

CONSULTANT:



1001 LYNNON B. JOHNSON FREEMAN
SUITE 200 DALLAS, TX 75201
PHONE: 972-251-0888
FAX: 972-251-0878
WWW.ALLPROCONS.COM
FIRM REGISTRATION #0042
A001 # 11-4304

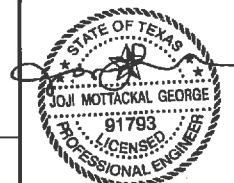
SITE NAME:

**F2- LANCASTER
WATER TOWER**

SITE NUMBER:
DA58XC800

SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75148
DALLAS COUNTY

STAMP:



04/10/12

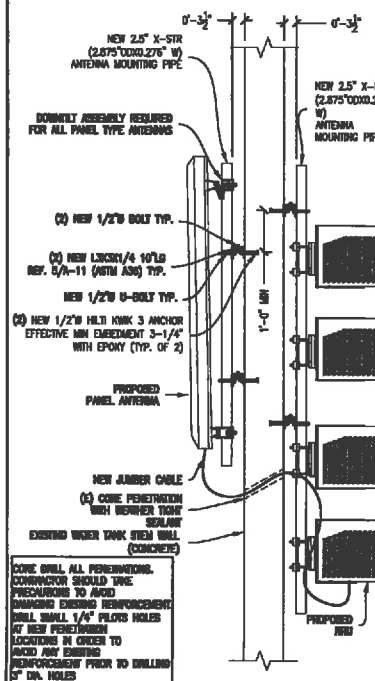
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APPROVED BY:	JMG		
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REVISION			
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0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER CDAD	JS	04/10/12

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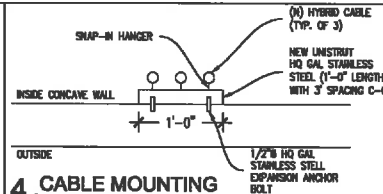
DETAILS

SHEET NUMBER:

A-11



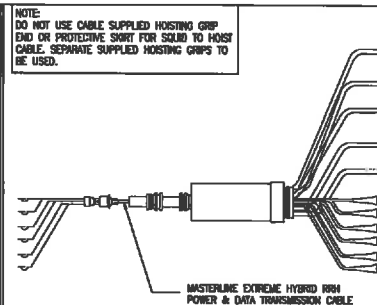
**6 MOUNTING SECTIONS /
PANEL OR DISH MOUNT**



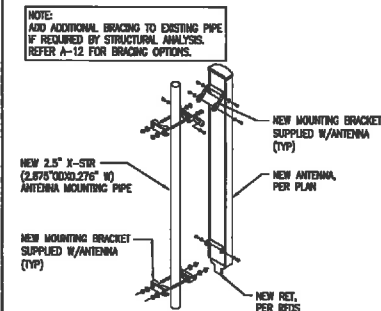
4 CABLE MOUNTING
SCALE: N.T.S.

NORMAL OVERHEAD HOLE SPACING					
UNITS	PIPE SIZE TYPE	PIPE SIZE (INCHES)	W	X	
IN	1/2\"	1.3150	1.3150	1.3150	
IN	3/4\"	1.6250	1.6250	1.6250	
IN	1\"	1.9375	1.9375	1.9375	
IN	1 1/4\"	2.2500	2.2500	2.2500	
IN	1 1/2\"	2.5625	2.5625	2.5625	
IN	2\"	2.8750	2.8750	2.8750	

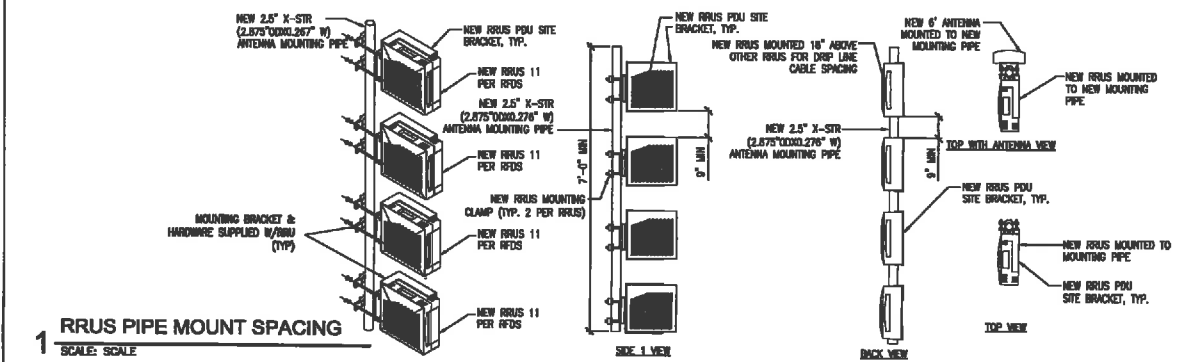
5 L3X3X1/4 10\"/>



3 NEW CABLES
SCALE: N.T.S.



2 ANTENNA MOUNTING
SCALE: N.T.S.



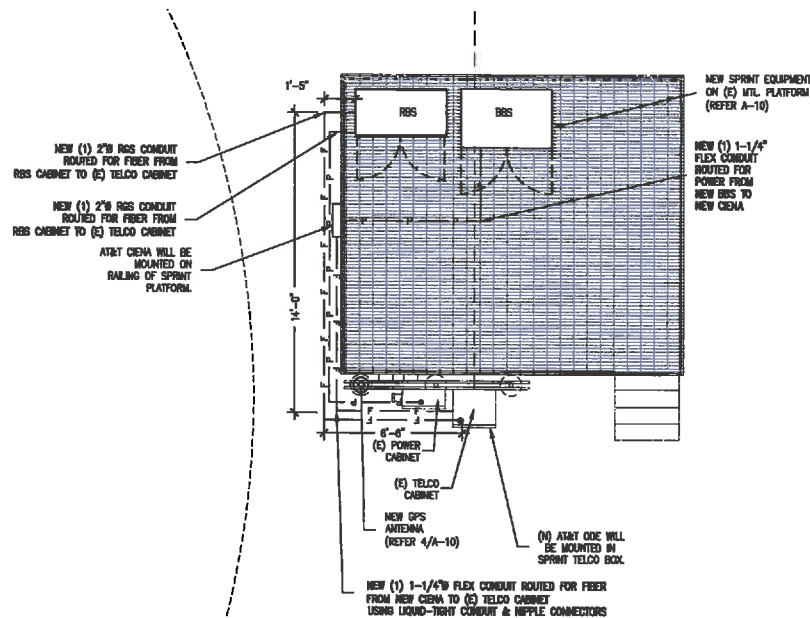
1 RRUS PIPE MOUNT SPACING
SCALE: SCALE

3 DETAIL

SCALE 1/2" = 1'-0"

2 DETAIL

SCALE 1/2" = 1'-0"



1 UTILITIES SITE PLAN

TRUE NORTH
FULL SIZE PLOT: SCALE: 1/4" = 1'-0"
HALF SIZE PLOT: SCALE: 1/8" = 1'-0"
0 1 2 3 4

ABBREVIATIONS:

A	AMPERE
AF	AMPERE FRAME
AGD	ANTENNA GROUND BAR
C	CONDUIT
G	GROUND
HMH	HELMINT HOUR
HGS	WATER GROUND BAR
MCB	MAIN CIRCUIT BREAKER
PVC	POLYVINYL CHLORIDE
P	POLE
RMC	RIGID METAL CONDUIT
SH	SOLID HELIXIAL
V	VOLT
W	WIRE
B	WIRE

ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), AND APPLICABLE LOCAL CODES.
2. GROUNDING SHALL COMPLY WITH ARTICLE 250 OF NATIONAL ELECTRICAL CODE.
3. ALL ELECTRICAL ITEMS SHALL BE ALL APPROVED OR LISTED.
4. ALL WIRES SHALL BE AWG MIN #12 THAW COPPER UNLESS NOTED.
5. CONDUCTORS SHALL BE INSTALLED IN SCHEDULE 40 PVC CONDUIT UNLESS NOTED OTHERWISE.
6. LABEL SPRINT SERVICE DISCONNECT SWITCH AND PFC CABINET WITH ENGRAVED LAMINATED LABELS, LETTERS 1" IN HEIGHT.
7. ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRIGHTEST PATH POSSIBLE. BOND GROUNDING LEADS WITH A MINIMUM 6" RIGID.
8. EMPLOY AN INDEPENDENT TESTING FIRM TO TEST AND VERIFY THAT RESISTANCE DOES NOT EXCEED 5 OHMS TO GROUND. TEST GROUND ROD RESISTANCE PRIOR TO MAKING FINAL GROUND CONNECTIONS TO INFRASTRUCTURE AND EQUIPMENT. GROUNDING AND OTHER OPERATIONAL TESTING SHALL BE WITNESSED BY SPRINT REPRESENTATIVE.
9. PROVIDE PULL BOXES AND JUNCTION BOXES WHERE REQUIRED SO THAT CONDUIT BENDS DO NOT EXCEED 360°.
10. OBTAIN PERMITS AND PAY FEES RELATED TO ELECTRICAL WORK PERFORMED ON THIS PROJECT. DELIVER COPIES OF ALL PERMITS TO SPRINT REPRESENTATIVE.
11. SCHEDULE AND ATTEND INSPECTIONS RELATED TO ELECTRICAL WORK REQUIRED BY JURISDICTION HAVING AUTHORITY. CORRECT AND PAY FOR ANY WORK REQUIRED TO PASS ANY FIELD INSPECTION.
12. DELIVERED AS-BUILTS ARE TO BE DELIVERED TO SPRINT REPRESENTATIVE.
13. PROVIDE TWO COPIES OF OPERATION AND MAINTENANCE MANUALS IN THREE-RING BINDER.
14. PURCHASE AND INSTALL THE COMPLETE ELECTRICAL SERVICE, TELCO CONDUIT, AND THE COMPLETE GROUNDING SYSTEM.
15. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL ORDINANCES, INSTALLED IN A NEAT MANNER, AND SHALL BE SUBJECT TO APPROVAL BY SPRINT REPRESENTATIVE.
16. CONDUCT A PRE-CONSTRUCTION SITE VISIT AND VERIFY EXISTING SITE CONDITIONS AFFECTING THIS WORK. REPORT ANY OMISSIONS OR DISCREPANCIES FOR CLARIFICATION PRIOR TO THE START OF CONSTRUCTION.
17. PROTECT ADJACENT STRUCTURES AND FINISHES FROM DAMAGE. REPAIR TO ORIGINAL CONDITION ANY DAMAGED AREA.
18. REMOVE DEBRIS ON A DAILY BASIS. DEBRIS NOT REMOVED IN A TIMELY FASHION WILL BE REMOVED BY OTHERS AND THE RESPONSIBLE SUBCONTRACTOR SHALL BE CHARGED ACCORDINGLY. REMOVAL OF DEBRIS SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE. DEBRIS SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF LEGALLY.
19. UPON COMPLETION OF WORK, THE SITE SHALL BE CLEAN AND FREE OF DIRT AND DEBRIS.
20. PRIOR TO ANY TRENCHING, CONDUCT LOCAL UTILITY TO VERIFY LOCATION OF ANY EXISTING BURIED SERVICE CONDUITS.
21. DOCUMENT GROUND ROD INSULATION AND CONNECTIONS TO IT WITH PHOTOGRAPHS PRIOR TO DISMANTLING SITE. PRESENT PHOTO ARCHIVE AT SITE "TUNCH LIST" WALK TO SPRINT'S REPRESENTATIVE.

LEGEND:

Ⓜ	HELMINT HOUR METER
=====	COPPER GROUND BAR MOUNTED ON ISOLATORS
— —	CIRCUIT BREAKER
S	TOGGLE LIGHT SWITCH
Ⓜ	JUNCTION BOX
⊙	GROUND TEST WELL
•	EXTERNAL BONDING CONNECTION
⊙	5/8" DIA X 10'-0" COPPER-CLAD STEEL GROUND ROD
Ⓜ	125 VOLT NEMA CONFIGURATION 5-20R DUPLEX RECEPTACLE MOUNTED 16" AFF
—P—	POWER WIRING
—T—	TELCO WIRING
—G—	GROUND WIRE
—F—	FIBER WIRE

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07485

CONSULTANT:

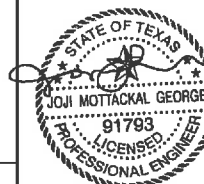


SITE NAME:
**F2- LANCASTER
WATER TOWER**

SITE NUMBER:
DA58XC800

SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75148
DALLAS COUNTY

STAMP:



04/10/12

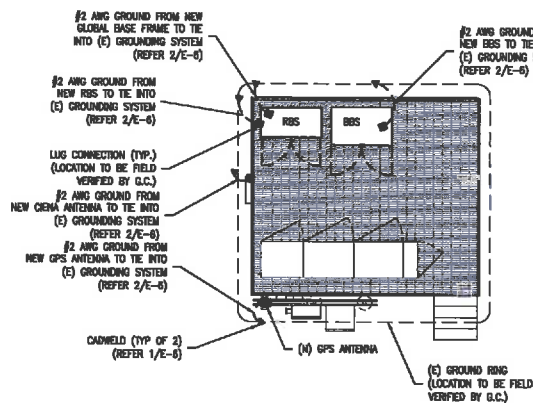
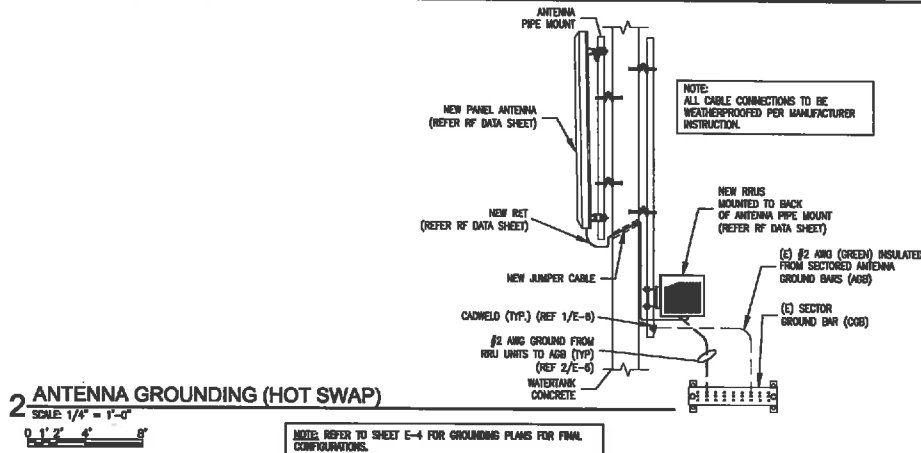
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APPROVED BY:	JMG
DATE DRAWN:	08/04/11
REVISION	
NO	DESCRIPTION
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0	100% CD PER RL
1	100% CD PER RL
1	100% CD PER DCAD

BY	DATE
MAM	08/04/11
JJ	10/13/11
JS	04/12/12
JS	04/10/12

SHEET TITLE:
**UTILITIES
SITE PLAN**

SHEET NUMBER:

E-1



1 GROUNDING PLAN (HOT SWAP)
FULL SIZE PLAN: SCALE: 1/4" = 1'-0"
HALF SIZE PLAN: SCALE: 1/8" = 1'-0"

NOTE: REFER TO SHEET E-4 FOR GROUNDING PLANS FOR FINAL CONFIGURATIONS.

GROUNDING NOTES:

1. ALL BORN CONDUCTORS AND GROUND RING CONDUCTOR SHALL BE #2 AWG, SOLID, BARE, TINNED COPPER, UNDO. ALL CONNECTIONS TO GROUND RING SHALL BE EXOTHERMICALLY WELDED. CONDUCTOR SHALL BE A MINIMUM DEPTH BELOW GRADE OF 30 INCHES OR TO THE LEDGE. MINIMUM BEND RADIUS SHALL BE 8 INCHES. CONDUCTOR SHALL BE AT LEAST 24 INCHES FROM ANY FOUNDATION, UNDO.
2. ELECTRICAL SERVICE GROUND ROD SHALL BE COPPER CLAD STEEL, HAGER, T&E, ERDO OR EQUIVALENT.
3. WHERE MECHANICAL CONDUCTOR CONNECTIONS ARE SPECIFIED, BOLTED, COMPRESSION-TYPE CLAMPS OR SPOT-BOLT TYPE CONNECTORS SHALL BE USED.
4. GROUND OFF GALVANIZING IN AFFECTED AREA. EXOTHERMICALLY WELD #2 CONDUCTOR AT 6 INCHES ABOVE GRADE OR FOUNDATION, WHICHEVER IS HIGHER. COLD-GALV AFTER. EXOTHERMICALLY WELD OTHER END TO GROUND.
5. GROUND CONDUCTORS ON EXTERIOR WALL OF SHELTER SHALL BE ENCASED IN 3/4" PVC CONDUIT TO GRADE. MOUNT PVC WITH GALVANIZED "C" CLAMPS. SEAL TOP ENDS.
6. FOLLOWING COMPLETION OF WORK, CONDUCT GROUND TEST. SUBMIT WRITTEN TEST TO CONSTRUCTION MANAGER AND PROJECT MANAGER.
7. ALL GROUNDING WORK SHALL COMPLY WITH CARRIER(S) STANDARDS.
8. GROUNDING REQUIREMENTS SHOWN ON THIS PLAN ARE FOR ITEMS THAT ARE LOCATED NEAR GRADE LEVEL AND THAT NEED TO BE TIED TO THE BELOW GRADE GROUND RING.
9. UNLESS NOTED OTHERWISE, ALL GROUNDING SHALL BE IN ACCORDANCE WITH SPRINT'S SEED DOCUMENTS 3.018.02.004 "BONDING, GROUNDING AND TRANSIENT PROTECTION FOR CELL SITES", AND 3.018.10.002 "SITE RESISTANCE TO EARTH TESTING". ALL GROUNDING SHALL ALSO COMPLY WITH ALL STATE AND LOCAL CODES, AND THE NATIONAL ELECTRICAL CODE (NEC).
10. THE GROUND RING SHALL BE INSTALLED WITHIN 18 TO 24 INCHES FROM THE EQUIPMENT PAD FOUNDATION OR EQUIPMENT PLATFORM.
11. GROUND RODS SHALL NEVER BE SPACED HORIZONTALLY CLOSER THAN TWICE THE GROUND ROD LENGTH.
12. UNLESS NOTED OTHERWISE, ALL GROUNDING CONNECTIONS SHALL BE MADE BY AN EXOTHERMIC WELD.
13. NOTIFY THE CONSTRUCTION MANAGER 24 HOURS IN ADVANCE WHEN THE BURIED GROUND RING IS INSTALLED SO THAT A REPRESENTATIVE CAN INSPECT THE GROUND RING BEFORE IT IS BACKFILLED WITH SOIL.
14. RESISTANCE TO EARTH TESTING IS REQUIRED PER SMC STANDARDS ON ALL NEW SITES.

GROUNDING LEGEND:

SYMBOL	DESCRIPTION
—▶—	EXOTHERMIC WELD
—■—	GROUND CONDUCTOR
—+—	MECHANICAL CONNECTION
—*—	GROUND ROD EXOTHERMICALLY WELDED TO GROUND RING
—OR—	INTERIOR GROUND LEAD
—○—	CHAIN LINK FENCE

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07485

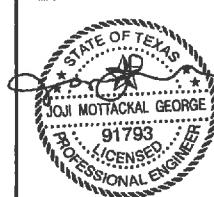
CONSULTANT:



SITE NAME:
F2- LANCASTER WATER TOWER

SITE NUMBER:
DA58XC800
SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75148
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY:	MAM
APPROVED BY:	JMG
DATE DRAWN:	08/04/11
REVISION	
NO DESCRIPTION	BY DATE
0 SUBMISSION: 90% CD	MAM 08/04/11
1 100% CD PER RL	JJ 10/13/11
1 100% CD PER RL	JS 04/04/12
1 100% CD PER DCAD	JS 04/10/12

SHEET TITLE:
GROUNDING PLANS (HOT SWAP)

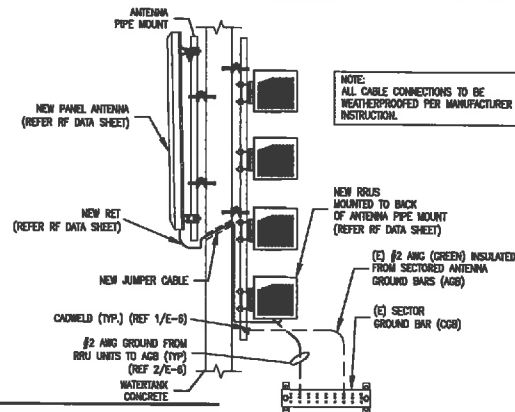
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E-3

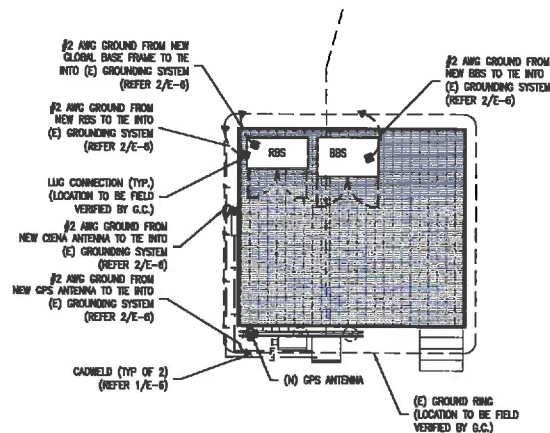
2 ANTENNA GROUNDING (FINAL)

SCALE 1/4" = 1'-0"
0 1' 2' 4' 8'

NOTE: REFER TO SHEET E-3 FOR GROUNDING PLANS FOR TEMPORARY CONFIGURATIONS.



NOTE: ALL CABLE CONNECTIONS TO BE WEATHERPROOFED PER MANUFACTURER INSTRUCTION.



1 GROUNDING PLAN (FINAL)

TRUE NORTH
FULL SIZE PLOT: SCALE 1/4" = 1'-0"
HALF SIZE PLOT: SCALE 1/8" = 1'-0"
0 1' 2' 4' 8'

NOTE: REFER TO SHEET E-3 FOR GROUNDING PLANS FOR TEMPORARY CONFIGURATIONS.

GROUNDING LEGEND:

SYMBOL	DESCRIPTION
▶	EXOTHERMIC WELD
---	GROUND CONDUCTOR
■	MECHANICAL CONNECTION
⊕	GROUND ROD EXOTHERMICALLY WELDED TO GROUND RING
—	INTERIOR GROUND LEAD
○	CHAIN LINK FENCE

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07485

CONSULTANT:



SITE NAME:

**F2- LANCASTER
WATER TOWER**

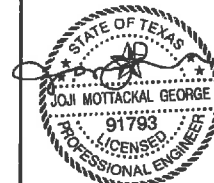
SITE NUMBER:

DA58XC800

SITE ADDRESS:

1013 E. BELTLINE ROAD
LANCASTER, TX 75148
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY: MAM
APPROVED BY: JMG
DATE DRAWN: 08/04/11

NO	DESCRIPTION	BY	DATE
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0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/04/12
1	100% CD PER CDND	JS	04/10/12

SHEET TITLE:
**GROUNDING PLANS
(FINAL)**

SHEET NUMBER:

E-4

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07485

CONSULTANT:



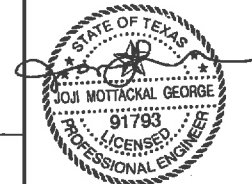
801 LYNDEN & JOHNSON FREEWAY
SUITE 204 DALLAS, TX 75208
PHONE: 972-321-8822
FAX: 972-321-8871
WWW.ALLPROCONS.COM
FIRM REGISTRATION #8242
ACS # 11-4304

SITE NAME:
**F2- LANCASTER
WATER TOWER**

SITE NUMBER:
DA58XC800

SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY:		MM	
APPROVED BY:		JMG	
DATE DRAWN:		06/04/11	
REVISION			
NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 0000 CD	MM	06/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
ELECTRICAL DETAILS

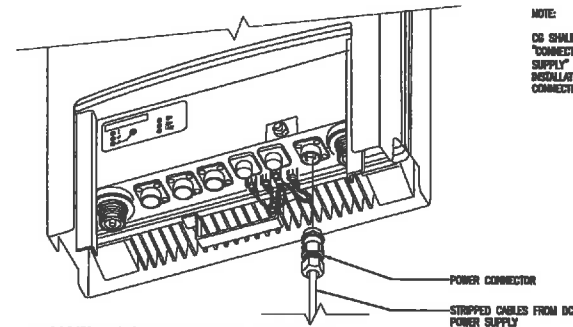
SHEET NUMBER:
E-5

6 NOT USED
SCALE: N.T.S.

5 NOT USED
SCALE: N.T.S.

4 NOT USED
SCALE: N.T.S.

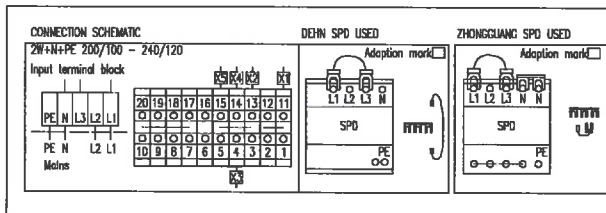
3 POWER CONNECTION AT RRUS
SCALE: 1/2" = 1'-0"



NOTE:

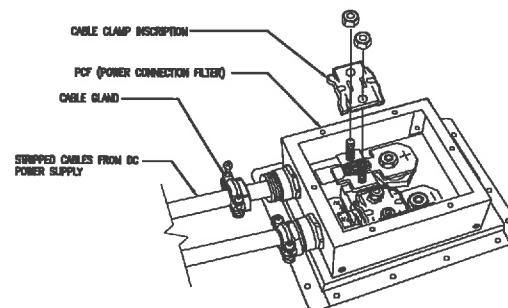
CD SHALL REFERENCE SECTION 8.4 "CONNECTING THE -48V DC POWER SUPPLY" OF THE ERICSSON RBS INSTALLATION DOCUMENTS, FOR ALL CONNECTION SPECIFICATIONS.

ONLY ONE OF THE SPD WARRANTIES IS USED
20W+N+PE 200/100 - 240/120 V AC



2 AC POWER CONNECTION AT RBS
SCALE: N.T.S.

1 DC POWER CONNECTION AT RBS
SCALE: N.T.S.

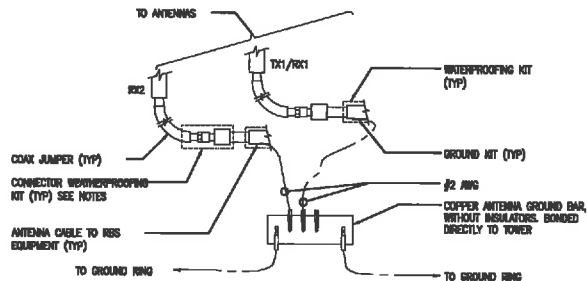


NOTE:

CD SHALL REFERENCE SECTION 10 "CONNECTING THE POWER SUPPLY" OF THE ERICSSON RBS 4102 INSTALLATION DOCUMENTS, FOR ALL CONNECTION SPECIFICATIONS.

7 NOT USED
SCALE M.T.S.

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
2. WEATHER PROOFING SHALL BE TWO-PART TAPE KIT. COLD SHRINK SHALL NOT BE USED.

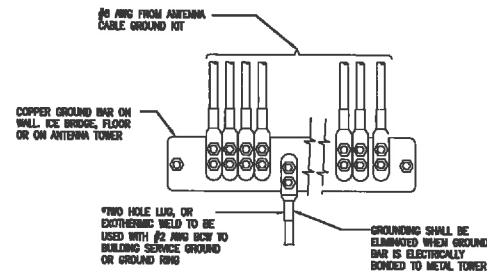
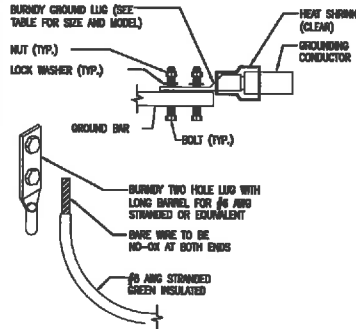


4. ANTENNA GROUNDING KIT

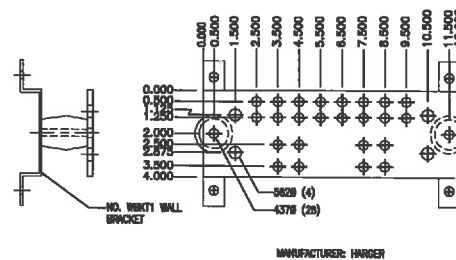
WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 AWG GREEN INSULATED	YA6C-2TCS	3/8" - 16 NC S 2 BOLT
#2 AWG SOLID TINED	YA3C-2TCSB	3/8" - 16 NC S 2 BOLT
#2 AWG STRANDED	YA3C-2TCS	3/8" - 16 NC S 2 BOLT
#2/0 AWG STRANDED	YA3B-2TCSB	3/8" - 16 NC S 2 BOLT
#4/0 AWG STRANDED	YA3B-2H	1/2" - 16 NC S 2 BOLT

1. ALL HARDWARE BOLTS, NUTS, LOCK WASHERS SHALL BE STAINLESS STEEL. ALL HARDWARE ARE TO BE AS FOLLOWS: BOLT, FLAT WASHER, GROUND BAR, GROUND LUG, FLAT WASHER AND NUT.
2. COPPER SHIELD, ANTI-OK, OR NO-OK OR EQUIVALENT SHALL BE PLACE WHERE ALL DISSIMILAR METALS CONNECT.
3. ALL LUGS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

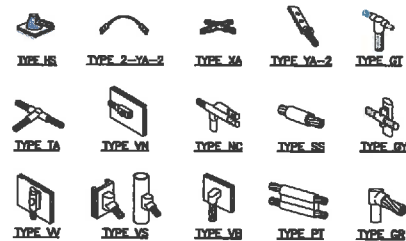
2 MECHANICAL LUG CONNECTION



5 GROUNDWIRE INSTALLATION



3 12" GROUND BAR
SCALE: N.T.S.



EXCERPTS FROM "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH PROJECT MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.

1 EXOTHERMIC WELD
SCALE: N.T.S.

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE 800
MAHWAH, N.J. 07485

CONSULTANT:

ALLPRO

CONSULTING GROUP, INC.
9221 LYNDON B JOHNSON FREEWAY
SUITE 204, DALLAS, TX 75243
PHONE: 972-591-8883
FAX: 972-594-8378
WWW.ALLPROCEL.COM
FIRM REGISTRATION # 8242
ACG # 11-4304

SITE NAME:

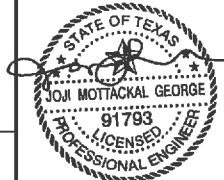
F2- LANCASTER WATER TOWER

SITE NUMBER:

DA58XC800

SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY:	MAM
-----------	-----

APPROVED BY:	JMG
--------------	-----

DATE DRAWN:	08/04/11
-------------	----------

REVIS

NO	DESCRIPTION
----	-------------

0 SUBMISSION: 90%

0	100% CD PER RL
---	----------------

1	100% CD PER RL
1	100% CD PER RL

1	100% CD PER DC
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[illegible]

SHEET TITLE:

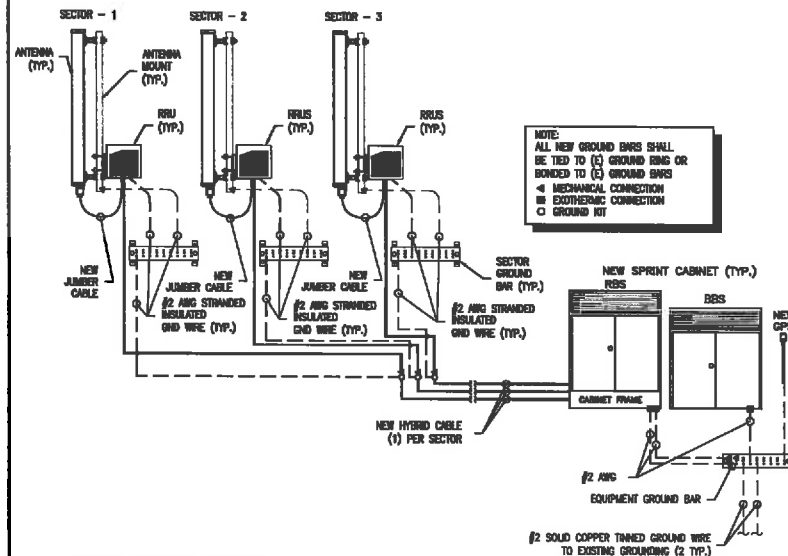
SHEET TILE GROUNDING

GROUNDING

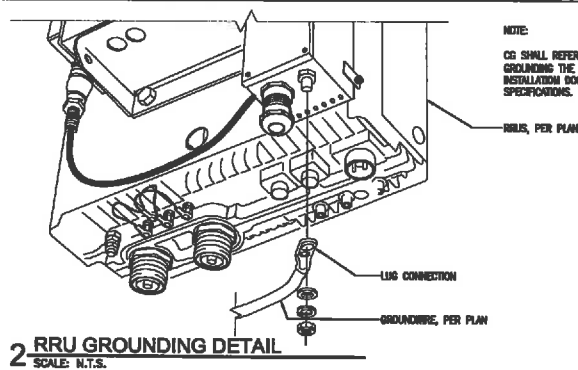
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SHEET NUMBER 1

E-

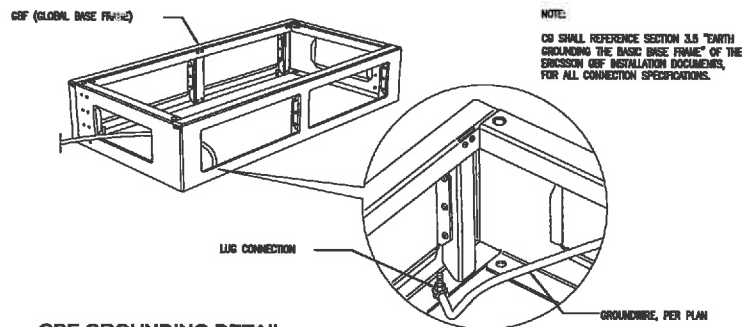


4 GROUNDING DETAIL
SCALE: N.T.S.

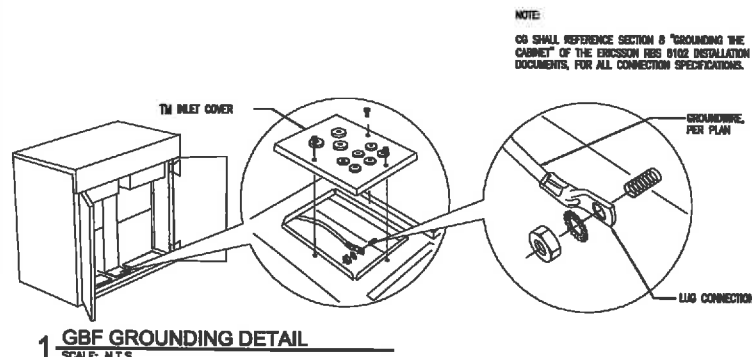


2 RRU GROUNDING DETAIL
SCALE: N.T.S.

5 NOT USED
SCALE: N.T.S.



3 GBF GROUNDING DETAIL
SCALE: N.T.S.



1 GBF GROUNDING DETAIL
SCALE: N.T.S.

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07495

CONSULTANT:

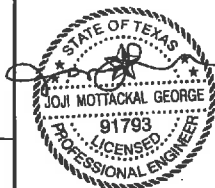


SITE NAME:
**F2- LANCASTER
WATER TOWER**

SITE NUMBER:
DA58XC800

SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75148
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY:	MAM		
APPROVED BY:	JMG		
DATE DRAWN:	06/04/11		
REVISION			
NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 90% CD	MAM	06/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/14/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
GROUNDING DETAILS
SHEET NUMBER:
E-7

FIRST AMENDMENT TO THE LICENSE FOR COMMUNICATION FACILITIES

AMENDMENT NO. 1 to the License for Communications Facilities (this "**Amendment**"), effective as of the date last signed below ("**Effective Date**") is entered into between City of Lancaster, Texas, a Texas municipal corporation ("**City**") and Sprint Spectrum Realty Company, L.P., a Delaware limited partnership as successor-in-interest to Sprint Spectrum L.P. ("**Licensee**") and amends a certain Agreement between Licensee's predecessor and **City** dated June 9, 2003 (the "**Agreement**").

BACKGROUND

WHEREAS, Licensee desires to modify its installation on the Premises by installing, modifying, replacing, adding or exchanging out antennas and other equipment to the Licensee's Equipment as more particularly described in Exhibit A-1 and Exhibit B-1 attached hereto, and Licensee and City desire to modify the provisions of the Agreement as provided below.

NOW, THEREFORE, for good and valuable consideration the receipt and sufficiency of which are acknowledged, City and Licensee agree to amend the Agreement and hereby agrees to amend as follows:

1. **Modification to the Licensee's Equipment.** Section 1 and Section 2 of the Agreement shall be amended by amending Exhibit A and Exhibit B to add new equipment in Exhibit A-1 and Exhibit B-1 and to read follows:

"Exhibit A-1 and Exhibit B-1 supplements Exhibit A and Exhibit B to the Agreement, and shall not be deemed to supersede or otherwise modify Exhibit A and Exhibit B or any part thereof except to the extent specifically set forth in Exhibit A-1 and Exhibit B-1. Upon full execution of this Amendment, Licensee is permitted to do all work necessary to prepare, maintain and alter the Premises to install or otherwise modify the Licensee's Equipment, all as more fully described and contemplated in Exhibit A-1 and Exhibit B-1, with prior City approval of construction and installation plans in cooperation with the manufacturer of Licensee's Equipment."

2. **Consideration.** Section 10, sentence 3 of the Agreement is hereby deleted in its entirety and amended as follow:

"Commencing on the License Fee Commencement Date and every year after, the License Fee shall be increased at the rate of 3%."

3. **Additional Consideration.** As additional consideration for the modification and other rights set forth in this Amendment, and within 30 days following the start of construction of the modifications to the Licensee's equipment, Licensee will pay to City a one-time fee of FOUR THOUSAND NO/100 DOLLARS (\$4,000.00).

4. **Frequency Use.** Section 21 of the Agreement is amended as follows:

"Provided that any frequencies used by Licensee will not cause interference with the properly licensed and permitted pre-existing frequencies in use or in operation at the Licensee's Equipment and notwithstanding anything to the contrary contained herein; Licensee may operate the Licensee's Equipment at any frequencies for which it has all requisite permits, leases or licenses, but in no event shall such operation interfere with City's

equipment, frequencies or communication equipment as set forth in Section 21 of the Agreement."

5. **Notice Address.** Section 19 of the Agreement is hereby amended as follows:

"To City	City of Lancaster 211 N. Henry Street P. O. Box 940 Lancaster, Texas 75146-0946 Attn.: Mayor
To Licensee:	Sprint/Nextel Property Services Sprint Site ID: DA58XC800 Mailstop KSOPHT0101-Z2650 6391 Sprint Parkway Overland Park, Kansas 66251-2650
With a mandatory copy to:	Sprint/Nextel Law Department Sprint Site ID: DA58XC800 Mailstop KSOPHT0101-Z2020 6391 Sprint Parkway Overland Park, Kansas 66251-2020 Attn.: Real Estate Attorney"

6. **General Terms and Conditions**

a. All capitalized terms used in this Amendment, unless otherwise defined herein, will have the same meaning as the terms contained in the Agreement.

b. In case of any inconsistencies between the terms and conditions contained in the Agreement and the terms and conditions contained in this Amendment, the terms and conditions herein will control. Except as set forth below, all provisions of the Agreement are ratified and remain unchanged and in full force and effect.

c. This Amendment may be executed in duplicate counterparts, each of which will be deemed an original.

d. Each of the parties represents and warrants that it has the right, power, legal capacity and authority to enter into and perform its respective obligations under this Amendment.

e. Unless specifically amended herein the terms and conditions of the Agreement dated June 9, 2003 shall apply and be in full force and effect.

SIGNATURES ON FOLLOWING PAGE

The parties have executed this Amendment as of the Effective Date.

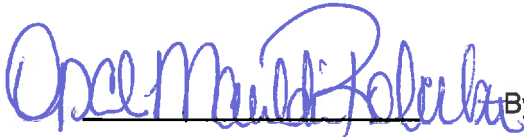
City:

City of Lancaster, Texas,
a Texas municipal corporation

Licensee:

Sprint Spectrum Realty Company, L.P.,
a Delaware limited partnership

By:



By:



Printed
Name:

OPAL MAULDIN ROBERTSON

Printed
Name:

Brian C Knoyman

Title:

CITY MANAGER

Title:

Manager Real Estate

Date:

8/20/2012

Date:

8/8/12

Site Name: 1011 East Beltline Road

Site ID #: DA58XC800-D

Exhibit A-1

[See Attached]

ABBREVIATIONS

AF	ABOVE FINISHED FLOOR
AGL	ABOVE GRADE LEVEL
AMS	ABOVE MEAN SEA LEVEL
APPROX	APPROXIMATE
AWG	AMERICAN WIRE GAUGE
BLDG	BUILDING
BTS	BASE TRANSMISSION STATION
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CND	CONDUIT
DWS	DRAWING
FT	FOOT (FEET)
ESB	EQUIPMENT GROUND BAR
ELEC	ELECTRICAL
EMT	ELECTRICAL METALLIC TUBING
ELEV	ELEVATION
EQUIP	EQUIPMENT
(E)	EXISTING
EXT	EXTERIOR
FND	FOUNDATION
F	FIBER
GA	GALVANIZED
GALV	GALVANIZED
GPS	GLOBAL POSITIONING SYSTEM
GND	GROUND
LTE	LONG TERM EVOLUTION
MAX	MAXIMUM
MFR	MANUFACTURER
MGB	MASTER GROUND BAR
MIR	MIRIAM
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OE/OT	OVERHEAD ELECTRIC/TELECOM
PPC	POWER PROTECTION CABINET
RBS	RADIO BASED STATION
RUU	REMOTE RADIO UNIT
RGS	RIGID GALVANIZED STEEL
IN	INCH(ES)
INT	INTERIOR
LB(S) or #	POUND(S)
SF	SQUARE FOOT
STL	STEEL
TYP	TYPICAL
UE/UT	UNDERGROUND ELECTRIC/TELECOM
UNO	UNLESS NOTED OTHERWISE
VF	VERIFY IN FIELD
W/	WITH
XFMR	TRANSFORMER

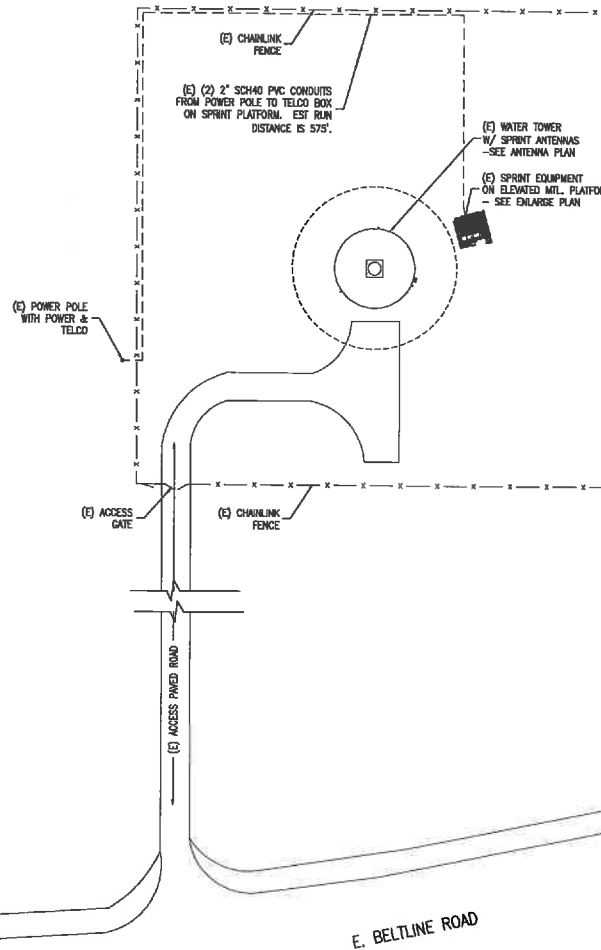
SYMBOLS

	REVISION
	WORK POINT
	UTILITY POLE
	BRICK
	COMPRESSED STONE
	CONCRETE
	EARTH
	GRAVEL
	MASONRY
	STEEL
	CENTERLINE
	PROPERTY LINE
	LEASE LINE
	EASEMENT LINE
	CHAIN LINK FENCE
	WOOD FENCE
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC/TELEPHONE



1 OVERALL SITE PLAN

FULL SIZE PLOT: SCALE: 1/16" = 1'-0"
 HALF SIZE PLOT: SCALE: 1/32" = 1'-0"
 0 4 8 16 32



PREPARED FOR:



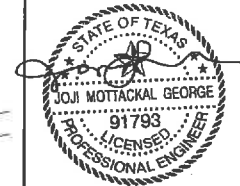
1 INTERNATIONAL BOULEVARD
 SUITE #600
 MAHWAH, N.J. 07495

CONSULTANT:



SITE NAME:
F2-LANCASTER WATER TOWER
 SITE NUMBER:
DA58XC800
 SITE ADDRESS:
 1013 E. BELTLINE ROAD
 LANCASTER, TX 75146
 DALLAS COUNTY

STAMP:



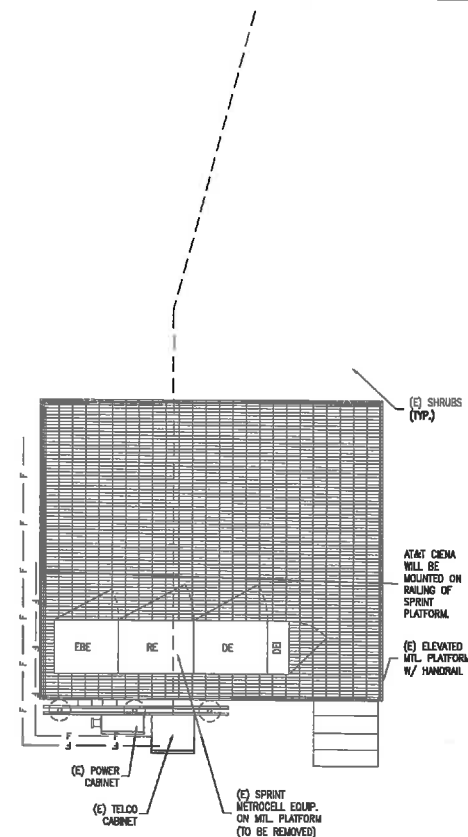
04/10/12

DRAWN BY:	MAM		
APPROVED BY:	JMG		
DATE DRAWN:	08/04/11		
REVISION			
NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 90% CD	MAM	08/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

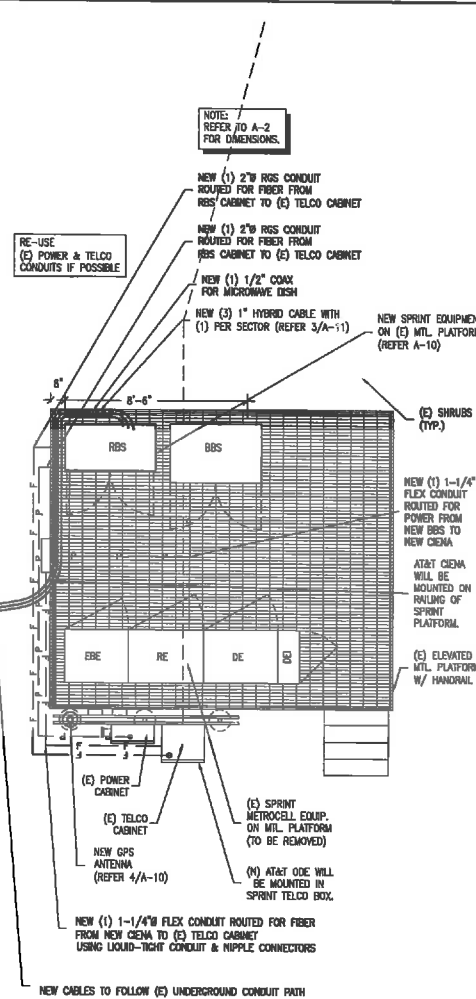
SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:

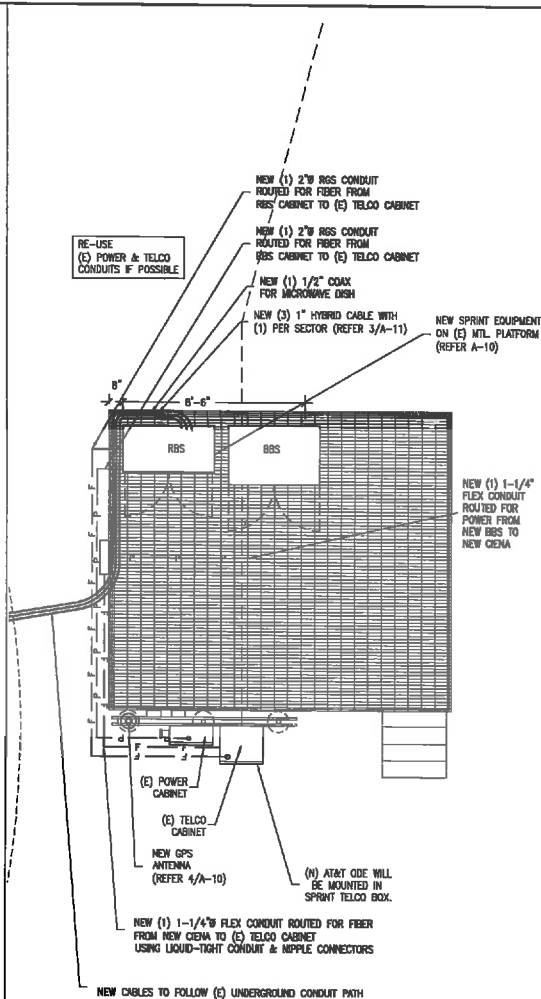
A-1



3 EQUIPMENT SITE PLAN (EXISTING)
 FULL SIZE PLOT: SCALE: 3/8" = 1'-0"
 HALF SIZE PLOT: SCALE: 3/16" = 1'-0"
 TRUE NORTH



2 EQUIPMENT SITE PLAN (HOT SWAP)
 FULL SIZE PLOT: SCALE: 3/8" = 1'-0"
 HALF SIZE PLOT: SCALE: 3/16" = 1'-0"
 TRUE NORTH



1 EQUIPMENT SITE PLAN (FINAL)
 FULL SIZE PLOT: SCALE: 3/8" = 1'-0"
 HALF SIZE PLOT: SCALE: 3/16" = 1'-0"
 TRUE NORTH

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
 SUITE #800
 MAHWAH, N.J. 07495

CONSULTANT:



SITE NAME:

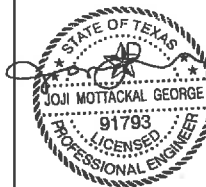
**F2- LANCASTER
 WATER TOWER**

SITE NUMBER:

DA58XC800

SITE ADDRESS:
 1013 E. BELTLINE ROAD
 LANCASTER, TX 75146
 DALLAS COUNTY

STAMP:



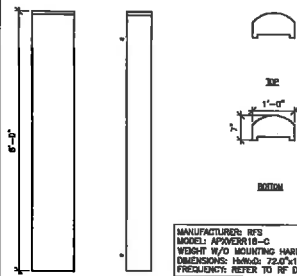
04/10/12

DRAWN BY:	MAM		
APPROVED BY:	JMG		
DATE DRAWN:	06/04/11		
REVISION			
NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 90% CD	MAM	06/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
EQUIPMENT PLANS

SHEET NUMBER:

A-3

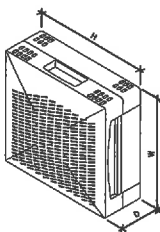


2 ANTENNA DETAIL
SCALE: 3/4" = 1'-0"

EMISSION BRUS-11
-DIMENSIONS (H x W x D):
17.8" x 17.0" x 7.2" (INCLUDES SUNSHIELD)
-WEIGHT: 65 LBS
-CLIMATE: -40°C TO +55°C
-SELF CONVECTION SILENT, NO FANS, IP55
-POWER CONSUMPTION: 200 WATTS (TYP.)

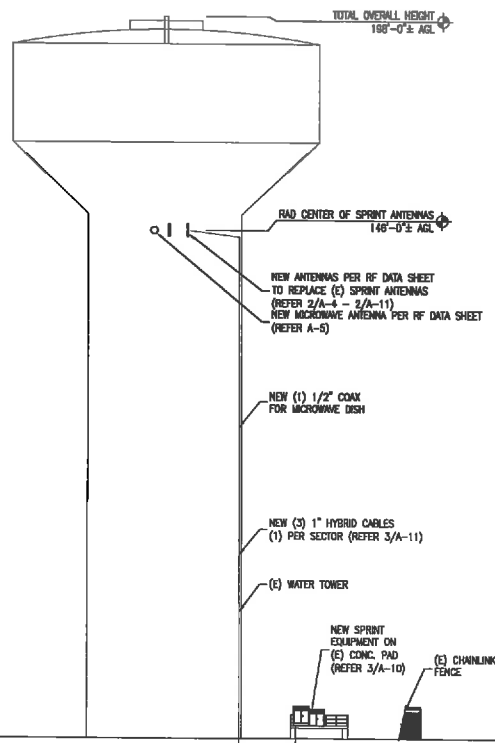
EMISSION BRUS-12
-DIMENSIONS (H x W x D):
18.2" x 17.5" x 8" (INCLUDES SUNSHIELD)
-WEIGHT: 60 LBS
-CLIMATE: -40°C TO +55°C
-SELF CONVECTION SILENT, NO FANS, IP55
-POWER CONSUMPTION: 200 WATTS (TYP.)

NOTE:
RUS CAN ONLY BE
PAINTED ON SOLAR SHIELD.



3 RRUS DETAIL
N.T.S.

NOTE:
STRUCTURAL ANALYSIS PERFORMED BY ALLPRO CONSULTING GROUP INC. AS PER AGC
#11-3630 DATED 8-28-2011. STATES THAT SPRINT'S TOWER PLATFORMS, ARMS, MOUNTS,
INCLUDING TOWER, AND ALL OTHER ASPECTS OF THE STRUCTURE IS IN CODE COMPLIANCE
FOR THE PROPOSED LOADS PER SPRINT'S NETWORK VISION EQUIPMENT DEPLOYMENT.



1 SITE ELEVATION
FULL SIZE PLOT: SCALE: 3/32" = 1'-0"
HALF SIZE PLOT: SCALE: 3/64" = 1'-0"
0 1' 2' 4'

- NOTES:**
1. CONTRACTOR TO FIELD VERIFY ANTENNA CABLE LENGTHS.
 2. ALL MAIN CABLES WILL BE COLOR CODED AT THREE (3) LOCATIONS.
 3. COLOR CODE ALL ANTENNA AND COAX WITH 2" WIDE BANDS OF COLORED TAPE WITH 1" SEPARATION BETWEEN BANDS.
 4. COLOR CODE ALL TOP AND BOTTOM GROUND KITS WITH 1" WIDE BANDS OF COLORED TAPE WITH 1/2" SEPARATION BETWEEN BANDS.
 5. START COLOR BANDS 2" BEYOND WEATHERPROOFING.
 6. START SECTOR COLOR NEXT TO END CONNECTOR.
 7. ALL MAIN CABLES WILL BE GROUNDING W/ COAXIAL CABLE GROUND KITS AT:
 - THE ANTENNA LEVEL
 - MID LEVEL IF TOWER IS OVER 200'
 - BASE OF TOWER PRIOR TO TURNING HORIZONTAL
 - TERMINATION OF COAX LINES TO JUMPEES
 8. ALL NEW GROUND BAR DOWNLEADS ARE TO BE CABLED TO THE EXISTING ADJACENT GROUND BAR DOWNLEADS A MINIMUM DISTANCE OF 4FT BELOW GROUND BAR
 9. PROVIDE BUSS BAR NEAR BITS FOR ATTACHMENT OF WMAX COAX GROUND KITS

- COAXIAL ANTENNA CABLE NOTES:**
1. THE ANTENNA COAXIAL CABLE INSTALLER SHALL BE RESPONSIBLE FOR PERFORMING AND SUPPLYING SPRINT WITH 3 TYPED WRITTEN SWEEP TESTS (ANTENNA RETURN LOSS TEST). THIS TEST SHALL BE PERFORMED TO THE SPECIFICATIONS AND PARAMETERS OUTLINED BY THE SPRINT RADIO FREQUENCY (RF) ENGINEER. THIS TEST SHALL BE PERFORMED PRIOR TO FINAL ACCEPTANCE OF THE SITE/
 2. THE COAXIAL ANTENNA CABLE INSTALLER SHALL BE RESPONSIBLE FOR PERFORMING AND SUPPLYING SPRINT WITH 3 TYPED WRITTEN TIME DOMAIN REFLECTOMETER (TDR) TESTS TO VERIFY CABLE LENGTH AND TO CHECK FOR WATER DAMAGE.
 3. VAPOR WRAP WILL BE USED TO SEAL ALL CONNECTIONS.
 4. ALL JUMPEES TO THE ANTENNAS FROM THE MAIN TRANSMISSION LINE WILL BE 1/2" JUMPEES AND SHALL NOT EXCEED 6'-0". MAXIMUM LENGTH FOR THE JUMPEES AT THE BITS UNITS WILL BE 6'-0".
 5. IF COAX IS BEING RE-USED FOR THIS INSTALLATION, PRE AND POST ANTENNA LINE SWEEPS ARE REQUIRED.
 6. UPON COMPLETION, PROVIDE A HEIGHT VERIFICATION DEPICTING RAD CENTER AND TOP OF ANTENNA.

- ANTENNA MOUNTING NOTES:**
1. DESIGN AND CONSTRUCTION OF ANTENNA SUPPORTS SHALL CONFORM TO CURRENT ANSI/AIAA-222; APPENDIX B FOR WIND LOADING; "STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES" OR APPLICABLE LOCAL CODES.
 2. ALL STEEL MATERIALS SHALL BE GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIPPED GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS OTHERWISE NOTED.
 3. ALL BOLTS, ANCHORS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINC-COATING (HOT DIP) ON IRON AND STEEL HARDWARE", UNLESS OTHERWISE NOTED.
 4. DAMAGED GALVANIZED SURFACES SHALL BE REPAIRED BY COLD GALVANIZING IN ACCORDANCE WITH ASTM A770.
 5. ALL ANTENNA MOUNTS SHALL BE INSTALLED WITH DOUBLE NUTS AND SHALL BE INSTALLED SLUG TIGHT.
 6. MINIMUM HORIZONTAL SPACING SHALL BE 2'-0" BETWEEN ALL ANTENNAS.

- NOTES:**
1. ALL ADJUSTS ARE TO BE ESTABLISHED CLOCKWISE FROM THE TRUE NORTH HEADING.
 2. CONTRACTOR SHALL VERIFY PROPOSED ANTENNA RAD CENTER AND ORIENTATIONS WITH SPRINT PDS PRIOR TO INSTALLATION OF ANTENNAS.
 3. PRIOR TO ATTACHING ANTENNAS AND MOUNTING SECTIONS, EXISTING TOWER AND TOWER FOUNDATION MUST BE ANALYZED BY A LICENSED STRUCTURAL ENGINEER TO VERIFY TOWER IS CAPABLE OF SUPPORTING THE PROPOSED LOADS. REFER TO STRUCTURAL ANALYSIS BY CHASE.
 4. CONTRACTOR SHALL REFER TO TOWER STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.

RE MARKING SIGNAGE & EMERGENCY SIGNAGE NOTES
CONTRACTOR TO CONFIRM THAT THE SITE IS COMPLIANT WITH ALL TOWER MARKING SIGNAGE & EMERGENCY SIGNAGE AS REQUIRED BY THE FEDERAL GUIDELINES CONTAINED WITHIN DET 05 GULLETTIN & AS PER SPRINT GUIDELINES.
IF TOWER MARKING SIGNAGE & EMERGENCY SIGNAGE ON ONE.

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07495

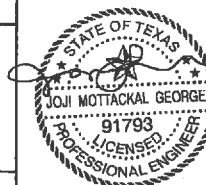
CONSULTANT:



**F2- LANCASTER
WATER TOWER**

SITE NUMBER:
DA58XC800
SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75148
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY:	MAM
APPROVED BY:	JMG
DATE DRAWN:	08/04/11
REVISION	
NO	DESCRIPTION
0	SUBMISSION: 90% CD MAM 08/04/11
0	100% CD PER RL JMG 10/13/11
1	100% CD PER RL JS 04/4/12
1	100% CD PER DCAD JS 04/10/12

SHEET TITLE:
**SITE ELEVATION &
ANTENNA DETAILS**

SHEET NUMBER:

A-4

Site Name: 1011 East Beltline Road

Site ID #: DA58XC800-D

Exhibit B-1

[See Attached]

Sprint




PROJECT NAME: NETWORK VISION MMBTS LAUNCH
SITE NAME: F2-LANCASTER WATER TOWER
SITE NUMBER: DA58XC800
STRUCTURE TYPE: WATER TOWER
MARKET: DFW
LEGAL DESC: T M ELLIS ABST 432 PG 335 TR 6.1 ACS 1.8367
VOL 99105/1804 **DD** 04201999 **CO-DC**
0432335100601 23604323351


THESE DRAWINGS ARE PREPARED BASED ON RFDS REVISION V1, DATED 1/4/12. GENERAL CONTRACTOR TO VERIFY AND INCORPORATE MOST RECENT VERSION OF THE RFDS WITH ERICSSON PRIOR TO CONSTRUCTION. O.G. TO USE THE MOST CURRENT RFDS.

PREPARED FOR:

 1 INTERNATIONAL BOULEVARD
 SUITE #800
 MAHWAH, N.J. 07445

CONSULTANT:

 ALLPRO
 CONSULTING GROUP, INC.
 8221 LYNDON B. JOHNSON FREEWAY
 SUITE 204, DALLAS, TX 75243
 PHONE: 972-591-6800
 FAX: 972-591-6875
 WWW.ALLPROCONSULTING.COM
 REGISTRATION # 0444
 AOB # 11-4304

SITE NAME:
F2- LANCASTER WATER TOWER
SITE NUMBER:
DA58XC800
SITE ADDRESS:
 1013 E. BELTLINE ROAD
 LANCASTER, TX 75146
 DALLAS COUNTY

STAMP:

 04/10/12

DRAWN BY: MAM
APPROVED BY: JMG
DATE DRAWN: 06/04/11
REVISION

NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 90% CD	MAM	06/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
TITLE SHEET
SHEET NUMBER:
T-1

PROJECT SUMMARY

SITE NAME: F2-LANCASTER WATER TOWER
SITE NUMBER: DA58XC800
911 ADDRESS: 1013 E. BELTLINE RD.
 LANCASTER, TX 75146
APN#: 85043233510060100
LATITUDE: 32°35'24.28" N
LONGITUDE: 96°44'42.62" W
GROUND ELEVATION: 510' AMSL
JURISDICTION: DALLAS COUNTY (CITY OF LANCASTER)
ZONING: AGRICULTURAL-OPEN DISTRICT

SCOPE OF WORK

- 1) THE WIRELESS COMMUNICATIONS FACILITY IS NOT INTENDED FOR HUMAN OCCUPANCY
- 2) THE SCOPE OF WORK CONSISTS OF MODIFYING THE EXISTING WIRELESS INSTALLATION:
 - A. REMOVAL ALL EXISTING METROCELL EQUIPMENT CABINET
 - B. INSTALLATION OF NEW EQUIPMENT CABINET
 - C. REMOVAL OF EXISTING ANTENNAS
 - D. INSTALLATION OF NEW ANTENNAS
 - E. INSTALLATION OF NEW RAILS (REMOTE RADIO UNITS)
 - F. INSTALLATION OF GPS ANTENNA
 - G. INSTALLATION OF NEW HYBRID CABLE
 - J. INSTALLATION OF NEW A2 UNITS

APPLICABLE CODES & STANDARDS

- INTERNATIONAL BUILDING CODE, 2006 EDITION AS ADOPTED BY LOCAL JURISDICTION.
- NATIONAL ELECTRICAL CODE, 2008 EDITION AS ADOPTED BY LOCAL JURISDICTION.
- UNIFORM MECHANICAL CODE, 2006 EDITION AS ADOPTED BY LOCAL JURISDICTION.
- INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION AS ADOPTED BY LOCAL JURISDICTION.

DRIVING DIRECTIONS

DEPART DALLAS/FT WORTH INTERNATIONAL AIRPORT
 START OUT GOING NORTH ON E AIRFIELD DR TOWARD
 E 31ST ST. 0.1 MI MAKE A U-TURN AT E 31ST ST
 ONTO E AIRFIELD DR. 0.5 MI TURN LEFT ONTO W
 WALNUT HILL LN. 0.9 MI TURN SLIGHT RIGHT ONTO
 TX-181. 0.8 MI MERGE ONTO TX-181 S VIA THE
 RAMP ON THE LEFT. 0.9 MI MERGE ONTO TX-183 E
 TOWARD DALLAS. 0.9 MI TX-183 E BECOMES I-35E
 S/US-77 S. 17.4 MI TAKE THE BELT LINE RD EXIT,
 EXIT 414, TOWARD FM-1352. 0.3 MI STAY STRAIGHT
 TO GO ONTO N BECKLEY AVE. 0.7 MI TURN LEFT
 ONTO E BELT LINE RD. 5.1 MI 1013 E BELT LINE
 RD IS ON THE LEFT.

CONTACTS

APPLICANT:
 SPRINT PCS
 1 INTERNATIONAL BOULEVARD
 SUITE #800
 MAHWAH, N.J. 07495
 201-884-4000

PRIME CONTRACTOR:
 ERICSSON
 8300 LEGACY DRIVE
 PLANO, TEXAS 75024, USA
 PHONE: 972-583-0927

SITE ACQUISITION MANAGER:
 CHAD BLUNT
 972-583-0926

CONSTRUCTION MANGER:
 EUGENE WHITING
 918-302-2063

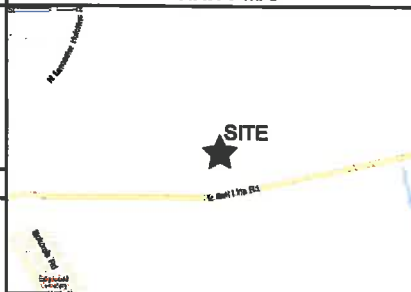
RF ENGINEER:
 GARY PEARCE
 gary.pearce@ericsson.com

TOWER OWNER:
 CITY OF LANCASTER
 CONTACT: JASON OR STEVEN
 PHONE: 214-536-1433

ARCHITECT/ENGINEER:
 ALLPRO CONSULTING GROUP, INC.
 9221 LYNDON B. JOHNSON FREEWAY,
 SUITE 204
 DALLAS, TX 75243
 CONTACT: JOJI M. GEORGE P.E.
 OFFICE: 972-231-8883
 FAX: 886-364-8375
TELEPHONE COMPANY:
 SOUTHWESTERN BELL
 1888-772-8098

POWER COMPANY:
 TXU
 1-800-24-9113

VICINITY MAP



APPROVALS

SPRINT REPRESENTATIVE	DATE
SPRINT RF ENGINEERING	DATE
SITE OWNER	DATE
SPRINT CONSTRUCTION MANAGER	DATE

THE ABOVE PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS
 AND AUTHORIZE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION
 DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE
 LOCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR
 MODIFICATIONS.

SITE ACCESS PROCEDURES

TURN INTO ACCESS ROAD FROM BELTLINE RD. INTO GATED SITE
 ACCESS CONTACT: JASON OR STEVEN 214-536-1433

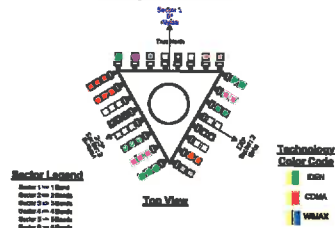
LIST OF DRAWINGS

SITE GENERAL ARRANGEMENT PLANS	
T-1	TITLE SHEET
T-2	GENERAL NOTES
T-3	GENERAL NOTES
T-4	GENERAL NOTES
ARCHITECTURAL / CIVIL PLANS	
A-1	OVERALL SITE PLAN
A-2	ENLARGE SITE PLAN
A-3	EQUIPMENT SITE PLANS
A-4	SITE ELEVATION
A-5	EQUIPMENT SCHEDULE & RFDS
A-6	ANTENNA PLUMBING DIAGRAM
A-7	ENLARGED ANTENNA PLANS & COAX RUN DIAGRAM
A-8	(E) COLOR CODING
A-9	(M) COLOR CODING
A-10	DETAILS
A-11	DETAILS
ELECTRICAL PLANS	
E-1	ELECTRICAL PLAN & DETAILS
E-2	POWER/TELCO DIAGRAMS
E-3	GROUNDING PLANS - TEMPORARY
E-4	GROUNDING PLANS - FINAL
E-5	ELECTRICAL DETAILS
E-6	GROUNDING DETAILS
E-7	GROUNDING DETAILS

NOTE: DRAWING SCALES ARE FOR 24"x36" SHEETS UNLESS OTHERWISE NOTED.



ANTENNA AND CABLE COLOR CODING (2 Sealed / Multiple RF Channels) Assuming 3 lines and antennas

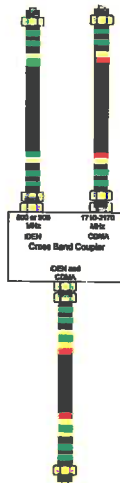


Example - Sector 1 and Cable 3 (IDEN)

Example - Sector 2 and Cable 5 (CDMA)

Example - Sector 2 and Cable 1 (IDEN & CDMA)

1. Color Band to be 2" wide on main line.
2. Spacing to be 1" between bands and 2" between line and technology bands. No space between technology color bands.
3. Color band on Jumper 1" wide w/ 1" space.
4. Start color bands 2" beyond weatherproofing.
5. Start Sector Color band to end connector.



3 ANTENNA & CABLE COLOR CODE
SCALE: N.T.S.

Sector	Cable	First Ring	Second Ring	Third Ring
1 Alpha	1	Blue	No Tape	No Tape
1	2	Blue	No Tape	No Tape
1	3	Blue	No Tape	No Tape
1	4	White	No Tape	No Tape
1	5	Red	No Tape	No Tape
1	6	Grey	No Tape	No Tape
1	7	Purple	No Tape	No Tape
1	8	Orange	No Tape	No Tape
2 Beta	1	Blue	No Tape	No Tape
2	2	Blue	No Tape	No Tape
2	3	Blue	No Tape	No Tape
2	4	White	White	No Tape
2	5	Red	Red	No Tape
2	6	Grey	Grey	No Tape
2	7	Purple	Purple	No Tape
2	8	Orange	Orange	No Tape
3 Gamma	1	Blue	No Tape	No Tape
3	2	Blue	No Tape	No Tape
3	3	Blue	No Tape	No Tape
3	4	White	White	White
3	5	Red	Red	Red
3	6	Grey	Grey	Grey
3	7	Purple	Purple	Purple
3	8	Orange	Orange	Orange

5 COAXIAL CABLE COLOR CODE
SCALE: N.T.S.

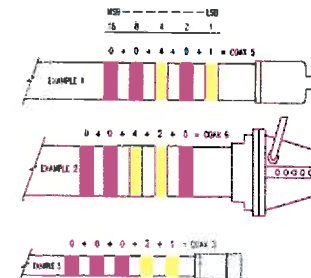
Technology Color Code	First Ring	Second Ring
IDEN	Yellow	Blue
CDMA	Yellow	Red
WIMAX	Yellow	Blue

2 FREQUENCY COLOR CODE
SCALE: N.T.S.

CABLE	STRIPE 1	STRIPE 2 (2)	STRIPE 3 (4)	STRIPE 4 (8)	STRIPE 5 (16)
1	YELLOW	PURPLE	PURPLE	PURPLE	PURPLE
2	PURPLE	YELLOW	PURPLE	PURPLE	PURPLE
3	YELLOW	YELLOW	PURPLE	PURPLE	PURPLE
4	PURPLE	PURPLE	YELLOW	PURPLE	PURPLE
5	YELLOW	PURPLE	YELLOW	PURPLE	PURPLE
6	PURPLE	YELLOW	YELLOW	PURPLE	PURPLE
7	YELLOW	YELLOW	YELLOW	PURPLE	PURPLE
8	PURPLE	PURPLE	PURPLE	YELLOW	PURPLE
9	YELLOW	PURPLE	PURPLE	YELLOW	PURPLE
10	PURPLE	YELLOW	PURPLE	YELLOW	PURPLE
11	YELLOW	YELLOW	PURPLE	YELLOW	PURPLE
12	PURPLE	PURPLE	YELLOW	YELLOW	PURPLE
13	YELLOW	PURPLE	YELLOW	YELLOW	PURPLE
14	PURPLE	YELLOW	YELLOW	YELLOW	PURPLE
15	YELLOW	YELLOW	YELLOW	YELLOW	PURPLE
16	PURPLE	PURPLE	PURPLE	PURPLE	YELLOW
17	YELLOW	PURPLE	PURPLE	PURPLE	YELLOW
18	PURPLE	YELLOW	PURPLE	PURPLE	YELLOW
19	YELLOW	YELLOW	PURPLE	PURPLE	YELLOW
20	PURPLE	PURPLE	PURPLE	PURPLE	YELLOW
21	YELLOW	PURPLE	YELLOW	PURPLE	YELLOW
22	PURPLE	YELLOW	YELLOW	PURPLE	YELLOW
23	YELLOW	YELLOW	YELLOW	PURPLE	YELLOW
24	PURPLE	PURPLE	PURPLE	YELLOW	YELLOW

NOTE: LABELS SHALL BE PLACED CLOSEST TO THE CONNECTOR END OF THE CABLE

4 MICROWAVE COLOR CODE CHART
SCALE: N.T.S.



1 MICROWAVE CABLE COLOR CODE
SCALE: N.T.S.

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #600
MAHWAH, N.J. 07495

CONSULTANT:



SITE NAME:
**F2- LANCASTER
WATER TOWER**
SITE NUMBER:
DA58XC800
SITE ADDRESS:
1013 E. BELL LINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

STAMP:



DRAWN BY:		MAM	
APPROVED BY:		JMG	
DATE DRAWN:		08/04/11	
REVISION			
NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 90% CD	MAM	08/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER CDAD	JS	04/10/12

SHEET TITLE:
(E) COLOR CODING

SHEET NUMBER:
A-8

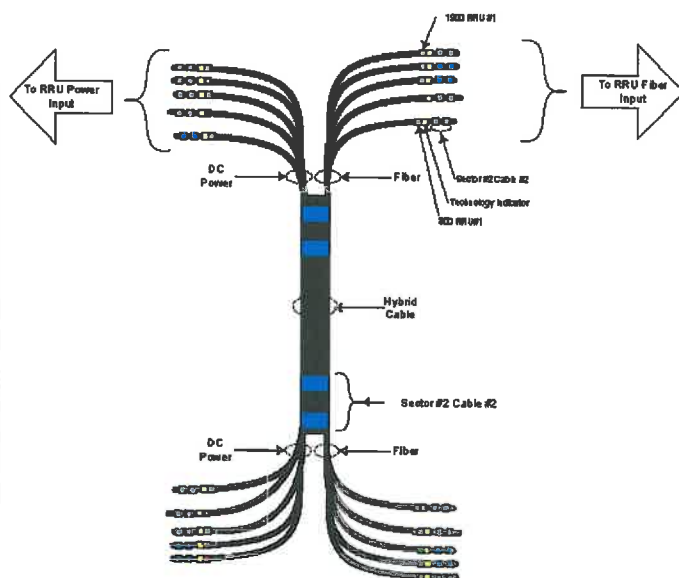


5 CABLE TRAY/BIDGE

SCALE: N.T.S.

NOTE:

HYBRID CABLE WILL BE MARKED IN A SIMILAR MANNER AS COAX CABLE DESCRIBED IN THE "ANTENNA & CABLE COLOR CODE" DETAIL LOCATED ON THE SHEET. THE MAIN "DUNK" OF THE HYBRID CABLE WILL NOT BE MARKED WITH THE FREQUENCY CODE AS THE HYBRID CABLE IN MANY CASES WILL CONTAIN ALL TECHNOLOGIES. THE INDIVIDUAL POWER Pairs AND FIBER CABLES WILL BE LABELED WITH BOTH THE FREQUENCY AND SECTOR CABLE MARKINGS.



3 HYBRID CABLE COLOR CODE

SCALE: N.T.S.

Sector	Cable	First Ring	Second Ring	Third Ring
1 Alpha	1	Green	No Tape	No Tape
1	2	Blue	No Tape	No Tape
1	3	Brown	No Tape	No Tape
1	4	White	No Tape	No Tape
1	5	Red	No Tape	No Tape
1	6	State	No Tape	No Tape
1	7	Orange	No Tape	No Tape
1	8	Orange	No Tape	No Tape
2 Beta	1	Green	No Tape	No Tape
2	2	Blue	No Tape	No Tape
2	3	Brown	No Tape	No Tape
2	4	White	No Tape	No Tape
2	5	Red	No Tape	No Tape
2	6	State	No Tape	No Tape
2	7	Orange	No Tape	No Tape
2	8	Orange	No Tape	No Tape
3 Gamma	1	Green	No Tape	No Tape
3	2	Blue	No Tape	No Tape
3	3	Brown	No Tape	No Tape
3	4	White	No Tape	No Tape
3	5	Red	No Tape	No Tape
3	6	State	No Tape	No Tape
3	7	Orange	No Tape	No Tape
3	8	Orange	No Tape	No Tape

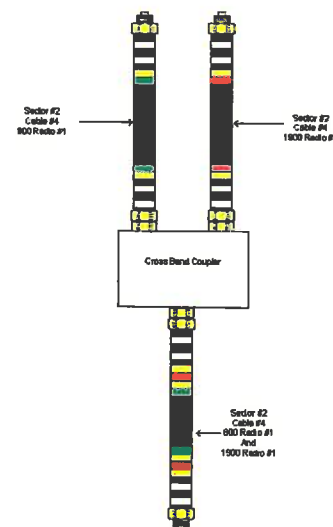
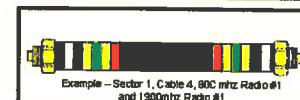
4 COAXIAL CABLE COLOR CODE

SCALE: N.T.S.

Frequency	Indicator	ID
800 #1	Yellow	Green
1900 #1	Yellow	Red
1900 #2	Yellow	Brown
Reserved	Yellow	Blue
Reserved	Yellow	White
Reserved	Yellow	Orange
Reserved	Yellow	White
1600 #1	Yellow	Blue

2 FREQUENCY COLOR CODE

SCALE: N.T.S.



1 ANTENNA & CABLE COLOR CODE

SCALE: N.T.S.

PREPARED FOR:



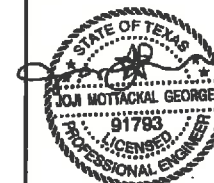
1 INTERNATIONAL BOULEVARD
SUITE #600
MAYNARD, N.J. 07466

CONSULTANT:



SITE NAME:
**F2- LANCASTER
WATER TOWER**
SITE NUMBER:
DA58XC800
SITE ADDRESS:
1013 E. BELTUNE ROAD
LANCASTER, TX 78148
DALLAS COUNTY

STAMP:



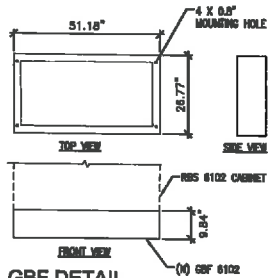
04/10/12

DRAWN BY:	MM
APPROVED BY:	JMG
DATE DRAWN:	08/04/11
REVISION	
NO DESCRIPTION	BY DATE
0 SUBMISSION	08/04/11
1 100% CD PER IL	JU 10/13/11
1 100% CD PER IL	JS 04/4/12
1 100% CD PER EOOD	JS 04/10/12

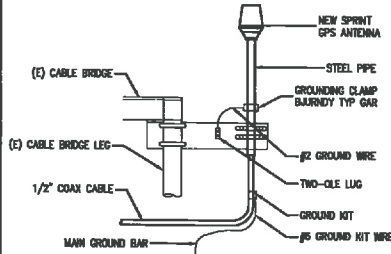
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NEW COLOR CODING

SHEET NUMBER:
A-9

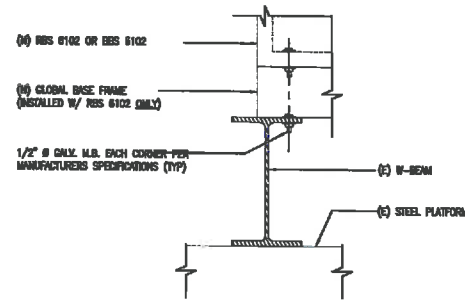
MANUFACTURER: ERICSSON
MODEL: GLOBAL BASE FRAME (GBF) 6102
WEIGHT: 444.0 LBS.



5 GBF DETAIL
SCALE: N.T.S.



4

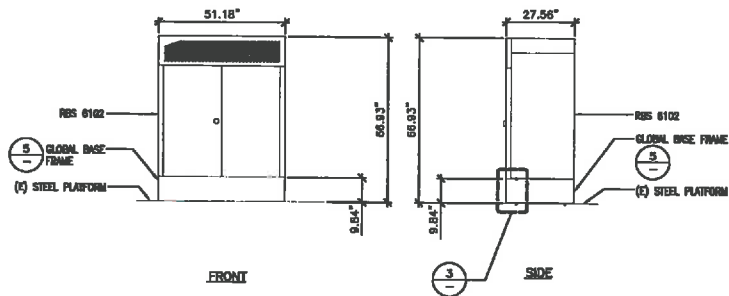


3 CABINET MOUNTING DETAIL
SCALE: N.T.S.

ERICSSON RBS 6102	
DIMENSIONS	51.18" W x 27.56" D x 98.63" H
WEIGHT	447.12 LBS.
MINIMUM CLEARANCES	
FRONT	27.56"
SIDE	1.87"
REAR	7.87"

*WEIGHT SHOWN ON THE TABLE INCLUDES GLOBAL BASE FRAME, PROVIDED BY ERICSSON.

**WEIGHT SHOWN ON THE TABLE INCLUDES GLOBAL BASE FRAME, PROVIDED BY ERICSSON.



2 RBS 6102
SCALE: N.T.S.

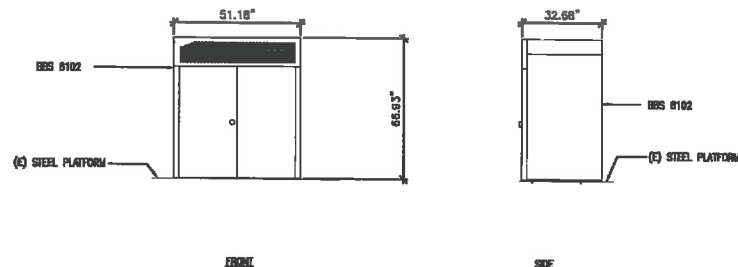
ERICSSON BBS 6102	
DIMENSIONS	51.18" W x 32.68" D x 67.26" H
WEIGHTS	448.74 - 508.76 LBS.
BATTERY WEIGHTS	448.74 - 508.76 LBS.
MINIMUM CLEARANCES	
FRONT	31.00"
SIDE	8.00"
REAR	8.00"

*WEIGHT SHOWN ON THE TABLE INCLUDES AIRCRAFT WEIGHTS

**WEIGHT SHOWN ON THE TABLE INCLUDES CPW WEIGHTS

**WEIGHT SHOWN ON THE TABLE ARE EACH (OF MAX. 6) 170 LB. CARRIER

***WEIGHT SHOWN ON THE TABLE ARE EACH (OF MAX. 6) 170 LB. CARRIER



1 BBS 6102
SCALE: N.T.S.

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07485

CONSULTANT:



SITE NAME:

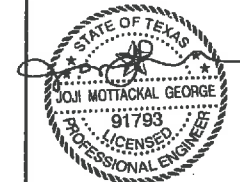
F2- LANCASTER
WATER TOWER

SITE NUMBER:

DA58XC800

SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75145
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY: MAM
APPROVED BY: JMG
DATE DRAWN: 08/04/11

NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 90% CD	MAM	08/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:

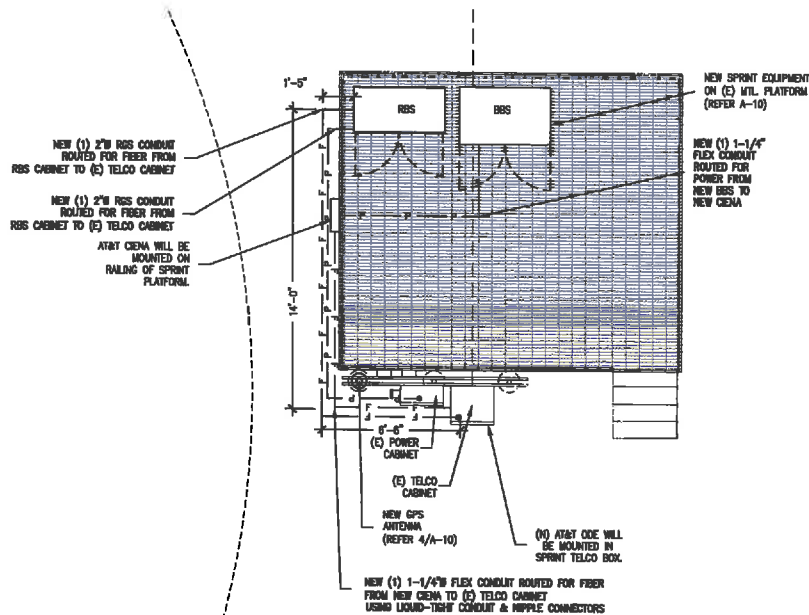
DETAILS

SHEET NUMBER:

A-10

3 DETAIL

SCALE 1/2" = 1'-0"



1 UTILITIES SITE PLAN

FULL SIZE PLAN: SCALE: 1/4" = 1'-0"
HALF SIZE PLAN: SCALE: 1/8" = 1'-0"

0 1 2 4 8

2 DETAIL

SCALE 1/2" = 1'-0"

ABBREVIATIONS:

A	AMPERE
AF	AMPERE FRAME
AGB	ARENA GROUND BDR
C	CONDUIT
G	GROUND
HH	HILOWV HOUR
MB	MASTER GROUND BDR
MB	MAIN CIRCUIT BREAKER
PVC	POLYVINYL CHLORIDE
P	POLE
RM	RIGID METAL CONDUIT
SN	SOLID NEUTRAL
V	VOLT
W	WIRE
Ø	PHASE

ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), AND APPLICABLE LOCAL CODES.
2. GROUNDING SHALL COMPLY WITH ARTICLE 250 OF NATIONAL ELECTRICAL CODE.
3. ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED.
4. ALL WIRES SHALL BE AND MIN #12 BHN COPPER UNLESS NOTED.
5. CONDUCTIONS SHALL BE INSTALLED IN SCHEDULE 40 PVC CONDUIT UNLESS NOTED OTHERWISE.
6. LABEL SPRINT SERVICE DISCONNECT SWITCH AND PFC CABINET WITH ENGRAVED LAMINATED LABELS, LETTERS 1" IN HEIGHT.
7. ROUTE GROUNDING CONDUCTIONS ALONG THE SHORTEST AND SIMPLEST PATH POSSIBLE, BEING GROUNDING LEADS WITH A MINIMUM 6" BENDS.
8. ENGAGE AN INDEPENDENT TESTING FIRM TO TEST AND VERIFY THAT RESISTANCE DOES NOT EXCEED 5 OHMS TO GROUND. TEST GROUND RING RESISTANCE PRIOR TO MAKING FINAL GROUND CONNECTIONS TO INFRASTRUCTURE AND EQUIPMENT. GROUNDING AND OTHER OPERATIONAL TESTING SHALL BE WITNESSED BY SPRINT REPRESENTATIVE.
9. PROVIDE PULL BOXES AND JUNCTION BOXES WHERE REQUIRED SO THAT CONDUIT BENDS DO NOT EXCEED 90°.
10. OBTAIN PERMITS AND PAY FEES RELATED TO ELECTRICAL WORK PERFORMED ON THIS PROJECT. OBTAIN COPIES OF ALL PERMITS TO SPRINT REPRESENTATIVE.
11. SCHEDULE AND ATTEND INSPECTIONS RELATED TO ELECTRICAL WORK REQUIRED BY JURISDICTION HAVING AUTHORITY. CORRECT AND PAY FOR ANY WORK REQUIRED TO PASS ANY FIELD INSPECTION.
12. REQUIRED AS-BUILTS ARE TO BE DELIVERED TO SPRINT REPRESENTATIVE.
13. PROVIDE TWO COPIES OF OPERATION AND MAINTENANCE MANUALS IN THREE-RING BINDER.
14. PERSONS AND INSTALL THE COMPLETE ELECTRICAL SERVICE, TELCO CONDUIT, AND THE COMPLETE GROUNDING SYSTEM.
15. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL ORDINANCES, INSTALLED IN A NEAT MANNER, AND SHALL BE SUBJECT TO APPROVAL BY SPRINT REPRESENTATIVE.
16. CONDUCT A PRE-CONSTRUCTION SITE VISIT AND VERIFY EXISTING SITE CONDITIONS AFFECTING THIS WORK. REPORT ANY OMISSIONS OR DISCREPANCIES FOR CLARIFICATION PRIOR TO THE START OF CONSTRUCTION.
17. PROTECT ADJACENT STRUCTURES AND FINISHES FROM DAMAGE. REPAIR TO ORIGINAL CONDITION ANY DAMAGED AREAS.
18. REMOVE DEBRIS ON A DAILY BASIS. DEBRIS NOT REMOVED IN A TIMELY FASHION WILL BE REMOVED BY OTHERS AND THE RESPONSIBLE SUBCONTRACTOR SHALL BE CHARGED ACCORDINGLY. REMOVAL OF DEBRIS SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE. DEBRIS SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF LEGALLY.
19. UPON COMPLETION OF WORK, THE SITE SHALL BE CLEAN AND FREE OF DUST AND FINGERPRINTS.
20. PRIOR TO ANY TRENCHING, CONTACT LOCAL UTILITY TO VERIFY LOCATION OF ANY EXISTING BURIED SERVICE CONDUITS.
21. DOCUMENT GROUND RING INSULATION AND CONNECTIONS TO IT WITH PHOTOGRAPHS PRIOR TO BACKFILLING SITE. PRESENT PHOTO ARCHIVE AT SITE "PUNCH LIST" FOLDER TO SPRINT'S REPRESENTATIVE.

LEGEND:

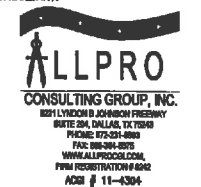
	HILOWV HOUR METER
	COPPER GROUND BDR MOUNTED ON SILLARS
	CIRCUIT BREAKER
	TOGGLE LIGHT SWITCH
	JUNCTION BOX
	GROUND TEST WELL
	EXOTHERMIC BONDING CONNECTION
	5/8" DIA X 10'-0" COPPER-CLAD STEEL GROUND ROD
	125 VOLT NEMA CONFIGURATION 5-20R DUPLEX RECEPTACLE MOUNTED 16" AFF
	POWER WIRING
	TELCO WIRING
	GROUND WIRE
	FIBER WIRE

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07485

CONSULTANT:



SITE NAME:

F2- LANCASTER WATER TOWER

SITE NUMBER:

DA58XC800

SITE ADDRESS:

1013 E. BELTLINE ROAD
LANCASTER, TX 75148
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY:	MAW		
APPROVED BY:	JMG		
DATE DRAWN:	06/04/11		
REVISION			
NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 80% CD	MAW	06/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/04/12
1	100% CD PER DCAD	JS	04/10/12
SHEET TITLE:			
UTILITIES SITE PLAN			
SHEET NUMBER:			
E-1			

PREPARED FOR:



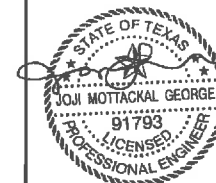
1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07495

CONSULTANT:



SITE NAME:
**F2- LANCASTER
WATER TOWER**
SITE NUMBER:
DA58XC800
SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

STAMP:

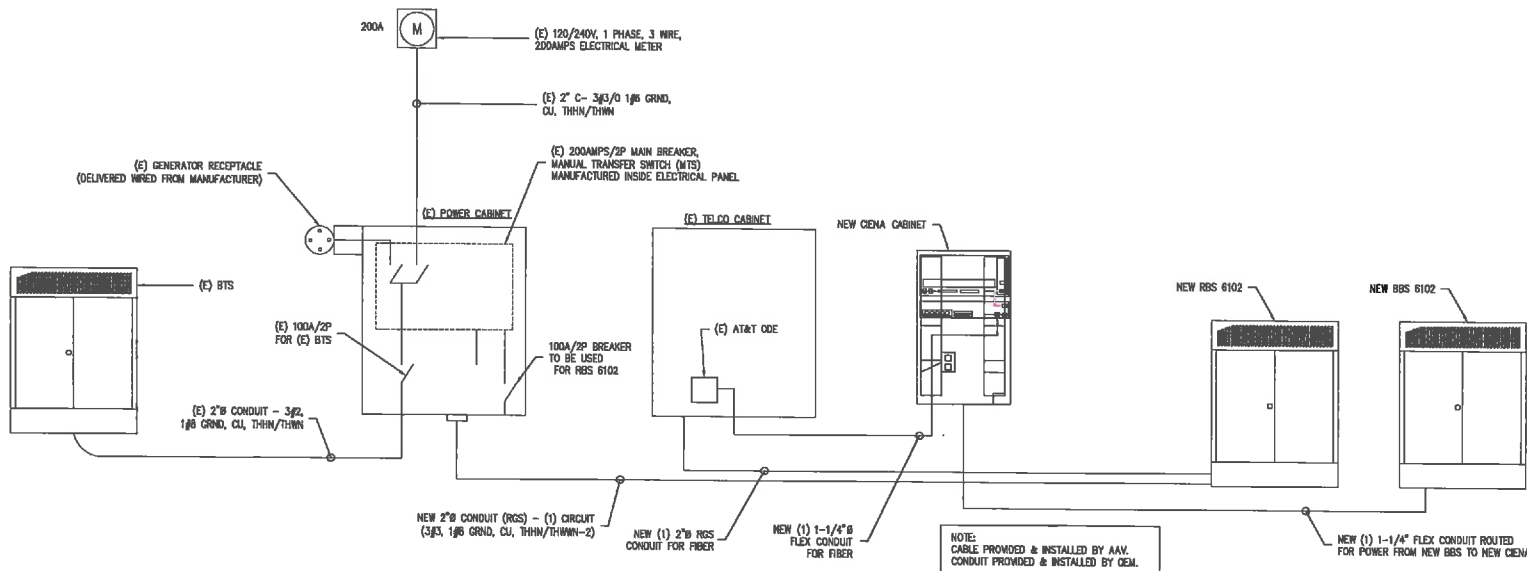


04/10/12

DRAWN BY:	MAM		
APPROVED BY:	JMG		
DATE DRAWN:	08/04/11		
REVISION			
NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 90% CD	MAM	08/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
**POWER/TELCO
DIAGRAMS**

SHEET NUMBER:
E-2



2 ELECTRICAL & TELCO ONE-LINE RISER DIAGRAM
N.T.S.

Ericsson MM-BTS RBS 6102	Alarm Contact	Severity	Owner	Comments	Color Code
BTS Scan Point 1 (2200) RBS 6102 Open Door (cable supplied)	NC	Minor	Service Assurance	RBS/Right OVP1/A1	Black/Brown
BTS Scan Point 2 (2100) RBS 6102 Climate Unit Failure (cable supplied)	NC	Minor	Field Services	RBS/Right OVP2/A2	Red/Orange
BTS Scan Point 3 (2000) CDMA DBU1 Fan Failure (cable supplied internal)	NC	Major	Field Services	RBS/Right OVP2/A3	White/Brown
BTS Scan Point 4 (1600) Utility Power Failure	NC	Major	Service Assurance	RBS/Right OVP2/A4	White/Blue
BTS Scan Point 5 (1200) Generator Failure	NC	Major	Field Services	RBS/Right OVP1/A5	White/Orange
BTS Scan Point 6 (1201) Generator Running	NC	Minor	No Action. DRMS only.	RBS/Right OVP1/A6	White/Green
BTS Scan Point 7 (1202) Generator Low Fuel Threshold	NC	Major	Field Services	RBS/Right OVP1/A7	White/Brown
BTS Scan Point 8 Customer defined				RBS/Right OVP1/A8	White/Slate
BTS Scan Point 9 (2000) CDMA DBU2 Fan Failure (cable supplied internal)	NC	Major	Field Services	RBS/Right OVP2/A1	White/Brown
BTS Scan Point 10 (9000) Tower Top Light Failure, NOTAM Required	NC	Major	Service Assurance	RBS/Right OVP2/A2	Red/Blue
BTS Scan Point 11 (9100) Tower Side Light Failure, no NOTAM	NC	Minor	Service Assurance	RBS/Right OVP2/A3	Red/Orange
BTS Scan Point 12 User Defined from Standards Column A Only				RBS/Right OVP2/A4	Red/Green
BTS Scan Point 13 User Defined from Standards Column A Only				RBS/Right OVP2/A5	Red/Brown
BTS Scan Point 14 User Defined from Standards Column A Only				RBS/Right OVP2/A6	Red/Slate
BTS Scan Point 15 User Defined from Standards Column A Only				RBS/Right OVP2/A7	Black/Slate
BTS Scan Point 16 User Defined from Standards Column A Only				RBS/Right OVP2/A8	Black/Orange
BTS Scan Point 17 (2000) CDMA DBU2 Fan Failure (cable supplied internal)	NC	Major	Field Services	RBS/Left OVP1/A1	White/Brown

* NC = Normally Closed (Closed contacts with no alarm condition)
GNOC = Global Network Operations Center

3 BTS ALARM WIRE SCHEMATICS
N.T.S.

120/240V, 1ø, 3W
200A, BUS, 10KAIC

Incoming Voltage 240
EXISTING PANEL SCHEDULE

Circuit#	AMPS	Poles	Description	Description	AMPS	Poles	Circuit#
1	100	2	(E) METROCELL 1	(E) SURGE ARRESTOR	60	2	7
2							8
3	20	1	(E) LIGHTS	UNKNOWN	100	2	9
4		1	EMPTY				10
5		1	EMPTY	(E) GFI	15	1	11
6		1	EMPTY	(E) FAN	10	1	12

120/240V, 1ø, 3W
200A, BUS, 10KAIC

Incoming Voltage 240
EXISTING + NEW PANEL SCHEDULE (TEMPORARY CONDITION)

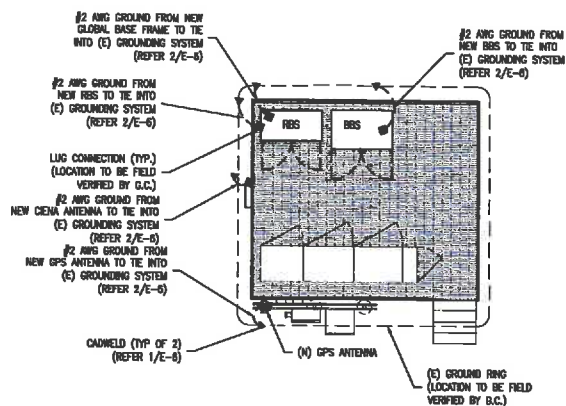
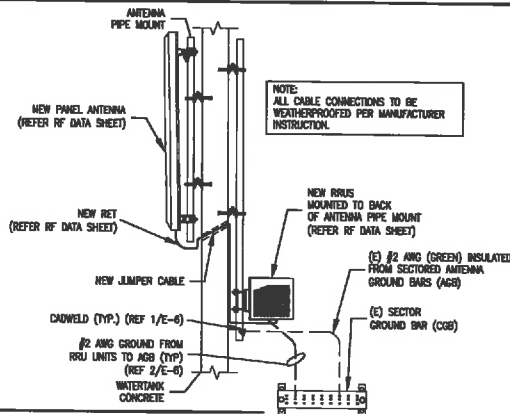
Circuit#	AMPS	Poles	Description	Description	AMPS	Poles	Circuit#
1	100	2	(E) METROCELL 1	(E) SURGE ARRESTOR	60	2	7
2							8
3	20	1	(E) LIGHTS	UNKNOWN	100	2	9
4		1	EMPTY				10
5	100	2	(N) RBS 6102	(E) GFI	15	1	11
6				(E) FAN	10	1	12

1 PANEL SCHEDULE SUMMARY
N.T.S.

2 ANTENNA GROUNDING (HOT SWAP)

SCALE: 1/4" = 1'-0"
0 1 2 4 8'

NOTE: REFER TO SHEET E-4 FOR GROUNDING PLANS FOR FINAL CONFIGURATIONS.



1 GROUNDING PLAN (HOT SWAP)

TRUE NORTH
FULL SIZE FLOOR: SCALE: 1/4" = 1'-0"
HALF SIZE FLOOR: SCALE: 1/8" = 1'-0"
0 1 2 4 8'

NOTE: REFER TO SHEET E-4 FOR GROUNDING PLANS FOR FINAL CONFIGURATIONS.

GROUNDING NOTES:

1. ALL DOWN CONDUCTORS AND GROUND RING CONDUCTOR SHALL BE #2 AWG, SOLID, BARE, TINED COPPER UNO. ALL CONNECTIONS TO GROUND RING SHALL BE EXOTHERMICALLY WELDED. CONDUCTOR SHALL BE A MINIMUM DEPTH BELOW GRADE OF 30 INCHES OR TO THE LEDGE. MINIMUM BEND RADIUS SHALL BE 8 INCHES. CONDUCTOR SHALL BE AT LEAST 24 INCHES FROM ANY FOUNDATION, UNO.
2. ELECTRICAL SERVICE GROUND ROD SHALL BE COPPER CLAD STEEL, HARGER, TAB, BRCC OR EQUIVALENT.
3. WHERE MECHANICAL CONDUCTOR CONNECTIONS ARE SPECIFIED, BOLTED, COMPRESSION-TYPE CLAMPS OR SPLIT-BOLT TYPE CONNECTORS SHALL BE USED.
4. GROUND OFF GALVANIZED IN AFFECTED AREA. EXOTHERMICALLY WELD #2 CONDUCTOR AT 6 INCHES ABOVE GRADE OR FOUNDATION, WHICHEVER IS HIGHER. COLD-GALV AFTER. EXOTHERMICALLY WELD OTHER END TO GROUND.
5. GROUND CONDUCTORS ON EXTERIOR WALL OF SHELTER SHALL BE ENCASED IN 3/4" PVC CONDUIT TO GROUND. MOUNT PVC WITH GALVANIZED "C" CLAMPS. SEAL TOP ENDS.
6. FOLLOWING COMPLETION OF WORK, CONDUCT GROUND TEST. SUBMIT WRITTEN TEST TO CONSTRUCTION MANAGER AND PROJECT MANAGER.
7. ALL GROUNDING WORK SHALL COMPLY WITH CARRIAGE(S) STANDARDS.
8. GROUNDING REQUIREMENTS SHOWN ON THIS PLAN ARE FOR ITEMS THAT ARE LOCATED NEAR GRADE LEVEL AND THAT NEED TO BE TIED TO THE BELOW GRADE GROUND RING.
9. UNLESS NOTED OTHERWISE, ALL GROUNDING SHALL BE IN ACCORDANCE WITH SPRINT'S SSED DOCUMENTS 3.011.02.004 "BONDING, GROUNDING AND INVASION PROTECTION FOR CELL SITES", AND 3.018.10.002 "SITE RESISTANCE TO EARTH TESTING". ALL GROUNDING SHALL ALSO COMPLY WITH ALL STATE AND LOCAL CODES, AND THE NATIONAL ELECTRICAL CODE (NEC).
10. THE GROUND RING SHALL BE INSTALLED WITHIN 18 TO 24 INCHES FROM THE EQUIPMENT PAD FOUNDATION OR EQUIPMENT PLATFORM.
11. GROUND RODS SHALL NEVER BE SPACED HORIZONTALLY CLOSER THAN TWICE THE GROUND ROD LENGTH.
12. UNLESS NOTED OTHERWISE, ALL GROUNDING CONNECTIONS SHALL BE MADE BY AN EXOTHERMIC WELD.
13. NOTIFY THE CONSTRUCTION MANAGER 24 HOURS IN ADVANCE WHEN THE BLINDS GROUND RING IS INSTALLED SO THAT A REPRESENTATIVE CAN INSPECT THE GROUND RING BEFORE IT IS BACKFILLED WITH SOIL.
14. RESISTANCE TO EARTH TESTING IS REQUIRED PER SMC STANDARDS ON ALL NEW SITES.

GROUNDING LEGEND:

SYMBOL	DESCRIPTION
—▶—	EXOTHERMIC WELD
—	GROUND CONDUCTOR
—■—	MECHANICAL CONNECTION
—X—	GROUND ROD EXOTHERMICALLY WELDED TO GROUND RING
—G—	INTERIOR GROUND LEAD
○	CHAIN LINK FENCE

PREPARED FOR:



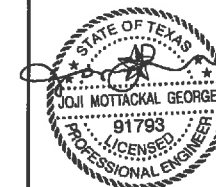
1 INTERNATIONAL BOULEVARD
SUITE #800
MANHATTAN, N.J. 07485

CONSULTANT:



SITE NAME:
F2- LANCASTER WATER TOWER
SITE NUMBER:
DA58XC800
SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75148
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY:	MAM
APPROVED BY:	JMG
DATE DRAWN:	08/04/11
REVISION	
NO	DESCRIPTION
0	SUBMISSION: 90% CD MAM 08/04/11
0	100% CD PER RL JU 10/13/11
1	100% CD PER RL JS 04/4/12
1	100% CD PER DCAD JS 04/10/12

SHEET TITLE:
GROUNDING PLANS (HOT SWAP)

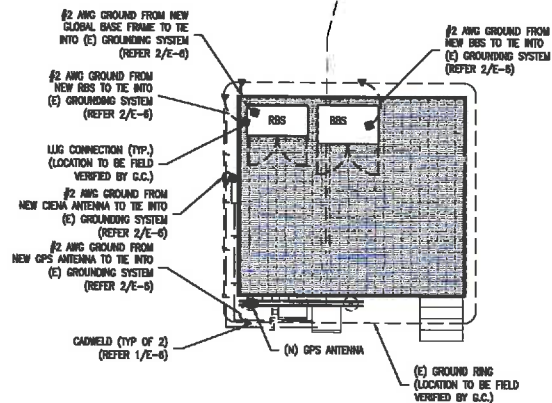
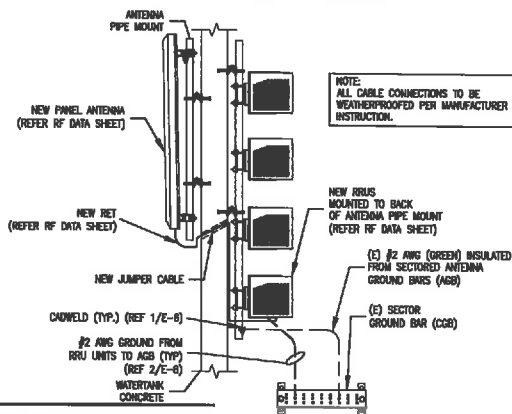
SHEET NUMBER:

E-3

2 ANTENNA GROUNDING (FINAL)

SCALE: 1/4" = 1'-0"
0 1 2 4 8'

NOTE: REFER TO SHEET E-3 FOR GROUNDING PLANS FOR TEMPORARY CONFIGURATIONS.



1 GROUNDING PLAN (FINAL)

FULL SIZE PLOT: SCALE: 1/4" = 1'-0"
HALF SIZE PLOT: SCALE: 1/8" = 1'-0"

0 1 2 4 8'

NOTE: REFER TO SHEET E-3 FOR GROUNDING PLANS FOR TEMPORARY CONFIGURATIONS.

GROUNDING LEGEND:

SYMBOL	DESCRIPTION
—▶—	EXOTHERMIC WELD
—■—	GROUND CONDUCTOR
—□—	MECHANICAL CONNECTION
—+—	GROUND ROD EXOTHERMICALLY WELDED TO GROUND RING
—●—	INTERIOR GROUND LEAD
—○—	CHAIN LINK FENCE

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07485

CONSULTANT:



SITE NAME:

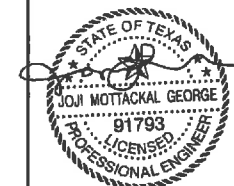
**F2- LANCASTER
WATER TOWER**

SITE NUMBER:

DA58XC800

SITE ADDRESS:
1013 E. BELTLINE ROAD
LANCASTER, TX 75148
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY: MAM

APPROVED BY: JMG

DATE DRAWN: 08/04/11

REVISION

NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 80% CD	MAM	08/04/11
1	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER CDND	JS	04/10/12

SHEET TITLE:
**GROUNDING PLANS
(FINAL)**

SHEET NUMBER:
E-4

PREPARED FOR:



1 INTERNATIONAL BOULEVARD
SUITE #800
MAHWAH, N.J. 07485

CONSULTANT:



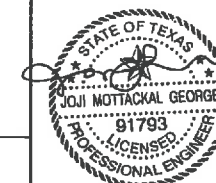
8201 LYNDON B. JOHNSON FREEWAY
SUITE 204, DALLAS, TX 75243
PHONE: 972-451-4800
FAX: 972-361-6575
WWW.ALLPROCONSULTING.COM
FIRM REGISTRATION # 6502
ACR # 11-4304

SITE NAME:
**F2- LANCASTER
WATER TOWER**

SITE NUMBER:
DA58XC800

SITE ADDRESS:
1013 E. BELTUNE ROAD
LANCASTER, TX 75148
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY:	MAM		
APPROVED BY:	JMG		
DATE DRAWN:	08/04/11		
REVISION			
NO	DESCRIPTION	BY	DATE
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0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

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ELECTRICAL DETAILS

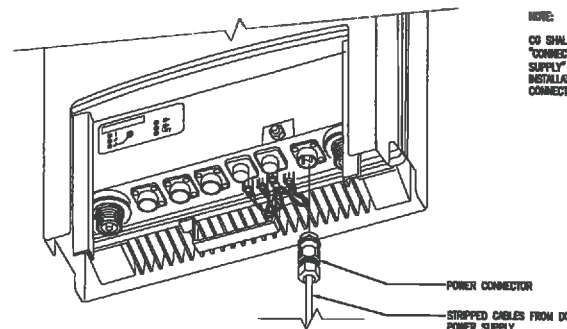
SHEET NUMBER:
E-5

6 NOT USED
SCALE: N.T.S.

5 NOT USED
SCALE: N.T.S.

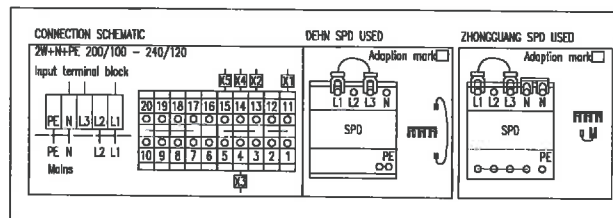
4 NOT USED
SCALE: N.T.S.

3 POWER CONNECTION AT RRUS
SCALE: 1/2" = 1'-0"



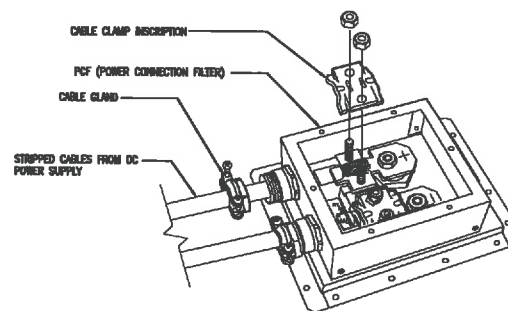
NOTE:
CD SHALL REFERENCE SECTION 8.4
"CONNECTING THE -48V DC POWER
SUPPLY" OF THE ERICSSON RRUS
INSTALLATION DOCUMENTS, FOR ALL
CONNECTION SPECIFICATIONS.

ONLY ONE OF THE SPD VARIANTS IS USED
28H+N+PE 200/100 - 240/120 V AC



2 AC POWER CONNECTION AT RBS
SCALE: N.T.S.

1 DC POWER CONNECTION AT RBS
SCALE: N.T.S.

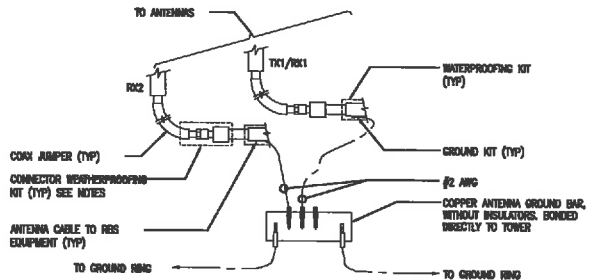


NOTE:
CD SHALL REFERENCE SECTION 10
"CONNECTING THE POWER SUPPLY"
OF THE ERICSSON RBS 0100
INSTALLATION DOCUMENTS, FOR ALL
CONNECTION SPECIFICATIONS.

7 NOT USED
SCALE N.T.S.

NOTES:

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
2. WEATHER PROOFING SHALL BE TWO-PART TAPE KIT. COLD SHRINK SHALL NOT BE USED.



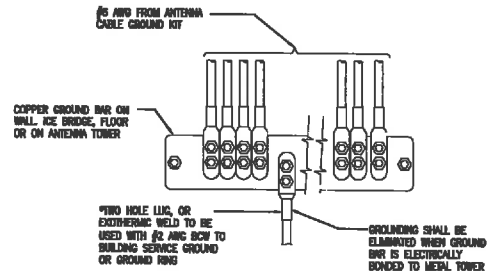
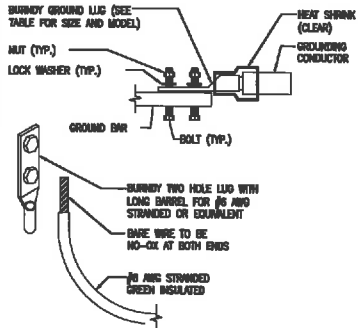
4. ANTENNA GROUNDING KIT

WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 AWG GREEN INSULATED	YABC-27C38	3/8" - 16 NC S 2 BOLT
#2 AWG SOLID TIMBER	YAB30-27C38	3/8" - 16 NC S 2 BOLT
#2 AWG STRANDED	YAC30-27C38	3/8" - 16 NC S 2 BOLT
#2/0 AWG STRANDED	YAB36-27C38	3/8" - 16 NC S 2 BOLT
#4/0 AWG STRANDED	YAB36-3N	1/2" - 16 NC S 2 BOLT

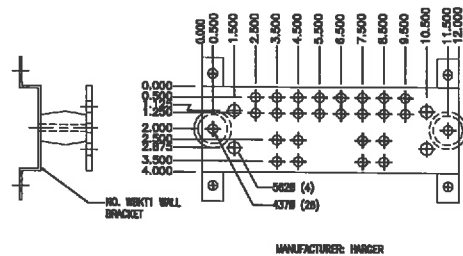
NOTES:

1. ALL HARDWARE BOLTS, NUTS, LOCK WASHERS SHALL BE STAINLESS STEEL. ALL HARDWARE ARE TO BE AS FOLLOWS: BOLT, FLAT WASHER, GROUND BAR, GROUND LUG, FLAT WASHER AND NUT.
2. COPPER SHIELD, ANTI-OK OR WD-OK OR EQUIVALENT SHALL BE PLACE WHERE ALL DISSIMILAR METALS CONNECT.
3. ALL LUGS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

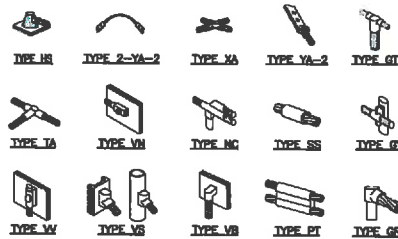
2 MECHANICAL LUG CONNECTION



5 GROUNDWIRE INSTALLATION



3 12" GROUND BAR
SCALE: N.T.S.



NOTES

ENRICO EXOTHERMIC "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH PROJECT MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.

1 EXOTHERMIC WELD



1 INTERNATIONAL BOULEVARD
SUITE 4800
MAHWAH, N.J. 07495

CONSULTANT:

 **ALLPRO**
CONSULTING GROUP, INC.
9221 LYNDON B JOHNSON FREEWAY
SUITE 204, DALLAS, TX 75243
PHONE: 972-351-0880
FAC: 972-354-8275
WWW.ALLPROCONS.COM
FIRM REGISTRATION # 6292
AGE # 11-4304

SITE NAME:
F2- LANCASTER
WATER TOWER

SITE NUMBER:
DA58XC800

1013 E. BELTLINE ROAD
LANCASTER, TX 75146
DALLAS COUNTY

STAMP:



04/10/12

DRAWN BY:	MAM
APPROVED BY:	JMG
DATE DRAWN:	08/04/11

REVISION			
NO	DESCRIPTION	BY	DATE
0	SUBMISSION: 90% CD	MAM	08/04/11
0	100% CD PER RL	JJ	10/13/11
1	100% CD PER RL	JS	04/4/12
1	100% CD PER DCAD	JS	04/10/12

SHEET TITLE:
GROUNDING DETAILS

SHEET NUMBER:

E-6



SHEET NUMBER: **E-7**

effect as the original ordinance. Certified copies of the ordinances may also be used in evidence in lieu of original ordinances.

ARTICLE IV

City Manager

SECTION 4.01 City Manager

The City Council shall appoint a City Manager, who shall be the chief executive officer of the municipal government and shall be responsible for the efficient administration of all departments.

SECTION 4.02 Compensation

The City Manager, when so appointed, shall receive a salary and other compensation as set by the City Council.

SECTION 4.03 Qualifications of City Manager

The City Manager shall be chosen by the Council solely on the basis of his executive and administrative qualifications with special reference to his actual experience in, or his knowledge of, accepted practices with respect to the duties of his office as hereinafter outlined. At the time of his appointment, he need not be a resident of the City or state, but during the tenure of office he shall reside within the City. No person elected to membership on the Council shall, subsequent to such election, be eligible for appointment as City Manager until one (1) year has elapsed following the expiration of the term for which he was elected.

SECTION 4.04 Powers and Duties of City Manager

(A) The City Manager shall hold his office for an indefinite period and shall be suspended or removed at the will and pleasure of the City Council upon an affirmative vote of four (4) members of the governing body. The action of the Council in suspending or removing the City Manager shall be final, since it is the intention of this section to vest all authority and fix all responsibility for such suspension or removal wholly in the City Council. In no event shall a City Manager be terminated within ninety (90) days after a general election, except for misconduct, malfeasance, or misfeasance.

(B) It shall be the duty of the City Manager to act as chief conservator of the peace within the City; to supervise the administration of the affairs of the City; to see that the ordinances of the City and the laws of the state are enforced; to make such recommendations to the Council concerning the affairs of the City as may seem to him/her desirable; to execute all contracts as authorized by Council; to keep the Council advised of the financial condition and future needs of the City; to prepare and submit to the Council the annual budget estimate; to prepare and submit

to the Council such reports as may be required by that body; and to perform such other duties as may be prescribed by this section or required of him by ordinance or resolution of the Council not inconsistent with this section.

(C) The City Manager shall be responsible to the Council for the proper administration of all affairs of the City placed in his/her charge, and to that end he/she shall have the power to appoint and remove all officers and employees, except police officers and firefighters in the classified service, in the administrative service of the City; but the manager may authorize the head of a department or office responsible to him to appoint and remove subordinates in such department or office. Appointments made by, or under the authority of, the City Manager shall be on the basis of executive and administrative ability and of the training and experience of such appointees in work which they are to perform. All such appointments shall be without definite term unless for provisional, temporary, or emergency service not to exceed the maximum periods prescribed by such regulations as may be imposed under the authority of the Charter.

(D) Any officer or employee appointed by the City Manager, or a head of a department or office, may be removed by the manager or other appointing officer at any time and except as otherwise provided herein, the decision of the manager or other appointing officer shall be final.

(E) The City Manager shall attend all meetings of the Council, except where excused by the Council, and shall have the right to take part in all discussions, but shall have no vote.

SECTION 4.05 Official Bond

The City Manager shall give an official bond as established by City Council, payable to the City of Lancaster, conditioned as may be prescribed by the resolution or ordinance of the Council. Such bond shall be procured from some regularly accredited surety company, authorized to do business under the laws of the State of Texas, and the premiums to such surety company shall be paid by the City of Lancaster.

ARTICLE V

Other Officers

SECTION 5.01 City Secretary

(A) A City Secretary shall be appointed and serves at the pleasure of the City Council as provided by ordinance. He/she shall receive for his services such compensation as the City Council may fix. Unless excused by the City Council for good cause, he/she shall attend all meetings of the City Council and keep accurate minutes of its proceedings; he/she shall preserve and keep in order all books, papers, documents, records and files of the City Council and of the executive departments. He/she shall keep a record of all commissions and licenses issued and shall countersign the same. He/she may appoint such assistants and staff as may be approved in

RESOLUTION NO. 2014-06-49

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS, APPROVING A SITE PLAN FOR ADDITIONAL COMMUNICATION FACILITIES TO BE INSTALLED BY SPRINT SPECTRUM REALTY COMPANY, L.P. ON OR NEAR THE WATER TOWER LOCATED AT 1011 EAST BELTLINE ROAD, LANCASTER, TEXAS; APPROVING THE TERMS AND CONDITIONS OF A SECOND AMENDMENT TO THE LICENSE FOR COMMUNICATION FACILITIES AGREEMENT BY AND BETWEEN THE CITY OF LANCASTER, TEXAS, AND SPRINT SPECTRUM REALTY COMPANY, L.P. FOR THE PURPOSE OF ALLOWING THE CONSTRUCTION, INSTALLATION, AND MAINTENANCE OF ADDITIONAL COMMUNICATION EQUIPMENT AND INCREASING THE LICENSE FEE TO BE PAID TO THE CITY; AUTHORIZING THE CITY MANAGER TO EXECUTE SAID AMENDMENT; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Lancaster, Texas and Sprint Spectrum Realty Company, L.P. (collectively, the "Parties") previously entered into a certain License Communication Facilities Agreement dated June 9, 2003 to allow for the licensed use of a water tower located at 1011 East Beltline Road, Lancaster, Texas (the "Premises") for the installation of communication facilities and equipment (the "License Agreement"); and,

WHEREAS, the Parties previously entered into a First Amendment to the License Agreement on August 20, 2012 (the "First Amendment"); and,

WHEREAS, Sprint Spectrum Realty Company, L.P. is requesting a license to install additional communications facilities and equipment on the Premises and has submitted a proposed site plan detailing the location of additional communication facilities and equipment to be installed by Sprint Spectrum Realty Company, L.P. on or near the Premises (the "Site Plan"); and,

WHEREAS the Parties desire to enter into a Second Amendment to the License Agreement (the "Second Amendment") to allow Sprint Spectrum Realty Company, L.P. to add additional communication facilities and equipment to the Premises and to require Sprint Spectrum Realty Company, L.P. to pay an additional License Fee for the addition of said facilities and equipment; and,

WHEREAS, upon full review and consideration of the Site Plan and all matters related thereto, the City Council is of the opinion and finds that said Site Plan should be approved; and,

WHEREAS, upon full review and consideration of the Second Amendment and all matters related thereto, the City Council is of the opinion and finds that the terms and conditions thereof should be approved, and that the City Manager should be authorized to execute the Second Amendment on behalf of the City of Lancaster, Texas.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the Site Plan detailing the location of additional communication facilities and equipment to be installed by Sprint Spectrum Realty Company, L.P. on or near the water tower located at 1011 East Beltline Road, Lancaster, Texas, attached as Exhibit B-2 to the the Second Amendment to the License for Communication Facilities Agreement, attached hereto as Exhibit "A," is hereby approved.

SECTION 2. That the terms and conditions of the Second Amendment to the License for Communication Facilities Agreement, attached hereto as Exhibit "A", with Sprint Spectrum Realty Company, L.P., (the "Second Amendment") for the purpose of adding communication facilities and equipment to the Premises and requiring Sprint Spectrum Realty Company, L.P. to pay an additional License Fee for the addition of said facilities and equipment, are hereby approved.

SECTION 3. That the City Manager is hereby authorized to execute the Second Amendment on behalf of the City.

SECTION 4. This Resolution shall take effect immediately from and after its passage, and it is accordingly so resolved.

DULY RESOLVED AND ADOPTED by the City Council of the City of Lancaster, Texas, this the 23rd day of June, 2014.

APPROVED:



MARCUS E. KNIGHT, MAYOR

ATTEST:



SORANGEL O. ARENAS, CITY SECRETARY

APPROVED AS TO FORM:



ROBERT E. HAGER, CITY ATTORNEY

EXHIBIT "A"
SECOND AMENDMENT TO THE LICENSE FOR COMMUNICATION FACILITIES
AGREEMENT BETWEEN CITY OF LANCASTER AND
SPRINT SPECTRUM REALTY COMPANY, L.P.

**SECOND AMENDMENT TO
LICENSE FOR COMMUNICATION FACILITIES**

THIS Second Amendment to the License for Communications Facilities ("Second Amendment") is entered into by and between Sprint Spectrum Realty Company, L.P., successor in interest to Sprint Spectrum, L.P. ("LICENSEE") and City of Lancaster, Texas ("CITY"), a municipal corporation, (collectively the "Parties" or each a "Party") acting by and through their authorized representatives.

WHEREAS, the Parties previously entered into that certain License Agreement dated June 9, 2003 (the "License Agreement"); and

WHEREAS, the Parties previously entered into a First Amendment to the License Agreement on August 20, 2012 (the "First Amendment")

WHEREAS, the parties desire to amend the License Agreement to allow the Licensee to add additional Equipment to the water tower located at 1011 East Beltline Road, Lancaster, Texas as set forth herein;

NOW, THEREFORE, in consideration of the foregoing premises and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereto agree as follows:

1. That paragraph 2 ("Equipment") of the License Agreement is hereby amended to add the following language at the end of paragraph 2, allowing LICENSEE to install additional equipment, to be depicted in Exhibit B-2, attached hereto, to read as follows:

"2. [...]Exhibit B-2 supplements Exhibit B and Exhibit B-1 to the Agreement, and shall not be deemed to supersede or otherwise modify Exhibit B, Exhibit B-1, or any part thereof except to the extent specifically set forth in Exhibit B-2. Upon full execution of this Amendment, Licensee is permitted to do all work necessary to prepare, maintain and alter the Site to install or otherwise modify the Facilities, all as more fully described and contemplated in Exhibit B-2, with prior City approval of construction and installation plans in cooperation with the manufacturer of the facility."

2. That paragraph 10 ("Consideration") of the License Agreement is hereby amended to add the following language at the end of paragraph 10, providing for an "Additional Equipment Fee" to be added to the rental payment, to read as follows:

"10. ... Effective thirty (30) days after the start of construction of the modification to the Premises to install new Equipment at the Premises reflected in Exhibit B-2 ("Equipment Date"), the License Fee of nineteen hundred eighty three dollars and seventy five cents (1983.75) (the License Fee as of June 1, 2014) shall increase by Three Hundred and No/100 Dollars (\$300.00) per year (the "Additional License Fee"), partial year to be prorated. The prorated Additional License Fee shall be paid by LICENSEE to CITY in a single payment

within thirty (30) days of the Equipment Date. The Additional License Fee shall be subject to the same escalations to which rent is subject in accordance with this Agreement.”

3. That paragraph 25 (“Entire Agreement”) of the License Agreement is hereby amended to read as follows:

“25. This Agreement, together with all Exhibits attached hereto and the Memorandum of Agreement attached, is the entire agreement between the parties with respect to the subject matter covered in this Agreement. There is no other collateral, oral or written agreement between the parties that in any matter relates to the subject matter of this Agreement.”

4. General Terms and Conditions.

(a) Except as hereby amended, all other provisions of the License Agreement and First Amendment will remain in full force and effect as originally written and the License Agreement and First Amendment are hereby confirmed as to all provisions contained therein. In the event of any conflict between the terms of this Second Amendment and the terms of the License Agreement and First Amendment, the Amendment shall control.

(b) All capitalized terms used in this Second Amendment, unless otherwise defined herein, will have the same meaning as the terms contained in the License Agreement.

(c) Each of the parties represent and warrant that they have the right, power, legal capacity and authority to enter into and perform their respective obligations under this Amendment.

(d) This Amendment shall become effective on the last date of execution hereof.

[Signature Page to Follow]

EXECUTED this 23 day of June, 2014.

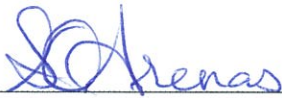
CITY:

CITY OF LANCASTER, TEXAS

By: 

OPAL MAULDIN ROBERTSON,
CITY MANAGER

ATTEST:



SORANGEL O. ARENAS, CITY SECRETARY

EXECUTED this 1 day of July, 2014.

LICENSEE:

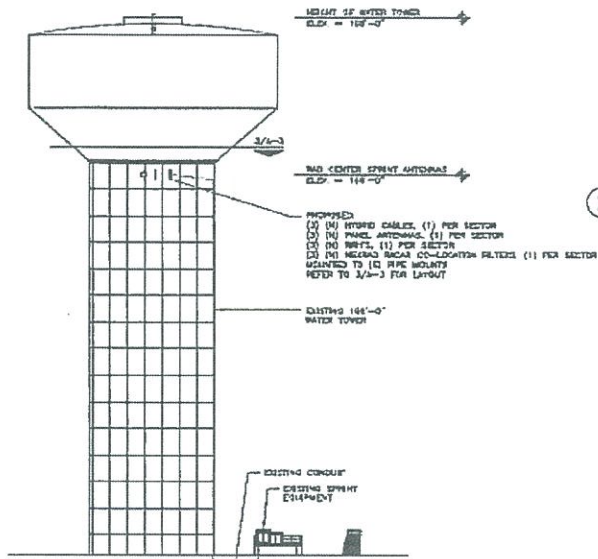
SPRINT SPECTRUM REALTY COMPANY, L.P.

By: 

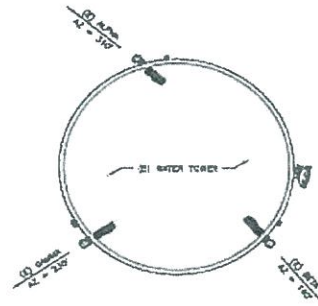
Name: DANYELLE BAKER

Title: TEXAS AREA MANAGER

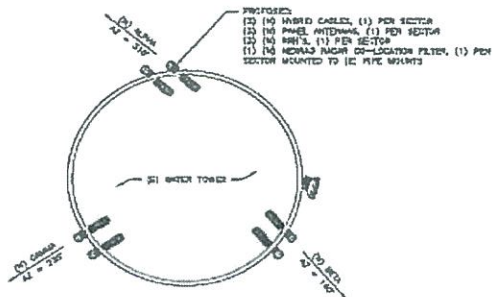
**EXHIBIT B-2 SITE PLAN
[TO BE ATTACHED]**



TOWER ELEVATION
SCALE: N.T.S.



2 EXISTING ANTENNA PLAN
SCALE: N.T.S.



3 PROPOSED ANTENNA PLAN
SCALE: N.T.S.

THIRD AMENDMENT TO LICENSE FOR COMMUNICATION FACILITIES

This Third Amendment to License for Communications Facilities (this "Third Amendment"), effective as of the date last signed below ("Effective Date"), amends a certain License for Communication Facilities dated June 9, 2003, between Sprint Spectrum Realty Company, LLC., (formerly a limited partnership), successor in interest to Sprint Spectrum, L.P ("Tenant"), and City of Lancaster, Texas ("Landlord"), as amended by First Amendment to the License for Communication Facilities dated August 20, 2012, as amended by Second Amendment to License for Communication Facilities dated July 1, 2014" (the "collectively" "Agreement").

BACKGROUND

WHEREAS, Tenant and Landlord desire to modify certain provisions of the Agreement as provided below.

WHEREAS, Tenant and Landlord desire to amend the Agreement to allow the Tenant to add additional equipment to the water tower located at 1011 East Beltline Road, Lancaster, Texas as set forth herein.

AGREEMENT

For good and valuable consideration the receipt and sufficiency of which are acknowledged, Landlord and Tenant agree as follows:

1. Modification to the Premises. Exhibit B-2 to the First Amendment is hereby amended to include the modifications identified on Exhibit B-3, a copy of which is attached and made a part hereof. Exhibit B-3 supplements Exhibit B-2 to the First Amendment, and is not deemed to supersede or otherwise modify Exhibit B-3 or any part thereof except to the extent specifically set forth in Exhibit B-3. Upon full execution of this Amendment, Tenant is permitted to do all work necessary to prepare, maintain and alter the Premises to install or otherwise modify the Premises, all as more fully described and contemplated in Exhibit B-3

2. Modification to Rent. Section 10 of the Agreement is amended by adding the following language at the end of Paragraph 10, providing for an "Additional Equipment Fee" to be added to the rental payment, to read as follows:

"10.Effective thirty (30) days after the start of construction of the modification to the premises to install new equipment at the Premises reflected in Exhibit B-3, the License Fee of Two Thousand Four Hundred Ninety Five and fifty two cents (\$2495.52) (the License Fee as of June 1, 2017) shall increase by Three Hundred and No/100 Dollars (\$300.00) per year (the "Additional License Fee"), partial year to be prorated. The Additional License Fee shall be subject to the same escalations to which rent is subject in accordance with this Agreement."

3. **General Terms and Conditions.**

a. All capitalized terms used in this Third Amendment, unless otherwise defined herein, will have the same meaning as the terms contained in the Agreement.

b. In case of any inconsistencies between the terms and conditions contained in the Agreement and the terms and conditions contained in this Third Amendment, the terms and conditions herein will control. Except as set forth herein, all provisions of the Agreement are ratified and remain unchanged and in full force and effect.

c. This Third Amendment may be executed in duplicate counterparts, each of which will be deemed an original.

d. Each of the parties represents and warrants that it has the right, power, legal capacity and authority to enter into and perform its respective obligations under this Third Amendment.

*****SIGNATURES ON FOLLOWING PAGE*****

The parties have executed this Amendment as of the Effective Date.

Landlord:

City of Lancaster, Texas

By: _____

Printed Name: _____

Title: _____

Date: _____, 2017

(Date must be completed)

Tenant:

Sprint Spectrum Realty Company, LLC.

By: _____

Printed Name: _____

Title: _____

Date: _____, 2017

(Date must be completed)

Exhibit [B-3] SITE PLAN

[see attached]

LANCASTER CITY COUNCIL

City Council Regular Meeting

3.

Meeting Date: 06/10/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Healthy, Safe & Engaged Community

Submitted by: Fabrice Kabona, Assistant City Manager

Agenda Caption:

Consider a resolution approving payment in the amount of \$60,395.28 for the provision of emergency sewer line repair services for a 10 inch sanitary sewer line repair.

Background:

On December 1, 2018, staff investigation revealed a tree had fallen on top of the 10-inch sanitary sewer line crossing over Deep Branch Creek. The sewer main was completely crushed and had to be replaced. Due to the size and location, contractor (Reyes Group) was hired to complete the repair to bypass the sewer.

Operational Considerations:

The Water/wastewater Division of the Public Works department is responsible for the ongoing maintenance of the water and wastewater services.

Legal Considerations:

The City Attorney prepared the resolution and approved it as to form.

Public Information Considerations:

This item is being considered at a Regular Meeting of the City Council noticed in accordance with the Texas Open Meetings Act.

Options/Alternatives:

1. City Council may approve the resolution, as presented.
2. City Council may deny the resolution.

Recommendation:

Staff recommends approval of the resolution, as presented.

Attachments

Resolution

Exhibit "A"

Photo 1

Photo 2

Photo 3

Photo 4

Photo 5

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS APPROVING PAYMENT IN THE AMOUNT OF \$60,395.28 FOR THE PROVISION OF EMERGENCY SEWER LINE REPAIR SERVICES FOR A 10 INCH SANITARY SEWER LINE REPAIR; AUTHORIZING THE CITY MANAGER TO EXECUTE ANY NECESSARY PAYMENT ORDERS FOR THE PROJECT, AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Lancaster, Texas sustained a treefall event on a 10-inch sanitary sewer aerial located in a creek crossing which resulted in a sewer overflow event at Meadow Creek and Rosewood; and

WHEREAS, due to the complexity of the repairs caused by the creek crossing location and the total failure of the line caused by the treefall, the City needed to engage third-party emergency repair services to repair the sewer line and restore it to regular service; and

WHEREAS, Reyes Group Ltd. was able to provide an immediate response and complete the needed repairs on behalf of the City of Lancaster, Texas; and

WHEREAS, of the total amount of \$110,395.28 for the labor, equipment, material and mobilization that Reyes Group, Ltd provided for the sanitary sewer repair services, the amount of \$60,395.28 remains outstanding; and

WHEREAS, the City Council of the City of Lancaster, Texas directs that payment of the outstanding amount should be made to Reyes Group, Ltd. for services rendered in the emergency repair of the sewer line.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. The City Council hereby finds that the treefall event and sewer overflow comprised an emergency event that required immediate response to restore sewer service in order to protect public health and safety.

SECTION 2. The City Council hereby approves the payment in the amount of \$60,395.28 as the outstanding balance of the Reyes Group, Ltd. charges pursuant to the invoices and documents attached and incorporated by reference as Exhibit "A."

SECTION 3. The City Council hereby authorizes the City Manager to pay, or direct to be paid by her designee(s), the outstanding amount of \$60,395.28 to Reyes Group, Ltd. for the emergency services.

SECTION 4. This Resolution shall take effect immediately from and after its passage, and it is duly resolved.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 10th day of June, 2019.

ATTEST:

APPROVED:

Sorangel O. Arenas, City Secretary

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney



EXHIBIT "A"

INVOICE

Reyes Group Ltd.
15515 S. Crawford Ave.
Markham, IL 60428

INVOICE NO
6763

(708) 596-7100
(708) 596-7184

SOLD TO City of Lancaster
211 N. Henry St.
Lancaster, TX 75146

SHIP TO City of Lancaster
Meadowcreek Drive
Lancaster PO #52365

ACCOUNT NO	PO NUMBER	SHIP VIA	DATE SHIPPED	TERMS	INVOICE DATE	PAGE
LANCASTE				Net 30	1/25/2019	1

ITEM NO	QUANTITY	DESCRIPTION	UNIT PRICE	EXTENDED
1	1	Labor	61,894.00	61,894.00
2	1	Equipment	30,012.00	30,012.00
3	1	Material	10,668.01	10,668.01
4	1	Mobilization/Bond	7,821.27	7,821.27

TOTAL AMOUNT 110,395.28

EXTRA WORK ORDER

CREW #1

DATE 1.4.19	DAY FRIDAY	RG JOB # 201715
PROJECT 10" SEWER REPAIR MEADOWCREEK	GENERAL CONTRACTOR ZEL	
LOCATION 3700.01	OWNER COL	

DESCRIPTION OF EXTRA WORK

RECEIVED A CALL ABOUT A 10" SS LINE COLLAPSE IN LANCASTER. MOB EQUIPMENT & MATERIALS IN. STARTED CLEARING TREES FOR ACCESS TO THE REPAIR. INSTALLED CASING PIPE IN THE CREEK FOR BYPASS AND BUILT A ROAD ON TOP OF THE CREEK.

SHIFT TIME: 8:00PM - 12:00AM

LABOR

NAME	CLASSIFICATION	TOTAL HOURS WORKED	Weather: _____ Temp. AM _____ PM _____ Work Force No. S.T. O.T.			
1) NICK HAWES	SUPERINTENDENT	6.0	Supervisor			
2) LORETO HERNANDEZ	FOREMAN	9.0	General Mason			
3) DANIEL RICO	OPERATOR	9.0	Operator			
4) ALFREDO AVINA	OPERATOR	9.0	Laborer			
5) JUAN PACHECO	PIPE LAYER	9.0	Carpenter			
6) JUAN RICO	PIPE LAYER	9.0	Ironworker			
7) BRIAN NEWMAN	SHOP MANAGER	3.0	Other ()			
8) DRIVER	OPERATOR	3.0	Other ()			
9) DRIVER	OPERATOR	6.5	TOTALS			
10) DRIVER	OPERATOR	6.0				
11) OLIE FENEY	MECHANIC	2.0				


12) JESUS MARTINEZ OPERATOR 9.0

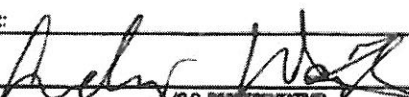

EQUIPMENT USED

MATERIAL USED

Description	Number of Hours	Description	Quantity
JOHN L90 LOADER	9.0	10" STEEL CASING	58LF
JOHN 350 EXCAVATOR	9.0	LIGHT PLANT	9.0
V131 PICK UP TRUCK	6.0		
V61 PICK UP TRUCK	9.0		
D1125 TRUCK	6.0		
V130 F550 PICK UP TRUCK	7.0		

Note: This Extra Work Order becomes part of and in performance with the existing contract.

SUPERVISOR'S SIGNATURE: 
(SUBCONTRACTOR'S REPRESENTATIVE)

GENERAL CONTRACTOR: 
AUTHORIZED BY: 
(G.C. REPRESENTATIVE)

DATE: _____

Payment will be made as follows:
Per original contract documents.

2

REYES GROUP LTD.
CONCRETE, UNDERGROUND & CONSTRUCTION MANAGEMENT

EXTRA WORK ORDER

CREW # 1

DATE 1.5.19	DAY SATURDAY	RG JOB # 201715
PROJECT 10" SEWER REPAIR MENDOCRICK	GENERAL CONTRACTOR RAL	
LOCATION 3700.01	OWNER COL	

DESCRIPTION OF EXTRA WORK

SEE SHEET # ①

SHIFT TIME : 12:00am - 8:00am

LABOR

NAME	CLASSIFICATION	TOTAL HOURS WORKED	Weather: _____ Temp. AM _____ PM _____			
1) LOPEZ HERNANDEZ	FOREMAN	8.0	Work Force	No.	S.T.	O.T.
2) DANIEL RICO	OPERATOR	8.0	Superintendent			
3) ALFREDO ANAYA	OPERATOR	8.0	General Manager			
4) JUAN PACHECO	PIPE LAYER	8.0	Operators			
5) JUAN RICO	PIPE LAYER	8.0	Labors			
6) JESUS MARTINEZ	OPERATOR	8.0	Carpenters			
7)			Ironworkers			
8)			Other ()			
9)			Other ()			
10)			TOTALS			
11)						

EQUIPMENT USED

MATERIAL USED

Description	Number of Hours	Description	Quantity
VOID 490 LOADER	8.0		
VOID 350 EXCAVATOR	8.0		
Vol Pick up TRUCK	8.0		
LIGHT PLANT	8.0		

Note: This Extra Work Order becomes part of and is enforceable with the existing contract.

SUPERVISOR'S SIGNATURE: _____

(SUBCONTRACTOR'S REPRESENTATIVE)

GENERAL CONTRACTOR: _____

AUTHORIZED BY: _____

(G.C. REPRESENTATIVE)

DATE: _____

Payment will be made as follows:

Per original contract documents.

EXTRA WORK ORDER

CREW # 2

DATE 1.5.19	DAY SATURDAY	RG JOB # 20185
PROJECT 10" SEWER REPAIR MEADOWLARK	GENERAL CONTRACTOR RGL	
LOCATION 3700.01	OWNER COL	

DESCRIPTION OF EXTRA WORK

FINISH BUILDING ROAD ON TOP OF THE CREEK. BYPASS EXISTING SEWER AROUND DAMAGED PIPE. CUT EXISTING 10" SEWER AND WELD/INSTALL NEW SEWER PIPE.

SHIFT TIME : 7:00AM - 12:00AM

LABOR

NAME	CLASSIFICATION	TOTAL HOURS WORKED	Weather: _____ Temp. AM _____ PM _____			
1) NICK HAINES	SUPERINTENDANT	8.0	Work Force	No.	S.T.	O.T.
2) PABLO MARUA	FOREMAN	17.0	Superintendent			
3) JUAN REYES	PIPE LAYER	17.0	Contract Mins			
4) JOSE PENA	OPERATOR	17.0	Operators			
5) JESUS AHUMADA	LABORER	17.0	Laborers			
6) GABRIEL GARCIA	OPERATOR	17.0	Carpenters			
7) VICTORIANO LEDEZMA	OPERATOR	17.0	Ironworkers			
8) DRIVER	OPERATOR	9.0	Other ()			
9) DRIVER	OPERATOR	2.0	Other ()			
10) DRIVER	OPERATOR	3.0	TOTALS			
11)						

EQUIPMENT USED

MATERIAL USED

Description	Number of Hours	Description	Quantity
V131 PICK UP TRUCK	8.0		
V61 PICK UP TRUCK	17.0		
VALVO 350 EXCAVATOR	17.0		
VALVO L90 LOADER	17.0		
3" PUMP (XS)	51.0		
LIGHT PLANT	17.0		

Note: This Extra Work Order becomes part of and in accordance with the existing contract.

SUPERVISOR'S SIGNATURE: [Signature]
(SUBCONTRACTOR'S REPRESENTATIVE)

GENERAL CONTRACTOR:

AUTHORIZED BY: [Signature]
(G.C. REPRESENTATIVE)

DATE: _____

Payment will be made as follows:

Per original contract documents.

REYES GROUP LTD.
CONCRETE, UNDERGROUND & CONSTRUCTION MANAGEMENT

EXTRA WORK ORDER

CREW # 2

DATE 1.6.14	DAY SUNDAY	RG JOB # 201715
PROJECT 10" SEWER REPAIR MEADOWVIEW	GENERAL CONTRACTOR RUC	
LOCATION 3700-01	OWNER COL	

DESCRIPTION OF EXTRA WORK

SEE SHEET ①

SHIFT TIME: 12:00am - 3:00am

LABOR

NAME	CLASSIFICATION	TOTAL HOURS WORKED	Weather: _____
1) PABLO GARLIA	FOREMAN	3.0	Temp. AM _____ PM _____
2) JUAN REYES	PIPE LAYER	3.0	Work Force No. S.T. O.T.
3) JOSE PENIA	OPERATOR	3.0	Superintendent
4) JESUS AHUMADA	LABORER	3.0	Contract Means
5) GABRIEL GARLIA	OPERATOR	3.0	Operations
6) VICTOR LEDEZMA	OPERATOR	3.0	Labors
7)			Compensate
8)			Transfers
9)			Other ()
10)			Other ()
11)			TOTALS

EQUIPMENT USED

MATERIAL USED

Description	Number of Hours	Description	Quantity
V61 PICK UP TRUCK	3.0		
VOLVO 350 EXCAVATOR	3.0		
VOLVO L90 LOADER	3.0		
3" GAS PUMP - 3EA	3.0 x 3		
LIGHT PLANT	3.0		

Note: This Extra Work Order becomes part of and in accordance with the existing contract.

SUPERVISOR'S SIGNATURE: _____

(SUBCONTRACTOR'S REPRESENTATIVE)

GENERAL CONTRACTOR: _____

AUTHORIZED BY: _____

(G.C. REPRESENTATIVE)

DATE: _____

Payment will be made as follows:

Per original contract documents.

EXTRA WORK ORDER

CREW # 1

DATE 1.7.19	DAY MONDAY	RG JOB # 207715
PROJECT 10" SEWER REPAIR	GENERAL CONTRACTOR RMC	
LOCATION 3700.01	OWNER COL	

DESCRIPTION OF EXTRA WORK

REMOVE ROAD & CASING IN THE CREEK. CUT TREES
& ROAD RESTORATION.

SHIFT TIME : 7:00am - 5:30pm

LABOR

NAME	CLASSIFICATION	TOTAL HOURS WORKED	Weather: _____ Temp. AM _____ PM _____			
1) NICK HAINES	SUPERINTENDENT	8.0	Work Force	No.	B.T.	O.T.
2) LORITO HERNANDEZ	FOREMAN	10.0	Superintendent			
3) DANIEL RICO	OPERATOR	10.0	Contract Machine			
4) FERNANDO VERDIN	LABORER	10.0	Operators			
5) ALFREDO AMINA	OPERATOR	10.0	Laborers			
6) JUAN PACHECO	PIPE LAYER	10.0	Carpenters			
7) JUAN RICO	PIPE LAYER	10.0	Ironworkers			
8) JOSE CONTRERAS	DRIVER	10.0	Other ()			
9)			Other ()			
10)			TOTALS			
11)						

EQUIPMENT USED

MATERIAL USED

Description	Number of Hours	Description	Quantity
V131 PICK UP TRUCK	8.0		
V161 PICK UP TRUCK	10.0		
VALVO L90 LOADER	10.0		
VALVO 350 EXCAVATOR	10.0		
54" COMPACTOR	10.0		

Note: This Extra Work Order becomes part of and is enforceable with the existing contract.

SUPERVISOR'S SIGNATURE: [Signature]
(SUBCONTRACTOR'S REPRESENTATIVE)

GENERAL CONTRACTOR: _____

AUTHORIZED BY: [Signature]
(G.C. REPRESENTATIVE)

DATE: _____

Payment will be made as follows:
Per original contract documents.

REYES GROUP LTD.
CONCRETE, UNDERGROUND & CONSTRUCTION MANAGEMENT

EXTRA WORK ORDER

Crew # 1

DATE <u>1-8-19</u>	DAY <u>TUESDAY</u>	RG JOB # <u>201715</u>
PROJECT <u>10" SEWER REPAIR</u>	GENERAL CONTRACTOR <u>RGL</u>	
LOCATION <u>3700.01</u>	OWNER <u>COL</u>	

DESCRIPTION OF EXTRA WORK

BACKFILL & COMPACT SLOPE

SHIFT TIME: 7:00 AM - 5:30 PM

LABOR

NAME	CLASSIFICATION	TOTAL HOURS WORKED	Weather: _____ Temp. AM _____ PM _____			
1) <u>NICK HAINES</u>	<u>SUPERINTENDENT</u>	<u>8.0</u>	Work Force	No.	S.T.	O.T.
2) <u>LOPEZ HERNANDEZ</u>	<u>FOREMAN</u>	<u>10.0</u>	Superintendent			
3) <u>DANIEL RICO</u>	<u>OPERATOR</u>	<u>10.0</u>	Contract Meters			
4) <u>FERNANDO VERDIN</u>	<u>LABORER</u>	<u>10.0</u>	Operators			
5) <u>ALFREDO ARIANA</u>	<u>OPERATOR</u>	<u>10.0</u>	Laborers			
6) <u>JUAN PACHECO</u>	<u>PIPELAYER</u>	<u>10.0</u>	Carpenters			
7) <u>JUAN RICO</u>	<u>PIPELAYER</u>	<u>10.0</u>	Ironworkers			
8) <u>JOSE CONTRERAS ORDAZ</u>	<u>LABORER</u>	<u>10.0</u>	Other ()			
9)			Other ()			
10)			TOTALS			
11)						

EQUIPMENT USED

MATERIAL USED

Description	Number of Hours	Description	Quantity
<u>V131 PICK UP TRUCK</u>	<u>8.0</u>		
<u>V61 PICK UP TRUCK</u>	<u>10.0</u>		
<u>VOIVO 300 EXCAVATOR</u>	<u>10.0</u>		
<u>VOIVO L90 LOADER</u>	<u>10.0</u>		
<u>54" COMPACTOR</u>	<u>10.0</u>		

Note: This Bill Work Order becomes part of and is enforceable with the existing contract.

SUPERVISOR'S SIGNATURE: [Signature]
(SUBCONTRACTOR'S REPRESENTATIVE)

GENERAL CONTRACTOR:

AUTHORIZED BY: [Signature]
(G.C. REPRESENTATIVE)

DATE: _____

Payment will be made as follows:

Per original contract documents.

EXTRA WORK ORDER

DATE <u>1.9.19</u>	DAY <u>WEDNESDAY</u>	RG JOB # <u>2017.5</u>
PROJECT <u>10" SEWER REPAIR</u>	GENERAL CONTRACTOR <u>RGC</u>	
LOCATION <u>3700.01</u>	OWNER <u>C.O.L</u>	

DESCRIPTION OF EXTRA WORK

LOCATE EXISTING SPRINKLER'S AND REPAIR. HAUL OFF
WOOD PILE & CLEAN UP JOB SITE.

SHIFT TIME: 7:00am - 5:30pm

LABOR

NAME	CLASSIFICATION	TOTAL HOURS WORKED	Weather: _____ Temp. AM _____ PM _____			
1) <u>NICK HAINES</u>	<u>SUPERINTENDENT</u>	<u>10.0</u>	Work Force	No.	S.T.	O.T.
2) <u>LORETO HERNANDEZ</u>	<u>FOREMAN</u>	<u>10.0</u>	Superintendent			
3) <u>DANIEL RICO</u>	<u>OPERATOR</u>	<u>10.0</u>	Current Means			
4) <u>FERNANDO VERDIN</u>	<u>LABORER</u>	<u>10.0</u>	Operations			
5) <u>ALFREDO AVINA</u>	<u>OPERATOR</u>	<u>10.0</u>	Laborers			
6) <u>JUAN PACHECO</u>	<u>PIPE LAYER</u>	<u>10.0</u>	Carpenters			
7) <u>JUAN RILLO</u>	<u>PIPE LAYER</u>	<u>10.0</u>	Ironworkers			
8) <u>JOSE CONTRERAS</u>	<u>IRON LABORER</u>	<u>10.0</u>	Other ()			
9)			Other ()			
10)			TOTALS			
11)						

EQUIPMENT USED

Description	Number of Hours
<u>V131 PICK UP TRUCK</u>	<u>10.0</u>
<u>V61 PICK UP TRUCK</u>	<u>10.0</u>
<u>1131 TRAILER</u>	<u>10.0</u>

MATERIAL USED

Description	Quantity
<u>MANHATTAN POT MISC.</u>	<u>1 LS</u>

Note: This Extra Work Order becomes part of and in conformance with the existing contract.

SUPERVISOR'S SIGNATURE: [Signature]
(SUBCONTRACTOR'S REPRESENTATIVE)

GENERAL CONTRACTOR: _____

AUTHORIZED BY: _____
(G.C. REPRESENTATIVE)

DATE: _____

Payment will be made as follows:
Per original contract documents.

REYES GROUP LTD.
CONCRETE, UNDERGROUND & CONSTRUCTION MANAGEMENT

EXTRA WORK ORDER

DATE 1.14.19	DAY MONDAY	RG JOB # 201715
PROJECT 10" SEWER REPAIR	GENERAL CONTRACTOR IZUL	
LOCATION 3700.01	OWNER COL	

DESCRIPTION OF EXTRA WORK

REMOVE EXISTING SIDEWALK & MANHOLE TOP. DELIVERED FORMS & REBAR TO THE JOB SITE. CLEAN UP CONCRETE.

SHEET TIME: 7:00AM - 5:30 PM

LABOR

NAME	CLASSIFICATION	TOTAL HOURS WORKED	Weather: _____ Temp. AM _____ PM _____ Work Force No. S.T. O.T.			
1) NICK HAINES	SUPERINTENDENT	10.0	Superintendent			
2) LORETO HERNANDEZ	FOREMAN	10.0	Cement Mason			
3) DAVID HERNANDEZ	FOREMAN	10.0	Operators			
4) JUAN PACHECO	PIPE LAYER	10.0	Laborers			
5) JUAN RICO	PIPE LAYER	10.0	Carpenters			
6) JOSE CONTRERAS ORTIZ	FINISHER	10.0	Ironworkers			
7) FRANCISCO CONTRERAS	FINISHER	10.0	Other ()			
8) SAMUEL GONZALEZ	FINISHER	10.0	Other ()			
9) FIDEL VALADEZ	LABORER	10.0	TOTALS			
10) JOSE RIOS	LABORER	10.0				
11) SERGIO HERRERA	LABORER	10.0				

EQUIPMENT USED

MATERIAL USED

Description	Number of Hours	Description	Quantity
1/31 PICK UP TRUCK	10.0		
1/61 PICK UP TRUCK	10.0		
1/62 PICK UP TRUCK	10.0		
AIR COMPRESSOR	10.0		
60# JACK HAMMER (X2)	20.0		

Note: This Extra Work Order becomes part of and in conformance with the existing contract.

SUPERVISOR'S SIGNATURE: _____

(SUBCONTRACTOR'S REPRESENTATIVE)

GENERAL CONTRACTOR: _____

AUTHORIZED BY: _____

(G.C. REPRESENTATIVE)

DATE: _____

Payment will be made as follows:

Per original contract documents.

EXTRA WORK ORDER

DATE 1.15.19	DAY TUESDAY	RG JOB # 201715
PROJECT 10" SEWER REPAIR	GENERAL CONTRACTOR RGL	
LOCATION 3700.07	OWNER C.O.C	

DESCRIPTION OF EXTRA WORK

FRAME / REBAR & PLACE CONCRETE FOR INLET TOP GRADE
HOMETOWNERS BACKYARD & PREP FOR FENCE.

SHIFT TIME : 7:00AM - 5:30PM

LABOR


NAME	CLASSIFICATION	TOTAL HOURS WORKED	Weather: _____ Temp. AM _____ PM _____			
1) NICK HAWES	SUPERINTENDENT	10.0	Work Force	No.	S.T.	O.T.
2) LORATO HERNANDEZ	FOREMAN	10.0	Superintendent			
3) DAVID HERNANDEZ	FOREMAN	9.0	Cement Masons			
4) JUAN RACHEO	PIPE LAYER	10.0	Operators			
5) JUAN RICO	PIPE LAYER	10.0	Laborers			
6) JOE CONTRERAS	LABORER	10.0	Carpenters			
7) FRANCISCO CONTRERAS	FINISHER	9.0	Ironworkers			
8) SAMUEL GONZALEZ	FINISHER	9.0	Other ()			
9) FIDEL VALADEZ	LABORER	9.0	Other ()			
10) JOSE RIOS	LABORER	9.0	TOTALS			
11) SERGIO AGUILAR	LABORER	9.0				

EQUIPMENT USED

MATERIAL USED

Description	Number of Hours	Description	Quantity
1/31 PICK UP TRUCK	10.0	REBAR	
1/61 PICK UP TRUCK	10.0	2x4'S	
1/62 PICK UP TRUCK	9.0	2x6'S	
		CONCRETE	bags

Note: This Extra Work Order becomes part of and in conformance with the existing contract.

SUPERVISOR'S SIGNATURE: 
(SUB-CONTRACTOR'S REPRESENTATIVE)

GENERAL CONTRACTOR: _____

AUTHORIZED BY: _____
(G.C. REPRESENTATIVE)

DATE: _____

Payment will be made as follows:
Per original contract documents.

EXTRA WORK ORDER

DATE 1-16-19	DAY WEDNESDAY	RG JOB # 201715
PROJECT 10" SEWER REPAIR	GENERAL CONTRACTOR RER	
LOCATION 3700.01	OWNER COL	

DESCRIPTION OF EXTRA WORK

WIREY FORMS ON INLET TOP. INSTALL 16EA CONCRETE ENCASED METAL POSTS FOR FENCE.

SHIFT TIME: 7:00am - 7:30pm

LABOR

NAME	CLASSIFICATION	TOTAL HOURS WORKED	Weather: _____ Temp. AM _____ PM _____			
1) NICK HAINES	SUPERINTENDENT	10.0	Work Force	No.	S.T.	O.T.
2) LUIS HERNANDEZ	FOREMAN	12.0	Superintendent			
3) DAVID HERNANDEZ	FOREMAN	6.0	Consult Means			
4) FRANCISCO CONTRERAS	FINISHER	6.0	Operators			
5) SAMUEL GONZALEZ	FINISHER	6.0	Laborers			
6) FIDEL VALADEZ	LABORER	6.0	Carpenters			
7) JOSE RIOS	LABORER	6.0	Ironworkers			
8) SERGIO AGUILAR	OPERATOR	6.0	Other ()			
9) JUAN PACHECO	PRE LAYER	12.0	Other ()			
10) JUAN RICO	PRE LAYER	12.0	TOTALS			
11) JOSE C. ORDIAZ	LABORER	12.0				

JUAN CASTRO EQUIPMENT USED OPERATOR		12.0	MATERIAL USED	
Description	Number of Hours		Description	Quantity
V131 PICK UP TRUCK	10.0		MAXIMILIAN BAGS	
V161 PICK UP TRUCK	12.0		METAL FENCE POSTS	51
V160 PICK UP TRUCK	6.0		MORE DETAIL	1

Note: This Extra Work Order becomes part of and in conjunction with the existing contract.

SUPERVISOR'S SIGNATURE: 
(SUBCONTRACTOR'S REPRESENTATIVE)

GENERAL CONTRACTOR: _____

AUTHORIZED BY: _____
(G.C. REPRESENTATIVE)

DATE: _____

Payment will be made as follows:
Per original contract documents.

REYES GROUP LTD.
CONCRETE, UNDERGROUND & CONSTRUCTION MANAGEMENT

EXTRA WORK ORDER

DATE	1.17.19	DAY	THURSDAY	RG JOB #	201715
PROJECT	10" SEWER REPAIR		GENERAL CONTRACTOR		
LOCATION	3700.01		OWNER		

DESCRIPTION OF EXTRA WORK

INSTALL WOOD FENCE PANELS. INSTALL SOD.

SHIFT TIME: 7:00AM - 7:30PM

LABOR

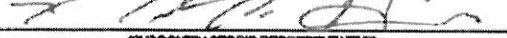
NAME	CLASSIFICATION	TOTAL HOURS WORKED	Weather: _____ Temp. AM _____ PM _____			
1) RICK HAINES	SUPERINTENDENT	10.0	Work Force	No.	S.T.	O.T.
2) LORETO HERNANDEZ	FOREMAN	12.0	Superintendent			
3) JUAN PACHECO	PIPE LAYER	12.0	Consent Means			
4) JUAN RICO	PIPE LAYER	12.0	Operators			
5) JOSE GORDAZ	LABORER	12.0	Laborers			
6) JUAN CASTRO	OPERATOR	12.0	Carpenters			
7)			Ironworkers			
8)			Other ()			
9)			Other ()			
10)			TOTALS			
11)						

EQUIPMENT USED

MATERIAL USED

Description	Number of Hours	Description	Quantity
VISI PICK UP TRUCK	10.0	FENCE PANELS	
V61 PICK UP TRUCK	12.0	SOD	

Note: This Extra Work Order becomes part of and in compliance with the existing contract.

SUPERVISOR'S SIGNATURE: 
(SUBCONTRACTOR'S REPRESENTATIVE)

GENERAL CONTRACTOR: _____

AUTHORIZED BY: _____
(G.C. REPRESENTATIVE)

DATE: _____

Payment will be made as follows:

Per original contract documents.

REYES GROUP LTD.
CONCRETE, UNDERGROUND & CONSTRUCTION MANAGEMENT

EXTRA WORK ORDER

DATE 1.18.19	DAY FRIDAY	RG JOB # 2017.5
PROJECT 10" SEWER REPAIR	GENERAL CONTRACTOR TZGL	
LOCATION 3700.01	OWNER	

DESCRIPTION OF EXTRA WORK

INSTALL WOOD FENCE PANELS.

SPLIT TIME: 7:00AM - 7:30PM

LABOR

NAME	CLASSIFICATION	TOTAL HOURS WORKED	Weather: _____ Temp. AM _____ PM _____ Work Force No. S.T. O.T.			
1) NICK HAINES	SUPERINTENDENT	10.0	Superintendent			
2) LORETO HERNANDEZ	FOREMAN	12.0	General Messos			
3) JUAN PACHECO	PIPE LAYER	12.0	Operators			
4) JUAN RICO	PIPE LAYER	12.0	Laborers			
5) JOSE G. ORDAN	LABORER	12.0	Carpenters			
6) JUAN CASTRO	OPERATOR	12.0	Ironworkers			
7)			Other ()			
8)			Other ()			
9)						
10)						
11)			TOTALS			

EQUIPMENT USED

MATERIAL USED

Description	Number of Hours	Description	Quantity
V131 PICK UP TRUCK	10.0	FENCE PANELS	
V61 PICK UP TRUCK	12.0		

Note: This Extra Work Order becomes part of and in compliance with the existing contract.

SUPERVISOR'S SIGNATURE: [Signature]
(SUBCONTRACTOR'S REPRESENTATIVE)

GENERAL CONTRACTOR: _____

AUTHORIZED BY: _____
(G.C. REPRESENTATIVE)

DATE: _____

Payment will be made as follows:
Per original contract documents.

EXTRA WORK ORDER

DATE 1-21-19	DAY MONDAY	RG JOB # 201715
PROJECT 10" SEWER REPAIR	GENERAL CONTRACTOR RGL	
LOCATION 3700-01	OWNER COL	

DESCRIPTION OF EXTRA WORK

FINISH INSTALLING WOOD PAVERS, CHAIN LINK FENCE & SOD.

SHIFT TIME: 7:00AM - 5:00PM

LABOR

NAME	CLASSIFICATION	TOTAL HOURS WORKED	Weather: _____ Temp. AM _____ PM _____ Work Force No. S.T. O.T.			
1) NICK HAINES	SUPERINTENDENT	9.5	Supervisor			
2) LORETO HERNANDEZ	FOREMAN	9.5	General Messrs			
3) DANIEL RUIZ	OPERATOR	9.5	Operators			
4) JUAN PACHECO	PIPE LAYER	9.5	Laborers			
5) JUAN RILLO	PIPE LAYER	9.5	Carpenters			
6) JOSE C. ORDAZ	LABORER	9.5	Ironworkers			
7)			Other ()			
8)			Other ()			
9)						
10)						
11)			TOTALS			

EQUIPMENT USED

MATERIAL USED

Description	Number of Hours	Description	Quantity
V31 PICK UP TRUCK	9.5	WOOD PAVERS	15
V61 PICK UP TRUCK	9.5	CHAIN LINK FENCE	20LF
		SOD PALLET	1 EA
		HOME DEPOT MILL	125

Note: This Extra Work Order becomes part of bid in conformance with the existing contract.

SUPERVISOR'S SIGNATURE: [Signature]
(SUBCONTRACTOR'S REPRESENTATIVE)

GENERAL CONTRACTOR: _____

AUTHORIZED BY: _____
(G.C. REPRESENTATIVE)

DATE: _____

Payment will be made as follows:

Per original contract documents.

201715-3700.01



Received
JAN 16 2019
Reyes Group Ltd.

Invoice

Date 1/5/2019
Invoice # 12134

PO Box 441 - Weatherford, TX 76086

Will Call

Reyes Group LTD.
15515 S. Crawford Avenue
Markham, ILL. 60428

P.O. # 53265
Terms Net 30

Ship Date 1/5/2019
Due Date 2/4/2019
Other

Feet	88.8	10 3/4" x .500 x 54.79#, New Steel Casing Pipe, Bev & Sq., DRL	36.63	3,252.74T
------	------	---	-------	-----------

If the invoice is tax exempt, please send the correct form with payment. Thank you for your business.

QFC Services, LLC
info@qfcpipe.com
www.qfcservices.com

817-565-3800
(817) 768-6881

Subtotal	\$3,252.74
Sales Tax (6.75%)	\$219.56
Total	\$3,472.30
Payments/Credits	\$0.00
Balance Due	\$3,472.30

PIPE TALLY

Steel Pipe Sales • Services

Phone: 817-768-6873 • Fax: 817-768-6881

Info@qfcpipe.com • P.O. Box 441 • Weatherford, Texas 76086

Reps Group
PO # 53265

DATE: 1/15/2008

WELL NO. I

RACK NO. 12134

1/11/08

SIZE 10 3/4 WALL 500 WT. 54.79 Cont'd: OD ID

GRADE RANGE M/S END MAKE

	TIER NO.	TIER NO.	TIER NO.	TIER NO.	TIER NO.
1	<u>44</u>	<u>4</u>			
2	<u>44</u>	<u>4</u>			
3	<u>44</u>	<u>4</u>			
4					
5					
6					
7					
8					
9					
10	<u>88</u>	<u>8</u>			
TOTAL FEET	<u>735.2</u>				

TALLIED BY:

TOTAL JOINTS 132

TOTAL FOOTAGE 88.8'
133.2

RECEIVED BY: C. J. REYES

36,634

TRUCK:

DRIVER:

3700.01
201715



More saving.
More doing.

500 N I 35
LANCASTER, TX 75146 (972)223-4929

8976 00002 45225 01/05/19 07:21 PM
CASHIER FLORENCE

~~820200926408 DUAL BEAM <A>~~ 24.97
HUSKY 700 LUMEN DUAL BEAM FLASHLIGHT
748089551418 AP PLAY SAND <A>
.5 CU. FT. ALL PURPOSE PLAY SAND
1004.40 44.00

SUBTOTAL 68.97
SALES TAX 5.69
TOTAL \$74.66

XXXXXXXXXXXX9104 HOME DEPOT 74.66
AUTH CODE 005706/6020935 TA

REYES GROUP LTD
BENCKENDORF CRAIG

PRO XTRA MEMBER STATEMENT

PRO XTRA ###-###-1823 SUMMARY
THIS RECEIPT PD/JOB NAME: 201750

PRO XTRA SPEND THIS VISIT: \$68.97

2019 PRO XTRA SPEND 01/04: \$358.31

As of 01/05/2019 your Paint Rewards level is Member; Spend 2000.00 more in qualifying paint purchases to earn Bronze (10.0% off) on select paint items.

This purchase qualifies for FUEL DISCOUNTS and 60 DAYS TO PAY on The Home Depot Commercial Credit Card. Ask an Associate to learn more or go to homedepot.com/financeoptions.



8976 02 45225 01/05/2019 6102

RETURN POLICY DEFINITIONS

POLICY ID	DAYS	POLICY EXPIRES ON
A 11	365	01/05/2020

DID WE NAIL IT?

Take a short survey for a chance TO WIN
A \$5,000 HOME DEPOT GIFT CARD

Opine en español

www.homedepot.com/survey

User ID: H8B 99715 90741
PASSWORD: 19055 90739

Entries must be completed within 14 days of purchase. Entrants must be 18 or older to enter. See complete rules on website. No purchase necessary.



Customer Receipt

Order #H8976-95901

8976 00097 08561 1/9/2019, 12:35:54 PM

Sold to

SHANNON STEVENS

Business Address

1520 PARKER RD

GRAND PRAIRIE, TX

Phone: (214) 579-7703

Email: NOEMA. @GMAIL.COM

TRA

#201517

Lancaster

201517-3700.01
PR HD CC

Job Details

Job Description

201517

Runner Name

Lorelo

Sold by

MARTIN (MXR0497)

Store # 8976

500 N I-35 EAST

LANCASTER TX

COMPLETED

DATE: 1/9/19

BY: [Signature]

Item Description

SKU #

Qty

Unit Price

Subtotal

01	1/2" X 6" CUT OFF RI	155128	7	\$.24 / ea	\$1.68
02	4 in. Spring-Loaded Quantity 6+ discount applied (15.00% OFF)	475284	6	\$4.27 / ea	\$25.62
03	2-2/5 in. x 2-2/5 in	575275	1	\$18.97 / ea	\$18.97
04	Job Site 24 in. Roug	941289	2	\$35.97 / ea	\$71.94
05	16 in. Y54 Semi Chis	461752	1	\$16.97 / ea	\$16.97
06	Flexible Tube Cutter	1000003915	1	\$14.98 / ea	\$14.98
07	5 gal. Dallas Cowboy	1003907606	1	\$7.48 / ea	\$7.48

Enter for a chance to win a \$5,000 Home Depot Gift Card.

Tell us about your store visit! Complete our short survey and enter for a chance to win at: www.homedepot.com/survey

Participe en una oportunidad de ganar una tarjeta de regalo de THD de \$5,000! Comparta Su Opinion! Complete la breve encuesta sobre su visita a la tienda y tenga la oportunidad de ganar en: www.homedepot.com/survey

User ID: GVNH 26387 17508 Password: 19059 17411

90-Day Return Policy

The Home Depot reserves the right to limit / deny returns. Please see the return policy sign in the stores for details.

ending in 9104 charged \$166.49



8976 97 08561 2019-01-09

Subtotal	\$153.80
Discounts	-\$3.84
Sales Tax	\$12.69
Order Total	\$166.49



Customer Receipt

201715-3700-01

Order #H8976-96286

8976 00097 12407 1/14/2019, 11:55:19 AM

Sold to

SHANNON STEVENS

Business Address

1520 PARKER RD
GRAND PRAIRIE, TX

Phone: (214) 579- 7703

Email: NOEMA.@GMAIL.COM

TRA
Lancaster
Loreto Ad2
#201517

Job Details

Job Description
201517

Runner Name
loreto

Sold by

JUAN (JGI134)

Store # 8976
500 N I-35 EAST
LANCASTER, TX

COMPLETED
DATE: 1/14/19
BY: [Signature]

Item Description

	SKU #	Qty	Unit Price	Subtotal
01 2X4-10FT STD/BTR KD-	161659	10	\$4.45 / ea	\$44.50
02 2X6-12FT #2/BTR KD-H	161756	3	\$8.06 / ea	\$24.18
03 8 oz. PVC Handy Pack	462620	1	\$8.71 / ea	\$8.71
04 1/2 in. x 10 ft. #4	427969	40	\$6.44 / ea	\$257.60

201517.

(P2) HD CC

Enter for a chance to win a \$5,000 Home Depot Gift Card.

Tell us about your store visit! Complete our short survey and enter for a chance to win at: www.homedepot.com/survey

Participe en una oportunidad de ganar una tarjeta de regalo de THD de \$5,000! Comparta Su Opinion! Complete la breve encuesta sobre su visita a la tienda y tenga la oportunidad de ganar en: www.homedepot.com/survey

User ID: GVNH 34079 25200 Password: 19064 25103

90-Day Return Policy

The Home Depot reserves the right to limit / deny returns. Please see the return policy sign in the stores for details.

ending in 9104 charged \$362.63



8976 97 12407 2019-01-14

Subtotal	\$334.99
Discounts	-\$0.00
Sales Tax	\$27.64
Order Total	\$362.63



SPECIAL SERVICES CUSTOMER INVOICE

Store 8976 LANCASTER, TX
500 N I-35 EAST
LANCASTER, TX 75146

Phone: (972) 223-4929
Salesperson: JGI134
Reviewer:

Page 1 of 1

No. H8976-96333

VALIDATION AREA

This is only a QUOTE for the merchandise and services printed below. This becomes an Agreement upon payment and an endorsement by a Home Depot register validation.

SOLD TO	Name	GROUP REYES		Phone 1	(214) 260-3535
	Address	1625 TIMBERLINE DR		Phone 2	(214) 288-3915
				Company Name	
	City	PLANO		Job Description	lancaster
	State	TX	Zip	75074	County

1/14/19
DATE: 1/14/19
BY: [Signature]
COMPLETED

QUOTE is valid for this date: 01/14/2019

CARRY OUT MERCHANDISE

MERCHANDISE AND SERVICE SUMMARY

We reserve the right to limit the quantities of merchandise sold to customers

REF # W03 SKU # 0000-515-664 The items listed in this section will be carried out of the store by the customer at time of sale.

STOCK MERCHANDISE CARRIED OUT:

REF #	SKU	QTY	UM	DESCRIPTION	PI	TAX	PRICE EACH	EXTENSION
R01	0000-161-756	2.00	EA	2X6-12FT #2/BTR KD-HT PRIME SPF	A	Y	\$8.06	\$16.12
R02	0000-314-636	2.00	EA	12"X48" TUBE FOR CONCRETE	A	Y	\$15.97	\$31.94
MERCHANDISE TOTAL:								\$48.06
END OF CARRY OUT MERCHANDISE - REF #W03								

TOTAL CHARGES OF ALL MERCHANDISE & SERVICES

Policy Id (PI):

A: 90 DAYS DEFAULT POLICY;

'The Home Depot reserves the right to limit / deny returns. Please see the return policy sign in stores for details.'

ORDER TOTAL	\$48.06
SALES TAX	\$3.96
TOTAL	\$52.02
BALANCE DUE	\$52.02

END OF ORDER No. H8976-96333

Check your current order status online at
www.homedepot.com/orderstatus

214-288-3915

PD HO CC



(9801) 0100464911



Customer Receipt

Order #H8976-96522

8976 00097 14718 1/16/2019, 2:18:54 PM

Sold to

SHANNON STEVENS

Business Address

1520 PARKER RD
GRAND PRAIRIE, TX

Phone: (214) 579- 7703

Email: NOEMA.@GMAIL.COM

Job Details

Job Description

201517

Runner Name

loreto

Sold by

IVON (IM83PH)

Store # 8976

500 N I-35 EAST
LANCASTER TX -

TRIA Lancaster
Loreto H de

Item Description

SKU #

Qty

Unit Price

Subtotal

01	2-2/5 in. x 2-2/5 in	575275	16	\$18.97 / ea	\$303.52
02	1/4 in. x 1-1/2 in.	123545	3	\$11.84 / pk	\$35.52
03	12-Gauge Angle	461512	3	\$4.96 / ea	\$14.88
04	6 cu. ft. Wheelbarro	534172	1	\$89.98 / ea	\$89.98
05	12-Gauge 2 in. Pipe Quantity 50+ discount applied (12.50% OFF)	159686	51	\$9.80 / ea	\$49.98
06	Gel Hard Cap Knee Pa	1003241072	1	\$34.97 / pr	\$34.97

COMPLETED
DATE: 1/16/19
BY: [Signature]

201715. 3700, 01

Enter for a chance to win a \$5,000 Home Depot Gift Card.

Tell us about your store visit! Complete our short survey and enter for a chance to win at: www.homedepot.com/survey

Participe en una oportunidad de ganar una tarjeta de regalo de THD de \$5,000! Comparta Su Opinion! Complete la breve encuesta sobre su visita a la tienda y tenga la oportunidad de ganar en: www.homedepot.com/survey

User ID: GVNH 38701 29822 Password: 19066 29725

90-Day Return Policy

The Home Depot reserves the right to limit / deny returns. Please see the return policy sign in the stores for details.

ending in 9104 charged \$565.86



8976 97 14718 2019-01-16

Subtotal	\$522.73
Discounts	-\$6.12
Sales Tax	\$43.13
Order Total	\$565.86

Fuller Incorporated, Inc.
P.O. Box 19
Venus, TX 76084-0019

Invoice

Date 1/5/2019
Invoice # 18-5688

Bill To

Reyes Group
1520 Parker Rd.
Grand Prairie, Texas 75050

Ship To

P.O. #

Terms Net 30

Ship Date 1/5/2019

Due Date 2/4/2019

Other

Description	Amount
Emergency repair on 10" steel aerial crossing.	3,500.00
Field Report # 111334	0.00
1017 Meadow Creek Dr. Lancaster Texas	0.00
Attn: Craig	0.00

Thank you for your business!

Subtotal	\$3,500.00
Sales Tax (0.0%)	\$0.00
Total	\$3,500.00
Payments/Credits	\$0.00
Balance Due	\$3,500.00

Fuller Incorporated, Inc.
bfuller1961@sbcglobal.net

(817) 378-4369

(817) 378-4369

1/21/2019 11:35 AM
Store: 2

Sales Receipt #24139
Workstation: 1

Merchant Copy
A1 Grass Sand Stone - CH
1501 Highway 67
Cedar Hill, TX 75104

Bill To: 1 Counter Retail - Tax2
1 Counter Retail - Tax2

Cashier:

Item Name
St Aug(Rate)(Pallet)
PLT
Pallet Deposit(No Ta
Each

Qty

1

\$195.00

\$4.00

Subtotal:

8.25 % Tax

RECEIPT TOTAL:

Cedar Hill - City

Credit Card. \$215.09 XXXX4074
American Express
Reference # 1000018228
Entry: Manual

Expiry Date: XX/XX
Auth=239377
Merchant # ***38358

201715 3200-01

Signature

I agree to pay above amount according to card
issuer agreement (merchant agreement
if credit voucher).

PLEASE RETAIN FOR YOUR RECORDS

ALL SALES FINAL. NO RETURNS/REFUNDS
PALLET DEPOSIT RETURNS MUST BE
ACCOMPANIED WITH RECEIPT.
THANKS FOR SHOPPING WITH US!



201715.3700.01



More saving.
More doing.

3200 W IRVING BLVD IRVING, TX 75061
THANK YOU (972)513-2400

0563 00023 58331 01/18/19 07:57 AM
CASHIER CASSANDRA

~~648846066240 BATTISCHER <A> 79.00~~
RGD 18V 2.0AH BATTERY & CHARGER
NLP Savings \$20.00
764666159075 5 LB NAILS <A> 14.77
1-1/2" E.G. RING DRYWALL 5 LB
008925128939 GRIND10PK <A> 23.97
DIABLO 5X .040X7/8 MTL CUTOFF 10PK
~~648846067612 GRINDER <A> 119.00~~
RGD 18V BL 4-1/2" GRINDER - TOOL ONL

SUBTOTAL 236.74
SALES TAX 19.53
TOTAL \$256.27

XXXXXXXXXXXX9104 HOME DEPOT
AUTH CODE 018645/5230305 USD\$ 256.27
TA

REYES GROUP LTD
NEWMAN BRIAN E
AID A0000000049999D8400305 THD PLCC PROX

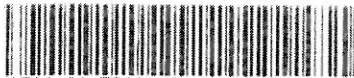
PRO XTRA MEMBER STATEMENT

PRO XTRA ###-###-1823 SUMMARY
THIS RECEIPT PO/JOB NAME: TRA

PRO XTRA SPEND THIS VISIT: \$236.74
2019 PRO XTRA SPEND 01/17: \$6,259.07

As of 01/18/2019 your Paint Rewards
level is Member; Spend 1971.02 more in
qualifying paint purchases to earn
Bronze (10.0% off) on select paint
items.

This purchase qualifies for FUEL
DISCOUNTS and 60 DAYS TO PAY on The Home
Depot Commercial Credit Card. Ask an
Associate to learn more or go to
homedepot.com/financeoptions.



0563 23 58331 01/18/2019 3784

RETURN POLICY DEFINITIONS
POLICY ID DAYS POLICY EXPIRES ON
A 11 365 01/18/2020

DID WE NAIL IT?

Take a short survey for a chance TO WIN
A \$5,000 HOME DEPOT GIFT CARD

Opine en español

www.homedepot.com/survey

User ID: HTK 117514 116974
PASSWORD: 19068 116951

Entries must be completed within 14 days
of purchase. Entrants must be 18 or
older to enter. See complete rules on
website. No purchase necessary.

2017153 320.01



More saving.
More doing.

500 N I 35
LANCASTER, TX 75146 (972)223-4929
8976 00001 27365 01/21/19 02:28 PM
CASHIER STEPHANIE

045408010008 DLX17NPWRPUL <A> 29.96
DELUXE 1 TON POW R PULL
0000-871-877 STRETCHER <A> 39.95
36" GALV STEEL 3HOOK STRETCHER BAR
099713046375 TIE WIRE <A> 5.62
6-1/2" CHAIN LINK TIES-30PK
099713046382 23/8PLNDMCAP <A>
2-3/8" ALUMINUM POST CAP PLAIN DOME
16@1.51 24.16
659099385101 6 FT TENSN <A> 7.24
72" GALVANIZED TENSION BAR

SUBTOTAL 106.93
SALES TAX 8.82
TOTAL \$115.75

XXXXXXXXXXXX9104 HOME DEPOT
AUTH CODE 021986/2013003 USD\$ 115.75
TA

REYES GROUP LTD
NEWMAN BRIAN E
AID A000000004999908400305 THD PLCC PROX

PRO XTRA MEMBER STATEMENT

PRO XTRA ###-###-1823 SUMMARY
THIS RECEIPT PO/JOB NAME: LANCASTER

PRO XTRA SPEND THIS VISIT: \$106.93

2019 PRO XTRA SPEND 01/20: \$6,495.81

As of 01/21/2019 your Paint Rewards
level is Member; Spend 1971.02 more in
qualifying paint purchases to earn
Bronze (10.0% off) on select paint
items.

This purchase qualifies for FUEL
DISCOUNTS and 60 DAYS TO PAY on The Home
Depot Commercial Credit Card. Ask an
Associate to learn more or go to
homedepot.com/financeoptions.



8976 01 27365 01/21/2019 5104

RETURN POLICY DEFINITIONS
POLICY ID DAYS POLICY EXPIRES ON
A 11 365 01/21/2020

DID WE NAIL IT?

Take a short survey for a chance TO WIN
A \$5,000 HOME DEPOT GIFT CARD

Opine en español

www.homedepot.com/survey

User ID: HTK 63995 55020
PASSWORD: 19071 55019

Entries must be completed within 14 days
of purchase. Entrants must be 18 or
older to enter. See complete rules on
website. No purchase necessary.











LANCASTER CITY COUNCIL

City Council Regular Meeting

4.

Meeting Date: 06/10/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Sound Infrastructure
Quality Development

Submitted by: Than Nguyen, City Engineer

Agenda Caption:

Consider a resolution accepting an approximately 0.970 acre tract of land from WHL Dallas 45, LLC for the construction, installation, operation, maintenance, inspection, and repair of a detention pond.

Background:

The City of Lancaster, in partnership with Dallas County, entered into an agreement for improvements to Sunrise Road. At the December 10, 2018 City Council Meeting through Resolution 2018-12-102, City Council approved a Project Specific Agreement with Dallas County for roadway and drainage improvements on Sunrise Road.

Dedication of land is needed to install a detention pond for offsite drainage which will be maintained by the owner of this tract of land, WHL Dallas 45, LLC. This detention pond is located near the northwest corner of the intersection of Greene and Sunrise Road. WHL Dallas 45, LLC has prepared the attached documentation to dedicate the necessary land for this public drainage easement to allow for this proposed detention pond to be installed. WHL Dallas 45, LLC will dedicate a 0.970 acre tract (42,250 square feet) of land for this public drainage easement.

Legal Considerations:

The City Attorney has reviewed and approved the attached deed and resolution as to form.

Public Information Considerations:

This item is being considered at a Regular Meeting of the City Council noticed in accordance with the Texas Open Meetings Act.

Fiscal Impact:

This land dedication for the proposed detention pond will incur a fee of one dollar (\$1.00).

Options/Alternatives:

1. City Council may approve the resolution, as presented.
2. City Council may approve the resolution with changes and state those changes.
3. City Council may deny the resolution.

Recommendation:

Staff recommends approval of the resolution, as presented.

Attachments

Resolution

Exhibit "1"

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS, ACCEPTING A PUBLIC DRAINAGE EASEMENT DEDICATION FROM WHL DALLAS 45, LLC, ATTACHED HERETO AND INCORPORATED HEREIN BY REFERENCE AS EXHIBIT "1"; DIRECTING THE CITY SECRETARY TO FILE FOR RECORDING IN THE REAL PROPERTY RECORDS OF DALLAS COUNTY, TEXAS AND PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, WHL Dallas 45, LLC, owns the necessary land needed for the proposed detention pond on Sunrise Road and shall dedicate and convey their interest for a sum total of one (\$1) dollars ; and

WHEREAS, the City Council of the City of Lancaster, Texas has determined that it is in the best interest of the citizens of the City to accept the land dedication.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the City Council of the City of Lancaster, Texas, hereby finds and determines that it is in the best interest of the City of Lancaster and its citizens, to accept a Public Drainage Easement, of 0.970 acre of property, which is attached hereto and incorporated herein by reference as Exhibit "1" to the City of Lancaster, Texas, Dallas County, Texas.

SECTION 2. That the City Secretary is directed to file for recording in the real property records of Dallas County, Texas, said deeds.

SECTION 3. That the City Manager is hereby authorized to execute said dedication deed, and all other documents necessary to affirm the City's acceptance of the dedication.

SECTION 4. Any prior Resolution of the City Council in conflict with the provisions contained in this Resolution are hereby repealed and revoked.

SECTION 5. Should any part of this Resolution be held to be invalid for any reason, the remainder shall not be affected thereby, and such remaining portions are hereby declared to be severable.

SECTION 6. That this resolution shall take effect immediately from and after its passage and it is so duly resolved.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 10th Day of June, 2019.

ATTEST:

APPROVED:

Sorangel O. Arenas, City Secretary

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney

Notice of Confidentiality Rights: If you are a natural person, you may remove or strike any or all of the following information from any Instrument that transfers an interest in real property before it is filed for record in the public records: Your social security number or your driver's license number.

DETENTION FACILITY EASEMENT

THE STATE OF TEXAS §

KNOW ALL BY THESE PRESENTS:

COUNTY OF DALLAS §

That, **WHL DALLAS 45 LLC**, a Delaware limited liability company, hereinafter Grantor, whether one or more, of the County of Dallas, State of Texas, for and in consideration of the sum of One and No/100 Dollars (\$1.00) and other good and valuable consideration to Grantor, in hand paid by the Grantee herein named, the receipt and sufficiency of which is hereby acknowledged and confessed, and for which no lien is retained either expressed or implied, does by these presents grant, sell and convey unto the **CITY OF LANCASTER, TEXAS** a Texas municipal corporation and a political subdivision of the State of Texas, having its address at 211 N. Henry Street, Lancaster, Dallas, County, Texas 75146, hereinafter Grantee, its successors and assigns, a nonexclusive "**Easement**" (herein so called) in, under, over, along, upon and across the portion of Grantor's real property (the portion is referred to as the "**Easement Area**") that contains approximately 0.97 acres, as described and depicted in the attached Exhibit "A."

The Easement is hereby granted in connection with the Sunrise Road widening project MCIP 31405, and is granted for the purpose ("**Easement Purpose**") of opening, constructing, reconstructing, inspecting, altering, improving, repairing, and maintaining a surface water detention facility and related improvements within the Easement Area (the "**Detention Facility**"). Following the initial construction of the Detention Facility, Grantee shall not make any material alteration or modification to the Detention Facility or any portion thereof without obtaining Grantor's prior written consent, which shall not be unreasonably withheld.

Promptly after the Effective Date, Grantee shall cause the Detention Facility to be constructed in a lien free and good and workmanlike manner in accordance with the plans and specifications prepared by Priority Group, Inc. dated May 27, 2019 (the "**Approved Plans**"). The Approved Plans may be hereafter amended only with the written agreement of both the Grantor and Grantee. Upon substantial completion of the Detention Facilities, Grantee shall notify Grantor, and thereafter the parties shall conduct a joint inspection of the constructed Detention Facility and identify in good faith any incomplete items of the work. Promptly after the inspection, Grantee shall cause all incomplete items to be completed in accordance with the standard set forth in this paragraph. It is agreed between the parties hereto that any stone, earth, gravel, or caliche which is excavated in the opening, construction, or maintenance of said Detention Facility must be removed from the Easement Area by Grantee and deposited offsite from Grantor's property in accordance with applicable law.

Grantor shall cause the Easement Area and the Detention Facility to be maintained, operated and repaired in good working order and condition, and shall make all required replacements to the Detention Facility to keep the same in good working order and condition. In no event shall Grantor, or the future owners of any part of Grantor's property have any responsibility, liability, or obligation for the maintenance, operation or repair of any portion of the Detention Facility lying outside of the Easement Area, including but not limited to any part of the Detention Facility located within the boundary of the public right of way currently known as Sunrise Road.

The term ("**Term**") of the Easement is perpetual; however, the Term and the Easement may be terminated by Grantor effective on the thirtieth (30th) day after written notice (a "**Substitute Facility Notice**") is received by Grantee or its successors or assigns that a substitute detention facility, with equal or greater capacity as the Detention Facility, has been constructed on the land (or a portion thereof) described and depicted in the attached Exhibit "B" that is currently owned by Grantor ("**Grantor's Adjacent Land**"). The filing in the Real Property Records of Dallas County, Texas of a Notice of Termination executed by Grantor shall constitute conclusive evidence of the termination of the Easement under this paragraph, so long as the Notice of Termination includes a copy of the Substitute Facility Notice. Thereafter, the Easement Area shall be released from, and title to the Easement shall revert to and re-vest in Grantor or Grantor's successors or assigns, or the then owner of the property in which the Easement Area is located.

Grantor and its successors and assigns hereby retains all rights and privileges pertaining to the use and enjoyment of the Easement Area which do not impede or prohibit the use of the Easement Area for the Easement Purpose.

No warranty of title, either express or implied, is made by or recourse on Grantor by the execution of this instrument, whatsoever. The Easement described herein is granted by Grantor and accepted by Grantee subject to any and all existing easements, covenants, rights-of-way, conditions, restrictions, outstanding mineral interests and royalty interests, if any, relating to the Easement Area, to the extent that the same may still be in force and effect, and either shown of record in the office of Dallas County, Texas, or that may be apparent on the ground.

GRANTEE HEREBY AGREES TO INDEMNIFY, DEFEND, AND HOLD GRANTOR AND ITS PAST, PRESENT, AND FUTURE PARTNERS, OFFICERS, DIRECTORS, EMPLOYEES, ATTORNEYS, AGENTS, REPRESENTATIVES, SUBSIDIARIES, CONTROLLING PERSONS, ASSIGNEES, SUCCESSORS, AND ANY AFFILIATED OR ASSOCIATED ENTITIES OR PERSONS (COLLECTIVELY "**GRANTOR'S AFFILIATES**"), HARMLESS FROM AND AGAINST ANY AND ALL CLAIMS, LIENS, DAMAGES, DEMANDS, CAUSES OF ACTION, LIABILITIES, LAWSUITS, JUDGMENTS, LOSSES, COSTS, AND EXPENSES (INCLUDING WITHOUT LIMITATION, REASONABLE ATTORNEYS' FEES) ASSERTED AGAINST OR INCURRED BY GRANTOR OR GRANTOR'S AFFILIATES RESULTING FROM, ARISING OUT OF, OR IN ANY WAY RELATED TO THE ACTS OR OMISSIONS OF GRANTEE OR GRANTEE'S CONTRACTORS, LICENSEES, INVITEES, AFFILIATES AND/OR MEMBERS OF PUBLIC AS A RESULT OF THE RIGHTS CONVEYED TO GRANTEE BY THIS INSTRUMENT.

The Easement described herein shall not be assignable in whole or in part by Grantee without the prior written consent of Grantor.

This instrument covers all of the agreements between Grantor and Grantee, and it supersedes all oral agreements or representations made prior to the execution date of this instrument as shown below. This instrument may only be amended in writing signed by Grantor and Grantee.

Notwithstanding any provision contained in this instrument to the contrary, if construction of the Detention Facility is not substantially completed within one year after the date of this instrument, or if the Easement Area is not used by Grantee for the Easement Purpose for a period of two (2) consecutive years, then the Easement shall automatically terminate. In the event of such termination, the filing in the Real Property Records of Dallas County, Texas of a Notice of Termination executed by Grantor shall constitute conclusive evidence of the termination of the Easement under this paragraph. Thereafter, the Easement Area shall be released from, and title to the Easement shall revert to and re-vest in Grantor or Grantor's successors or assigns, or the then owner of the property in which the Easement Area is located.

Any notice, demand or other communication required to be given or to be served upon any party hereunder shall be given in accordance with the provisions of this paragraph. All notices, demands or other communications must be in writing and delivered to the person to whom it is directed via (i) hand-delivery to the recipient at the address specified below, or (ii) United States Postal Service certified mail, return receipt requested, postage prepaid and addressed to the recipient as specified below, or (iii) reputable overnight delivery service, postage prepaid and addressed to the recipient as specified below, or (iv) via facsimile transmission to the party at the fax number set forth below, provided that such transmission is followed with a copy sent by overnight delivery, or (v) via electronic mail to the email address for such party set forth below, provided that such transmission is followed with a copy sent by overnight delivery. Any notice, demand or other communication shall be deemed to have been given and received (a) on the day of actual receipt or refusal of delivery if sent via United States Postal Service as certified mail, return receipt requested, postage prepaid or via a reputable overnight delivery service, postage prepaid and addressed to the recipient as specified below, or (b) if delivered by hand, upon receipt, and (c) if delivered by facsimile transmission or electronic mail, upon delivery. The initial addresses of the parties shall be:

Grantor:	WHL Dallas 45 LLC c/o Kane Russell Coleman Logan PC 1601 Elm Street, Suite 3700 Dallas, Texas 75201 Attn: John M. Inabnett Telephone: (214) 777-4236 Fax: (214) 777-4299 Email: jnabnett@krcl.com
Grantee:	City of Lancaster 211 N. Henry Street

Lancaster, Texas 75146
Attn: City Manager
Telephone: (972) 218-1300
Fax: (972) 218-1399
Email: communityrelations@lancaster-tx.com

Either party shall be entitled to change its address for notice purposes under this instrument by providing notice of such change to the other party in accordance with this paragraph. Until such time as the notice of change of address is effective pursuant to the terms of this paragraph, the last address of said party shall be deemed to be the proper address of said party for notice purposes pursuant to this instrument.

This instrument shall be governed by, and construed in accordance with, the laws of the State of Texas. The parties agree that this instrument is performable in Dallas County, Texas, and that exclusive venue shall lie in Dallas County, Texas. The illegality, invalidity or unenforceability of any provision of this instrument shall not affect the legality, validity or enforceability of any other provision of this instrument. The prevailing party in any legal proceeding regarding this instrument shall be entitled to recover from the other party all reasonable attorneys' fees and costs incurred in connection with such proceeding.

This instrument may be executed in two or more counterparts, all of which will comprise one and the same document. It will not be necessary for all parties to sign all counterparts, so long as the signature of each party appears on at least one counterpart. Two or more counterparts may be combined into one document by compiling the signature pages and acknowledgments from such counterparts.

Nothing contained in this instrument may be deemed to be a gift or a dedication of any rights to or for the benefit of the general public or for any public purpose whatsoever.

[signature page follows]

Executed this ____ day of _____, 2019 (the "Effective Date").

WHL DALLAS 45 LLC,
a Delaware limited liability company

By: WHL DALLAS 45 MANAGER LLC,
a Delaware limited liability company,
its manager

By: Kane Russell Coleman Logan PC,
a Texas professional corporation,
its sole member

By: _____
Name: Raymond J. Kane
Title: President

CORPORATION ACKNOWLEDGMENT

THE STATE OF TEXAS §

COUNTY OF DALLAS §

This instrument was acknowledged before me, the undersigned authority, on the ____ day of _____, 2019, by Raymond J. Kane as President of Kane Russell Coleman Logan PC, a Texas professional corporation, sole member of WHL Dallas 45 Manager LLC, a Delaware limited liability company, as manager of WHL Dallas 45 LLC, a Delaware limited liability company, on behalf of said entities.

(Personalized Seal)

Notary Public in and for the State of Texas
Printed Name: _____
My Commission Expires: _____

After Recording Please Return To:

City of Lancaster
211 N. Henry Street,
Lancaster, Dallas County, Texas 75146

EXHIBIT "A"
EASEMENT AREA

PARCEL 17-DP
April 29, 2019

COUNTY: DALLAS
PARCEL NO. 17-DP
PROJECT: SUNRISE ROAD – PLEASANT RUN ROAD TO BELTLINE ROAD
PROJECT NO.: MCIP 31405

Legal Description

BEING a 42,250 square foot (0.970 acre) tract of land situated in the James Green Survey, A-503, in the City of Lancaster, County of Dallas, Texas and being out of all the certain 202.230 acre tract of land situated in said Green Survey, being the remainder of a 210.93 acre tract of land situated in said Green Survey, conveyed from DLH Master Land Holding, LLC to WHL Dallas 45, LLC, described as Tract 23 in the instrument recorded in Document Number 201100339298, Official Public Records, Dallas County, Texas and being more particularly described as follows:

COMMENCING at 5/8-inch iron rod with a red cap stamped 'KHA' found in the North line of Green Road (a variable width public right-of-way, no recording information found) for the Southeast corner of a 202.241 acre tract of land situated in the Middleton Perry Survey, Abstract Number 1128, conveyed to said WHL Dallas 45, described as Tract 4 in the instrument recorded in Document Number 201600357674, said Official Public Records. Said **POINT OF COMMENCING** having coordinates of N: 6,903,445.259, E: 2,516,571.936 Grid;

THENCE: South 89 degrees, 02 minutes, 23 seconds East, a distance of 4,646.79 feet to a 5/8-inch iron rod set with a red cap stamped 'Criado' (all of the following iron rods set being so capped and stamped) in the South line of said WHL Dallas 45 remainder tract and the North line of said Green Road right-of-way for the **POINT OF BEGINNING** of the herein described tract. Said **POINT OF BEGINNING** having coordinates of N: 6,903,367.394, E: 2,521,217.441 Grid;

THENCE: North 00 degrees, 45 minutes, 26 seconds West, departing the North line of said Green Road right-of-way, over and across said WHL Dallas 45 tract, a distance of 200 feet to a 5/8-inch iron rod set;

THENCE: South 88 degrees, 58 minutes, 04 seconds West, continuing over and across said WHL Dallas 45 tract, a distance of 115.00 feet to a 5/8-inch iron rod set;

THENCE: North 00 degrees, 45 minutes, 26 seconds West, continuing over and across said WHL Dallas 45 tract, a distance of 250.00 feet to a 5/8-inch iron rod set;

THENCE: North 88 degrees, 58 minutes, 04 seconds East, continuing over and across said WHL Dallas 45 remainder tract, a distance of 145.00 feet to a 5/8-inch iron rod set in the East line of said WHL Dallas 45 remainder tract and the West line of a 4.940 acre tract of land situated in said Green Survey, conveyed to the City of Wilmer, Texas for a right-of-way dedication for Sunrise Road, (a variable width public right-of-way) by instrument recorded in Document Number 201800113824, said Official Public Records; from which a 5/8-inch iron rod with a red cap stamped 'KHA' found in the East line of said WHL Dallas 45 remainder tract and the West line of said of said Sunrise Road right-of-way dedication bears North 00 degrees, 45 minutes, 26 seconds West, a distance of 358.87 feet;

PARCEL 17-DP
April 29, 2019

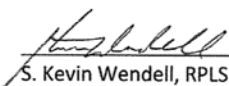
THENCE: South 00 degrees, 45 minutes, 26 seconds East, with the East line of said WHL Dallas 45 remainder tract and the West line of said Sunrise Road right-of-way dedication, a distance of 450.00 feet to a 5/8-inch iron rod with a red cap stamped 'KHA' found in the West line of said Sunrise Road dedication and the North line of said Green Road for the Southeast corner of said WHL Dallas 45 remainder tract

THENCE: South 88 degrees, 58 minutes, 04 seconds West, with the North line of said Green Road right-of-way and the South line of said WHL Dallas 45 remainder tract, a distance of 30.00 feet to the **POINT OF BEGINNING** and containing 42,250 square feet (0.970 acres) of land, more or less.

Note: Surveyed on the ground April 2019.

Note: Map of Survey of even date attached herewith.

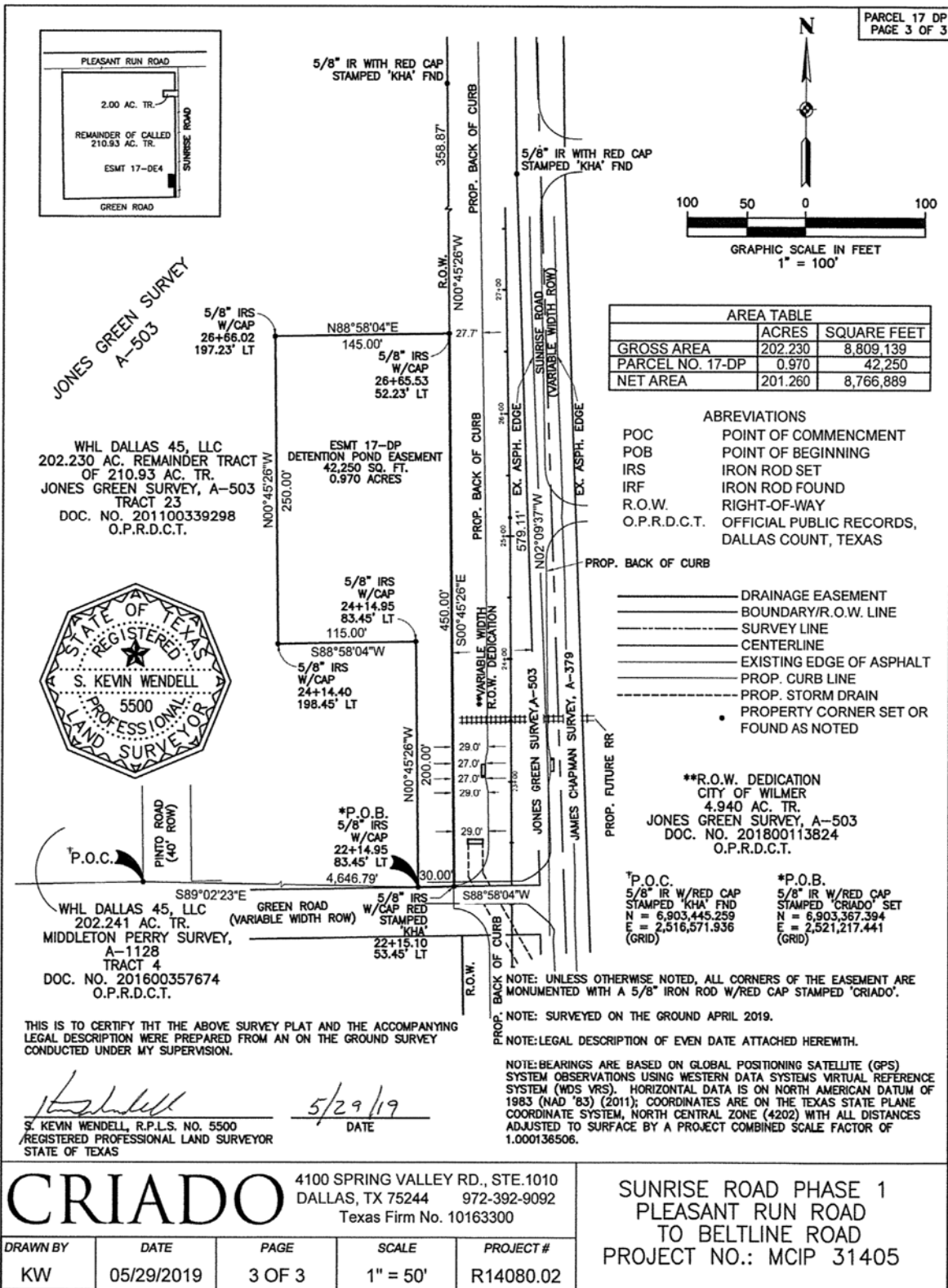
Note: Bearings are based on Global Positioning Satellite (GPS) System observations using Western Data Systems Virtual Reference System (WDS VRS). Horizontal data is on the North American Datum of 1983 (NAD '83) (2011). Coordinates are on the Texas State Plane Coordinate System, North Zone (4201) with all distances adjusted to surface by a project combined scale factor of 1.000136506.


S. Kevin Wendell, RPLS No. 5500
Registered Professional Land Surveyor,
State of Texas

May 29, 2019

Date





Project: Sunrise Rd MCIP 31405
 (Pleasant Run Rd. to Belt Line Rd.)
 Parcel:
 6763377 v5 (75000.00045.060)

PROJECT LOCATION MAP

EXHIBIT A

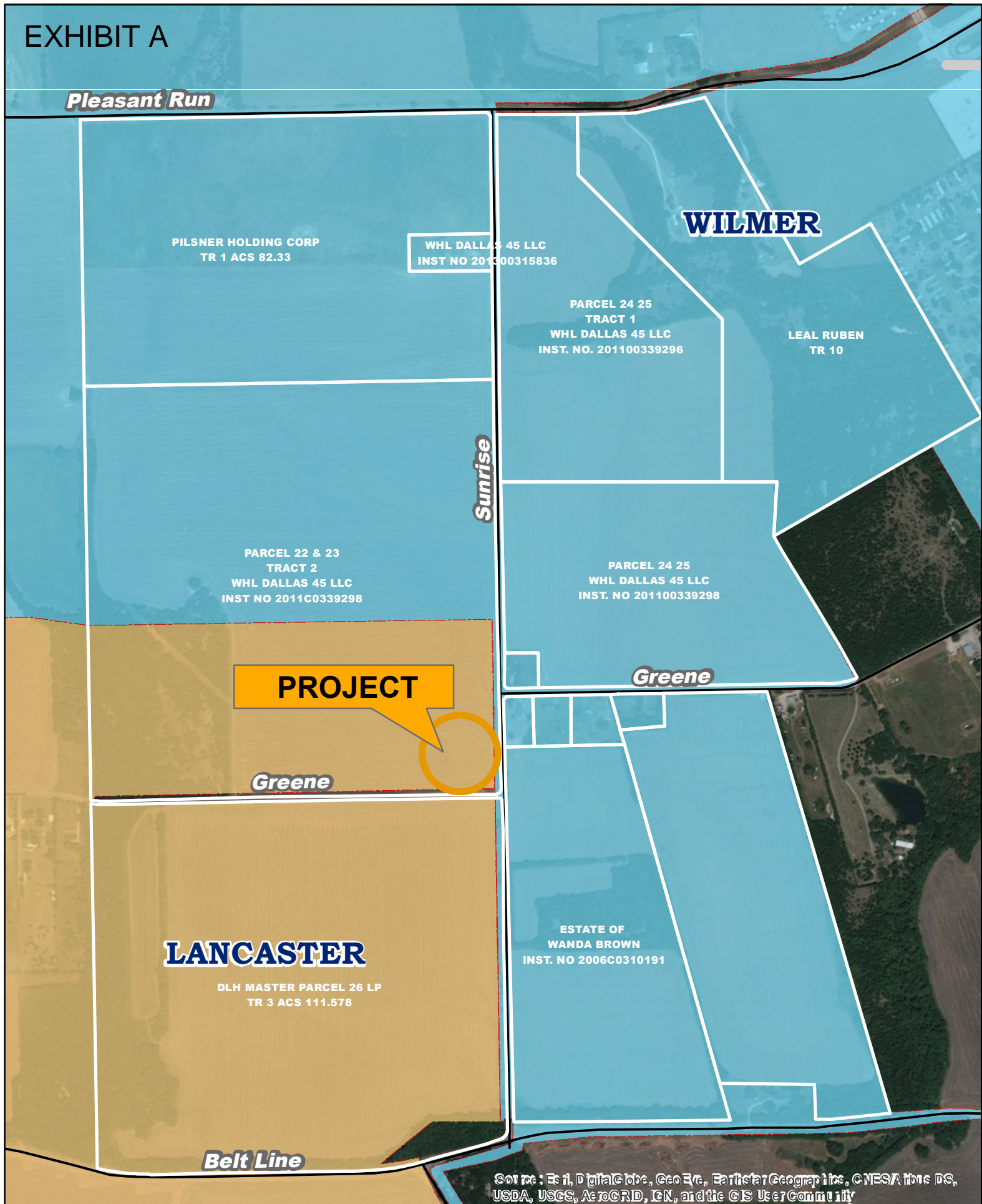


EXHIBIT "B"

GRANTOR'S ADJACENT LAND

METES AND BOUNDS

210.93 Acres

Jones Green Survey, Abstract No. 503

Dallas County, Texas

BEING a tract of land situated in Jones Green Survey, Abstract No. 503, Dallas County, Texas, and being all of a called 82.33 acre tract (Tract A) and a called 128.627 acre tract (Tract B) of land described in a Warranty Deed from Myron W. Goff to Pilsner Holding Corp., recorded in Volume 80153, Page 1613 of the Deed Records of Dallas County, Texas (hereinafter referred to as DRDCT), and being further described as held on the ground by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod found for the east common corner of said Tracts A and B, and being in the west line of Sunrise Road;

THENCE South 00°55'52" East, along the west line of Sunrise Road, a distance of **1806.32 feet** to a 5/8-inch iron rod with "KHA" cap set (herein after referred to as 5/8-inch iron rod set) in the west line of Sunrise Road at a "T" intersection with Green Road;

THENCE South 02°08'51" East, along the west line of Sunrise Road, a distance of **579.08 feet** to a PK nail set in the intersection of the west line of Sunrise Road and the north line of Green Road;

THENCE South 88°57'56" West, along the north line of Green Road, a distance of **2361.50 feet** to a 5/8-inch iron rod set for the south common corner of said Tract B and a called 8.7728 acre tract described in a Warranty Deed from Elouise Patteson and Harold E. Patteson to Harold H. Hubbard, recorded in Volume 81116, Page 2178 – DRDCT;

THENCE North 00°58'19" West, along the east line of said Hubbard tract, and then a called 52.45 acre tract described in a Special Warranty Deed from Susan Biggers Adams to John C. Biggers, Trustee for Rosalynn L. Biggers Estate Trust, recorded in Volume 95004, Page 2656 – DRDCT, a distance of **2017.02 feet** to a 2-inch iron pipe found for the east common corner of said Biggers tract and a called 103.517 acre tract (hereinafter referred to as Pilsner tract) described in a Warranty Deed from Myron W. Goff, Trustee to Pilsner Holding Corp., recorded in Volume 82004, Page 370 - DRDCT;

THENCE North 00°58'19" West, along the east line of said Pilsner tract, a distance of **362.92 feet** to a 1/2-inch iron rod found for the west common corner of said Tracts A and B;

THENCE North 01°02'40" West, along the east line of said Pilsner tract, a distance of **1564.23 feet** to a 5/8-inch iron rod set in the south line of Pleasant Run Road;

THENCE North 89°02'08" East, along the south line of Pleasant Run Road, a distance of **2356.71 feet** to a 5/8-inch iron rod set in the intersection of the south line of Pleasant Run Road with the west line of Sunrise Road;

THENCE South 00°49'52" East, along the west line of Sunrise Road, a distance of **717.70 feet** to a point for the northeast corner of a called 2.000 acre tract described in a Warranty Deed from Kevin C. Henry and wife, Diane M. Henry to James C. Bryce and wife, Sandey J. Bryce, recorded in Volume 99009, Page 5892 - DRDCT;

THENCE around said Bryce tract the following courses and distances:

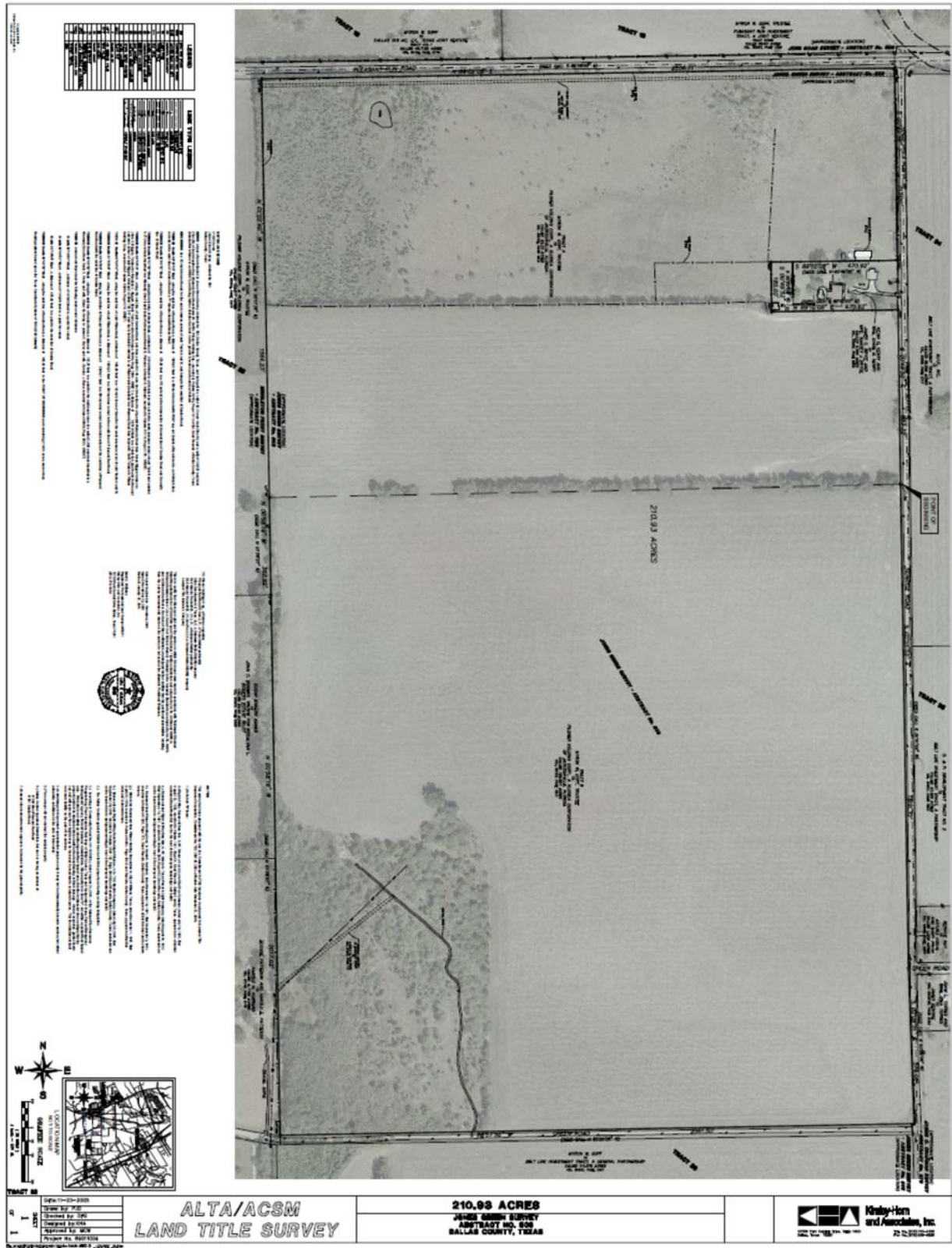
South 89°10'08" West, a distance of **470.92 feet** to a point for corner;

South 00°49'52" East, a distance of **185.00 feet** to a point for corner;

North 89°10'08" East, a distance of **470.92 feet** to a point in the west line of Sunrise Road;

THENCE South 00°49'52" East, along the west line of Sunrise Road, a distance of **653.32 feet** to the POINT OF BEGINNING and containing 210.93 acres, more or less.

EXHIBIT B



LANCASTER CITY COUNCIL

City Council Regular Meeting

5.

Meeting Date: 06/10/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Healthy, Safe & Engaged Community
Quality Development

Submitted by: Bester Munyaradzi, Senior Planner

Agenda Caption:

Z19-03 Conduct a public hearing and consider an ordinance amending Ordinance # 36-86 and as amended, an existing Planned Development District No. 26 (PD-26) to allow modifications to the design criteria for Phase 3 of the Rolling Meadows subdivision. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

Background:

1. **Location and Size:** The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. There were two prior phases to this subdivision. Phase 1 consisted of 13.87 acres with a total of 62 lots and Phase 2 consisted of 24.52 acres and 86 lots both of which were built out approximately 10 years ago.
2. **Current Zoning:** The subject property was originally zoned PD-SF-2 which is now an obsolete designation in that the old SF-2 base zoning is now called SF-6 which allows for a density of six (6) dwelling units per acre. The proposed amendment actually reduces the density allowed by approximately thirty (30%) percent to align more closely with SF-4 (4 dwelling units per acre).
3. **Adjacent Properties:**
 - North: Planned Development Single-family Residential PD-SF-6 - (Occupied - Moffitt Creek Estates Phase 1)
 - South: Mills Branch Overlay District, Commercial Area Zone sub-district - (Vacant)
 - East: Planned Development Single Family Residential PD-SF-6 - (Vacant)
 - West: Planned Development Single Family Residential PD-SF-6 - (Occupied - Rolling Meadows Phase 1 & 2)
4. **Comprehensive Plan Compatibility:** The Future Land Use Plan of the Comprehensive Plan identifies this site as suitable for residential uses. As noted above, the proposed amendment reduces the density allowed by approximately 30% to align more closely with SF-4. In addition, one of the ten principles guiding the City's vision is, "New residential developments expand the range of neighborhood choices so Lancaster appeals to people throughout all stages of life." The proposed development is in close proximity to an elementary school and grocery store, has spacious dwelling sizes and has a low density of homes in the proposed residential subdivision. This request is consistent with the Comprehensive Plan.

5. Case History:

Date	Body	Action
06/16/1986	CC	Case 18-15 Approved PD-26
09/11/1995	CC	Approved PD-26 Amendment - (Ordinance #44-95)
11/16/2000	P&Z	PS-00-24 Approved Rolling Meadows Phase I - Preliminary Plat
06/04/2001	P&Z	PS-01-09/10 Approved Rolling Meadows Phase I - Final Plat
04/01/2002	P&Z	PS-03-07 Approved Rolling Meadows Phase II - Preliminary Plat
12/17/2002	P&Z	PS-02-32 Approved Rolling Meadows Phase II - Final Plat
07/29/2003	P&Z	PS-03-20 Denied Rolling Meadows Phase III - Preliminary Plat
10/07/2003	P&Z	PS-03-28 Approved Rolling Meadows Phase III - Preliminary Plat
02/05/2019	P&Z	Z19-03 Recommended approval of the request with the following conditions: 1. (20) feet front yard setback. 2. Two (2) feet minimum garage setback with architectural features or porch not exceeding six (6) feet options.
03/25/2019	CC	Z19-03 Tabled.

This item was tabled at the March 25, 2019 meeting to give the applicant an opportunity to address and revisit park land dedication.

Staff has since met with the applicant and the applicant agreed to pay the required park dedication fees and dedicate lots 39X and 40X as open space areas to the Rolling Meadows Public Improvement District (PID).

Operational Considerations:

This is a request to amend the PD and allow the following modifications as shown on the table below. This is for the remaining lots of the Rolling Meadows Subdivision.

	Current	Proposed
Lot Size	5,000 to 7,200 square feet	6,500 square feet minimum
Dwelling Size	1700 square feet Average dwelling size 1800 square feet	1,750 square feet minimum (per the LDC)
Setback: Front Side Rear Corner lot	30 feet 5 feet 10 feet 30 feet	20 feet 5 feet 10 feet 15 feet
Garage Setback	At least 20 feet behind closest corner of the front building facade or J-Swing garage.	The requirement for parking garages accessed from the front street being located at least 20 feet behind the closest corner of the front building facade is waived.

Due to the narrow configuration of the subject parcel as well as a major Lone Star Gas easement bisecting the property the applicant is proposing to eliminate alleys and have front loaded lots in order to have consistent lot and street layouts while maintaining a lower density of approximately four (4) dwelling units per acre. The current PD-26 allows six (6) units per acre. This proposed amendment reduces the density allowed by about 30% and aligns more closely with the SF-4 zoning designation.

The applicant will be providing the following landscaping: Two (2), three (3) inch caliper trees will be provided per lot. The 3 inch caliper tree size meets Section 14.805 of the Landscape Ordinance requirement which states that, "A large tree shall have a caliper measuring at least three (3) inches in

caliper when measured six (6) inches above the ground.” One (1) tree will be in the front yard and the second one in the back yard. In addition, one hundred square feet of landscape beds will be provided in front of each home with irrigation.

There will be two Open Space areas labeled as lots 39x and 40x of the PD Concept Plan (Exhibit A) and they will be maintained by the Public Improvement District (PID).

Pursuant to Section 14.1101 of the LDC, when reviewing a zoning change application, there are five (5) considerations that must be made when deciding on a zoning change application. Following is an analysis of these considerations:

Consistency with the Comprehensive Plan: The Comprehensive Plan Future Land Use Map designates this area as Suburban Neighborhood. Suburban Neighborhood is envisioned to be the dominant place type in Lancaster providing a variety of residential products ranging from townhomes to single family detached. These neighborhoods would generally be formed as subdivisions with residential densities ranging from 2 to 8 dwelling units per acre.

The zoning change request to amend the existing PD-26 is consistent with the Comprehensive Plan as shown on the attached Comprehensive Plan excerpt and map, and the request advances the City Council Goals and Objectives FY 2018-2019 of promoting higher quality residential housing.

Potential Impact on Adjacent Development: This property is adjacent to earlier phases of residential subdivisions on the north and west and vacant properties on the east (zoned PD-SF and SF-4) and south (zoned Mills Branch Overlay sub-district Commercial Area Zone). This proposed subdivision is compatible to the surrounding properties. The existing screening wall on Belt Line Road will be continued along Belt Line Road for this phase as well.

Availability of utilities and access: The subject property is served by City of Lancaster sewer and water. The applicant will be responsible for connecting to those utilities. Access to this site will be from the north on Bermuda Drive, west on Martinique Drive, south from Rolling Hills Place and Jetty Drive will be constructed east of the subject property.

Timing of Development as it relates to Lancaster's Capital Improvement Plan (CIP): There are no plans for future improvement of roadways, water or sewer plans at this time. The applicant is responsible for construction of all infrastructure including the extension of stormwater facilities.

Site conditions such as vegetation, topography and flood plain: The subject property is currently undeveloped. Upon construction of this site, factors such as vegetation, topography and flood plain issues will be addressed as part of the plat and civil engineering process and more specifically during the civil review before construction.

Legal Considerations:

This item is being considered at a regular meeting of the City Council noticed in accordance with the Texas Open Meetings Act.

Public Information Considerations:

On May 14, 2019 a notice for this public hearing appeared in the Focus Daily Newspaper. Staff also mailed 72 notifications of this public hearing to property owners within 200-feet of the subject site and zoning signs were placed on the property. There were five (5) letters received in opposition of this zoning change request and three (3) letters received in support.

Options/Alternatives:

1. City Council may approve the request, as presented.
2. City Council may approve the request with changes, state those changes.
3. City Council may deny the request.

Recommendation:

On February 5, 2019 the Planning and Zoning Commission recommended approval of the request with the following conditions:

1. (20) feet front yard setback.
2. Two (2) feet minimum garage setback with architectural features or porch not exceeding six (6) feet options.

Staff concurs with the Planning and Zoning Commission's recommendation.

Attachments

Ordinance

Location Map

Concept Plan

Legal Description

Proposed Development Standards

Sample Photos

Comprehensive Plan Excerpt

Original PD Ordinance 36-86

Letters in Opposition (5)

Letters in Support (3)

P&Z staff report with attachments (2/5/19)

February 5, 2019 Minutes - Draft

ORDINANCE NO.

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS, AMENDING ORDINANCE # 36-86 AND AS AMENDED TO ALLOW MODIFICATION TO THE DESIGN CRITERIA OF AN EXISTING PLANNED DEVELOPMENT NO. 26 (PD-26) FOR PHASE THREE OF ROLLING MEADOWS SUBDIVISION ON APPROXIMATELY 21.2 ACRES OF LAND GENERALLY LOCATED NORTH OF BELT LINE ROAD AND EAST OF ROLLING HILLS PLACE; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the City Council, in accordance with the City's Code of Ordinances, state law and all other applicable ordinances of the City, have given the required notices and have held the required public hearings regarding the amendment of the City's zoning laws by changing the zoning on the property referenced in the exhibit attached hereto as Exhibit A "Concept Plan", incorporated by reference ("the Property"); and

WHEREAS, all legal requirements, conditions and prerequisites have been complied with prior to the case coming before the City Council for the City of Lancaster, including all mandated public notices and public hearings; and

WHEREAS, the City Council, after determining that all legal requirements of notice and hearing have been met, has determined that the following amendment would provide for and would be in the best interest of the health, safety, morals and general welfare of the City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. All of the above premises are hereby found to be true and correct and are hereby approved and incorporated into the body of this Ordinance as if copied in their entirety.

SECTION 2. From and after the effective date of this Ordinance, Zoning Case No. Z19-03, an amendment to existing Planned Development District No. 26 (PD-26); all of the standards in the PD shall continue to apply, except the following changes expressly set out in Exhibit D "Development Standards". This exhibit, along with Exhibit A, "PD Concept Plan," and Exhibit B, "Legal Description," are incorporated herein as part of this Ordinance. The City's Zoning Map is hereby amended to reflect the zoning amendment referenced herein.

SECTION 3. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. The City Council hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

SECTION 4. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the repeal prevent a prosecution from being commenced for any violation if occurring prior to the repeal of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 5. Any person, firm, corporation or business entity violating this Ordinance shall be deemed guilty of a misdemeanor, and upon conviction thereof shall be subject to a fine not to exceed \$2,000.00, and each day that such violation shall continue shall be considered a separate offense. These penal provisions shall not prevent an action on behalf of the City of Lancaster to enjoin any violation or threatened violation of the terms of this Ordinance, or an action for mandatory injunction to remove any previous violation hereof.

SECTION 6. This Ordinance shall become effective from and after its passage and publication.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 10th day of June, 2019.

ATTEST:

APPROVED:

Sorangel O. Arenas, City Secretary

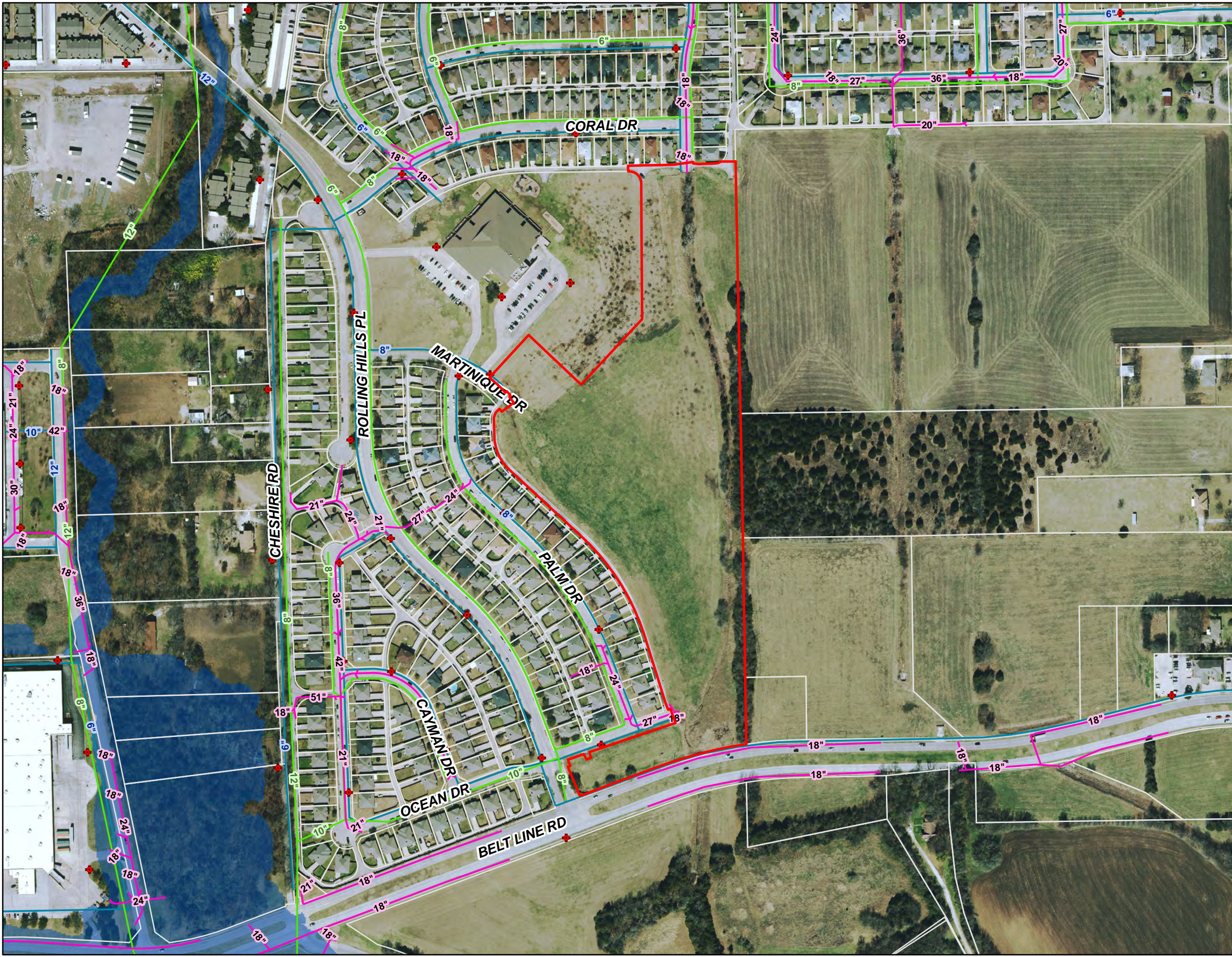
Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney



City of Lancaster 100 Rolling Hills Place



- Fire Hydrants
- Storm Sewer Lines
- Sewer Lines
- Water Lines
- Parcels
- FEMA 100yr Floodplain

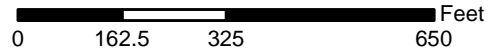
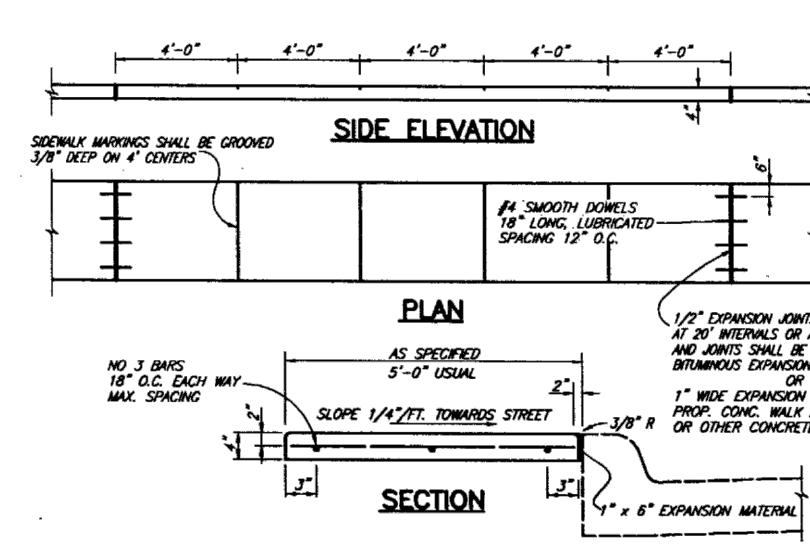
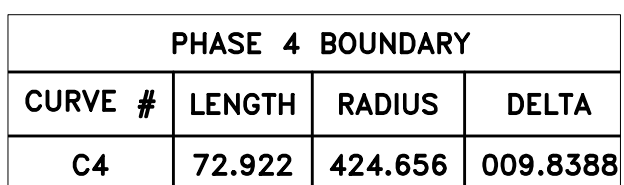


Exhibit A



PHASE 4 BOUNDARY		
LINE #	LENGTH	BEARING
L10	20.090	S85° 18' 48.00"E
L11	12.010	S00° 51' 24.00"E
L12	60.000	N89° 08' 36.00"E
L13	12.010	N00° 51' 24.00"W
L14	20.110	N83° 10' 55.00"E
L15	50.000	N89° 08' 36.00"E
L1	101.160	N20° 20' 45.00"W
L2	8.500	N69° 39' 15.00"E
L3	320.163	N70° 33' 52.56"E
L4	50.059	S19° 26' 07.44"W
L5	8.100	S70° 33' 52.56"W



ROLLING MEADOWS PH. 3:
6,500 SF
87 LOTS

BEING 87 LOTS OUT OF 21.14 ACRES IN THE
VALENTINE WAMPLER SURVEY, ABSTRACT NO. 1546
G.K. SNEED SURVEY, ABSTRACT NO. 1278
J.M. RAWLINS SURVEY, ABSTRACT NO. 1208
IN THE CITY OF LANCASTER, DALLAS COUNTY, TEXAS



CCM Engineering
 2570 FM 407, Suite 209
 Highland Village, Texas 75077
 Ph: 972.691.6633
 TBPE Firm #605

Exhibit B
Legal Description

BEING A TRACT OF LAND APPROXIMATELY 21.14 ACRES IN SIZE OUT OF THE VALENTINE WAMPLER SURVEY, ATRACT NO. 1546; G.K. SNEED SURVEY, ABSTRACT NO. 1278; J.M. RAWLINS SURVEY, ABSTRACT NO. 1208, BEING FURTHER DESCRIBED AS ROLLING MEADOWS, PHASE 3, LOCATED IN THE CITY OF LANCASTER, DALLAS COUNTY, TEXAS.

Exhibit D
PD 26 (revised)
Rolling Meadows Phase 3
Development Standards

The land area for these revised development standards is shown on the PD Concept Plan (Exhibit A) and more fully described in the legal description (Exhibit B) attached hereto. This will revise the current PD zoning from PD-SF2 (SF-6 under current zoning code) to PD-SF6 and replace the current standards in PD 26 for this area.

Lot Development Standards

- Number of lots: 87 single family residential lots and 2 Open Space lots as depicted in the PD Concept Plan (Exhibit A).
- Minimum Lot size: 6500 sf.
- Minimum Front Setback: 20' to front elevation for any living area, however any architectural element such as a porch or entry may encroach up to 6' into the front yard setback.
- Minimum Garage Setback: 22' to the face of any garage door
- Minimum Rear Setback: 10' at the center line of the building pad
- Side yard: 5' interior lots
15' corner lots

House Development Standards

- Minimum Home Size: 1750 square feet
- Garage Orientation: Front facing garage with a minimum of 22 feet setback and the garage door shall not be in front of the living space.

House Landscape Requirements

- Each home will have a minimum of two 3" caliper trees planted per lot. One in the front yard and one in the rear yard.
- Each home will have minimum of 100 square feet of planting bed in the front elevation of the home.
- Each home will have an irrigation system for the front and rear yards.

- Each home will be fully sodded in the front and rear yards.

Screening Requirements

- Screening wall will be a continuation of and will match the existing screening wall of Phases 1 & 2

Neighborhood Amenities

- There will be two Open Space areas labeled as lots 39x and 40x of the PD Concept Plan (Exhibit A) and they will be maintained by the PID.
- The detention drainage area and gas easement areas as depicted in the PD Concept Plan (Exhibit A), will be seeded with native, low maintenance grasses and maintained by the PID.

Rolling Meadows Phase 3

Sample Home Elevations



Rural Living

Character & Intent

Rural living is focused on areas of the community that has the ability to preserve a rural character. This includes estate residential type areas. The high-end character of this housing is primarily focused on serving the needs of executives with densities less than 2 dwelling units per acre.

Land Use Considerations

Primary Land Uses

Single-family detached homes

Secondary Land Uses

Civic & institutional uses, parks, open space

Precedent Photos



Suburban Neighborhood

Character & Intent

Suburban neighborhoods will continue to be the dominant place type in Lancaster providing a variety of residential products ranging from townhomes to single family detached. These neighborhoods would generally be formed as subdivisions with residential densities ranging from 2 to 8 dwelling units per acre..

Land Use Considerations

Primary Land Uses

Single-family detached homes, duplexes

Secondary Land Uses

Civic & institutional uses, parks

Precedent Photos



ORDINANCE NO. 36-86 / 47-75
PD NUMBER 26 BRR

AN ORDINANCE OF THE CITY OF LANCASTER, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF LANCASTER, AS HERETOFORE AMENDED, SO AS TO CHANGE THE FOLLOWING DESCRIBED TRACT OF LAND FROM SF-A, SF-2L-1 AND 2, SF-2, AND SF-1 (SINGLE FAMILY) TO PD-SF-2 (PLANNED DEVELOPMENT-SINGLE FAMILY) DISTRICT ZONING CLASSIFICATION; SAID TRACT OF LAND BEING DESCRIBED AS FOLLOWS: AS DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND MADE PART HEREOF; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED ONE THOUSAND DOLLARS (\$1,000.00); AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Planning Commission of the City of Lancaster in compliance with the laws of the State of Texas and the ordinances of the City of Lancaster, has given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally, and to all persons interested and situated in the affected area and in the vicinity thereof, and in the exercise of its legislative discretion, the City Council has concluded that the Comprehensive Zoning Ordinance should be amended;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Lancaster, Texas, as heretofore amended, be and the same is hereby amended by amending the Zoning Map of the City of Lancaster, to give the following described tract of land the following zoning classification, to-wit: That the area be and the same is hereby zoned as PD-SF-2 (Planned Development-Single Family) District Zoning Classification:

AS DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

and subject to the following special conditions:

- a. Approved Concept and Landscaping Plans shall be submitted and attached as Exhibits "B" and "C", respectively, to this ordinance.
- b. The following minimum lot and dwelling sizes are hereby established:

44.7 Acres: Lot size: 5000 square feet
 Dwelling Size: 1400 Square feet

Average dwelling size: 1500 square feet

76.6 Acres: Lot size: 7200 square feet
 Dwelling Size: 1700 square feet

Average dwelling size: 1800 square feet

- c. It is hereby further established that the minimum house size along the east property line of Tract B shall be 1600 square feet.

SECTION 2. That all ordinances of the City of Lancaster in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other provisions of said ordinance not in conflict shall remain in full force and effect.

SECTION 3. That the above described tract of land shall be used only in the manner and for the purposes provided for by the Comprehensive Zoning Ordinance of the City of Lancaster, as heretofore amended, and as amended by the granting of this zoning classification.

SECTION 4. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Lancaster, heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of one thousand dollars (\$1,000.00) for each offense.

SECTION 5. This Ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance, as the law in such cases provides.

DULY PASSED by the City Council of the City of Lancaster, Texas, on the 16th day of June, 1986.

APPROVED:


MAYOR

ATTEST:


CITY SECRETARY

EXHIBIT "A"

ATTACHMENT TO ORDINANCE NO. 36-86

PROPERTY DESCRIPTION

BEING all of that certain lot, tract or parcel of land situated in the V. Wampler Survey, Abst. 1546, the J. M. Rawlins Survey, Abst. 1208 and the C. K. Sneed Survey, Abst. 1278, Dallas County Texas, and being all of that same tract of land described as Tract No. 11 in the deed from Joe Paul Bryant to HJH Joint Venture, recorded in Volume 83086, Page 3367 of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a $\frac{1}{2}$ " iron rod for corner at the present intersection of the east R.O.W. line of Cheshier Road (a 30' R.O.W.) with the north R.O.W. line of Belt Line Road (a variable width R.O.W. as described in Correction Right-of-Way Deed recorded in Volume 83085, Page 3089 of the Deed Records of Dallas County, Texas);

THENCE North 02 deg. 16. min. 00 sec. West, 45.00 feet with the east line of Cheshier Road to a $\frac{1}{2}$ " iron rod for corner;

THENCE South 87 deg. 44 min. 00 sec. West. 15.00 feet to a $\frac{1}{2}$ " iron rod for corner;

THENCE North 02 deg. 16 min. 00 sec. West, 991.23 feet with the east line of Cheshier Road to a 1" iron rod for an angle point;

THENCE North 01 deg. 25 min. 57 sec. West, 1360.86 feet with the east line of Cheshier Road to a $\frac{1}{2}$ " iron rod for angle point in the east line of the Billy F. Moffitt 12.90 acre of land;

THENCE North 08 deg. 39 min. 10 sec. East, 637.38 feet with the east line of the Moffitt tract to a $\frac{1}{2}$ " iron rod for angle point;

THENCE North 12 deg. 27 min. 45 sec. East, 802.69 feet with the east line of the Moffitt tract to a $\frac{1}{2}$ " iron rod for corner in the north line of the Wampler Survey; said point also being in the south line of a 100 feet TP&L Company R.O.W.;

THENCE North 88 deg. 58 min. 49 sec. East, 1260.95 feet with the north line of the Wampler Survey to a $\frac{1}{2}$ " iron rod at the northeast corner of same and in the west line of the J. M. Rawlins Survey;

THENCE South 00 deg. 41 min. 03 sec. East, 289.57 feet with the west line of the Rawlins Survey to a $\frac{1}{2}$ " iron rod at the northwest corner of the W. Rush 34.5 acre tract of land for angle point;

THENCE South 00 deg. 52 min. 15 sec. East, 3013.89 feet with the west line of the Rawlins Survey to a $\frac{1}{2}$ " iron rod for corner in the north line of Belt Line Road and on a curve to the left having a central angle of 09 deg. 40 min. 18 sec. and a radius of 1,550.00 feet;

THENCE around said curve and with the north line of Belt Line Road, a distance of 261.64 feet to a 1" iron rod for point of tangency;

THENCE South 69 deg. 40 min. 00 sec. West, 1319.58 feet with the north line of Belt Line Road to the PLACE OF BEGINNING and containing 5,285,242 square feet or 121.3324 acres of land.


ORDINANCE NO. 36-86

PD NUMBER 26

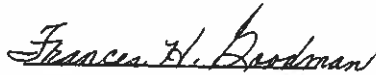
AN ORDINANCE OF THE CITY OF LANCASTER, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF LANCASTER, AS HERETOFORE AMENDED, SO AS TO CHANGE THE FOLLOWING DESCRIBED TRACT OF LAND FROM SF-A, SF-ZL-1 AND 2, SF-2, AND SF-1 (SINGLE FAMILY) TO PD-SF-2 (PLANNED DEVELOPMENT-SINGLE FAMILY) DISTRICT ZONING CLASSIFICATION; SAID TRACT OF LAND BEING DESCRIBED AS FOLLOWS: AS DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND MADE PART HEREOF; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED ONE THOUSAND DOLLARS (\$1,000.00); AND PROVIDING AN EFFECTIVE DATE.

DULY PASSED by the City Council of the City of Lancaster, Texas,
on the 16th day of June, 1986.

APPROVED:


MAYOR

ATTEST:


CITY SECRETARY

ORDINANCE NO. 44-95 PD 26

AN ORDINANCE OF THE CITY OF LANCASTER, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP OF THE CITY OF LANCASTER, AS HERETOFORE AMENDED, BY AMENDING THE DEVELOPMENT CRITERIA OF PLANNED DEVELOPMENT DISTRICT NO. 26 (PD-SF-2) ON THE PROPERTY DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF FOR ALL PURPOSES; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Lancaster and the City Council of the City of Lancaster, in compliance with the laws of the State of Texas with reference to the granting of zoning classification changes, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and the City Council of the City of Lancaster is of the opinion and finds that said zoning change should be granted and that the Comprehensive Zoning Ordinance and Map should be amended; NOW, THEREFORE,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Map of the City of Lancaster, Texas, as heretofore amended, be, and the same are hereby, amended by amending Section 1 of Ordinance No. 36-86 and Planned Development District No. 26 (PD-SF-2) so as to add subsection d as follows:

" . . .

d. Development criteria for 44.7 acres:

1. Not more than two dwelling units in the range of 1,400 square feet to 1,450 square feet may be contiguous;
2. No dwelling size in the range of 1,400 square feet to 1,450 square feet may be constructed on Lots 1 and 2 of Block 8, Lots 1 through 4 of Block 7, Lots 1 through 4 of Block 1, Lots 15 through 17 of Block 2; nor on any other corner lot;

3. The front yard building line be established at twenty (20) feet for not more than 50% of the lots;
4. Landscaping for each dwelling unit shall consist of the following:
 - a) Either a sodded or hydromulched front yard,
 - b) Two trees a minimum of six (6) feet in height and have a two-inch caliper as measured twelve (12) inches from the ground with a variety of medium to hardwood trees dispersed throughout the subdivision,
 - c) Twelve (12) one gallon and four (4) three gallon shrubs or hedges in flower beds adjacent to the front of the structure,
 - d) A six (6) foot wood privacy fence enclosing the rear yard.
5. The exterior wall construction of all dwelling units be a minimum of 80% masonry for all single story units and a minimum of 70% masonry for all two story units."

SECTION 2. That such development criteria shall apply to the property within Planned Development District No. 26 which is described in Exhibit "A" attached hereto and made a part hereof for all purposes. That the above described property shall be used only in the manner and for the purposes provided for by the Comprehensive Zoning Ordinance of the City of Lancaster, as amended hereby, and as otherwise provided in Ordinance 36-86 to the extent not amended hereby.

SECTION 3. All ordinances of the City of Lancaster in conflict with the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, are hereby repealed, and all other ordinances of the city not in conflict with the provisions hereof shall remain in full force and effect.

SECTION 4. If any article, paragraph, subdivision, clause or provision of this ordinance or the Comprehensive Zoning Ordinance, as hereby amended, be adjudged invalid or held unconstitutional for any reason, such judgment or holding shall not affect the validity of this


ordinance as a whole or any part or provision thereof, or of the Comprehensive Zoning Ordinance, as amended hereby, other than the part so declared to be invalid or unconstitutional.

SECTION 5. Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance of the City of Lancaster, Texas, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the municipal court of the City of Lancaster, Texas, shall be subject to a fine not to exceed the sum of Two Thousand (\$2,000.00) Dollars for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. This ordinance shall take effect immediately from and after its passage and the publication of the caption as the law and charter in such cases provide.

DULY PASSED by the City Council of the City of Lancaster, Texas, on the 11th day of September, 1995.

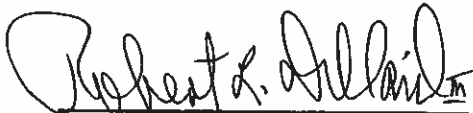
APPROVED:


MAYOR

ATTEST:


CITY SECRETARY

APPROVED AS TO FORM:


CITY ATTORNEY
(RLD/ckh 7-27-95)

AGG074SD

EXHIBIT "A"

Lots 1 through 77, Blk 1; Lots 1 through 33, Blk 2; Lots 1 through 27, Blk 3; Lots 1 through 30, Blk 4; Lots 1 through 32, Blk 5; Lots 1 through 29, Blk 6; Lots 1 through 15, Blk 7; Lots 1 through 2, Blk 8, Moffit Creek Estates, Phase One, Part of V. Wampler Survey, Abstract No. 1546, Containing approximately 44.375 acres of land.

ORDINANCE # 44-95

ORDINANCE NO. 44-95

AN ORDINANCE OF THE CITY OF LANCASTER, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP OF THE CITY OF LANCASTER, AS HERETOFORE AMENDED, BY AMENDING THE DEVELOPMENT CRITERIA OF PLANNED DEVELOPMENT DISTRICT NO. 26 (PD-SF-2) ON THE PROPERTY DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF FOR ALL PURPOSES; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

DULY PASSED by the City Council of the City of Lancaster, Texas, on the 11th day of September, 1995.

APPROVED:

Margie Chalkey
MAYOR

ATTEST:

Jackie Denman
CITY SECRETARY



NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider an amendment to an existing Planned Development District No. 26 (PD-26) originally approved in 1986 for Phase 3 of the Rolling Meadows subdivision. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment to allow certain exceptions for PD-26.

☐ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☒ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

SIGNATURE:

Johnny & Emma Johnson Hampton
109 Rolling Hills place

ADDRESS:

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, June 10, 2019 at 7:00 pm**. Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Planning Division by 5 p.m. on **Tuesday, May 28, 2019** for your comments to be recorded for the City Council meeting. Responses received after that time will be forwarded to the Council at the public hearing.

If you have any questions concerning this request, please contact the Planning Division
Phone 972-218-1315
FAX 972-218-3616

RETURN BY FAX OR MAIL

City of Lancaster
Planning Division
211 N Henry St
Lancaster, TX 75146-0940

72 Notices were mailed on 5/14/2019



NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider an amendment to an existing Planned Development District No. 26 (PD-26) originally approved in 1986 for Phase 3 of the Rolling Meadows subdivision. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment to allow certain exceptions for PD-26.

☐ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☒ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

THIS RESIDENCE IS MY RESIDENCE AND I DONT PLAN TO
RELOCATE AT THIS AGE... PLUS THE COST OF LIVING IS TOO
SIGNATURE: EXPENSIVE TO MOVE Angela Jean

ADDRESS: 104 ROLLING HILLS PLACE

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NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider an amendment to an existing Planned Development District No. 26 (PD-26) originally approved in 1986 for Phase 3 of the Rolling Meadows subdivision. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment to allow certain exceptions for PD-26.

☐ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☒ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

devalues property nearby. This is the 3rd time I've sent this in.

SIGNATURE:

ADDRESS:

2813 CORAL LANCASTER, TX 75146

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, June 10, 2019 at 7:00 pm**. Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

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Planning Division
211 N Henry St
Lancaster, TX 75146-0940

72 Notices were mailed on 5/14/2019



CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 12/20/2018

NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26.

☐ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☒ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

The deciding factor in purchasing my house, was the beautiful open field behind my house & no neighbors behind me.

SIGNATURE:

Janice Odeh

ADDRESS:

136 Palm Drive

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The Planning and Zoning Commission will hold a public hearing and take action on the above case at their meeting on **Tuesday, January 8, 2019 at 7:00 pm.** The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, January 28, 2019 at 7:00 pm.** Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

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If you have any questions concerning this request, please contact the Planning Division
Phone 972-218-1315
FAX 972-275-1862

RETURN BY FAX OR MAIL
City of Lancaster
Planning Division
211 N Henry St
Lancaster, TX 75146-0940

72 Notices were mailed on 12/20/2018

P.O. Box 940 | Lancaster | Texas | 75146 | 972.218.1300 | www.lancaster-tx.com





CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 12/20/2018

NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26.

☐ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☒ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

Too close to Elementary school + afraid of lowering my home value

SIGNATURE:

ADDRESS:

702 Bermuda Ave, Lancaster, TX

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The Planning and Zoning Commission will hold a public hearing and take action on the above case at their meeting on **Tuesday, January 8, 2019 at 7:00 pm**. The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, January 28, 2019 at 7:00 pm**. Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

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CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 12/20/2018

NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26.

☐ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☒ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: *Property value decrease, traffic, congestion*

SIGNATURE: *[Signature]*

ADDRESS: *2813 Coral Dr. Lancaster, TX 75146*

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The Planning and Zoning Commission will hold a public hearing and take action on the above case at their meeting on **Tuesday, January 8, 2019 at 7:00 pm**. The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, January 28, 2019 at 7:00 pm**. Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Planning Division by 5 p.m. on **Friday, December 28, 2018** for your comments to be recorded for the Planning and Zoning Commission's meeting. Responses received after that time will be forwarded to the Commission at the public hearing.

If you have any questions concerning this request, please contact the Planning Division
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Lancaster, TX 75146-0940

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CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 1/24/2019

NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider an amendment to an existing Planned Development District No. 26 (PD-26) originally approved in 1986 in order to allow certain modifications to the design criteria for Phase 3 of the Rolling Meadows subdivision. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment to allow certain exceptions for PD-26.

☐ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☒ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: *A better explanation of the issue & request would help*

SIGNATURE: *[Handwritten Signature]*

ADDRESS: *2813 Coral Dr. Lancaster, TX 75146*

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, February 25, 2019 at 7:00 pm**. Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Planning Division by 5 p.m. on **Monday, February 4, 2019** for your comments to be recorded for the Planning and Zoning Commission's meeting. Responses received after that time will be forwarded to the Commission at the public hearing.

If you have any questions concerning this request, please contact the Planning Division
Phone 972-218-1315
FAX 972-218-3616

RETURN BY FAX OR MAIL
City of Lancaster
Planning Division
211 N Henry St
Lancaster, TX 75146-0940

72 Notices were mailed on 1/24/2019

P.O. Box 940 | Lancaster | Texas | 75146 | 972.218.1300 | www.lancaster-tx.com





CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 1/24/2019

NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: Case No. Z19-03: to conduct a public hearing and consider an amendment to an existing Planned Development District No. 26 (PD-26) originally approved in 1986 in order to allow certain modifications to the design criteria for Phase 3 of the Rolling Meadows subdivision. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment to allow certain exceptions for PD-26.

☐ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☒ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

Do not want neighbors behind me! Take away my view

SIGNATURE:

Janice Oden

ADDRESS:

136 Palm Drive, Lancaster, TX 75146

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, February 25, 2019 at 7:00 pm**. Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Planning Division by 5 p.m. on **Monday, February 4, 2019** for your comments to be recorded for the Planning and Zoning Commission's meeting. Responses received after that time will be forwarded to the Commission at the public hearing.

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FAX 972-218-3616

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CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 3/14/2019

NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider an amendment to an existing Planned Development District No. 26 (PD-26) originally approved in 1986 for Phase 3 of the Rolling Meadows subdivision. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment to allow certain exceptions for PD-26.

☐ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☒ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

Safety (Gas Lines)

SIGNATURE:

Emma Johnson Wampler

ADDRESS:

109 Rolling Hills place

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, March 25, 2019 at 7:00 pm**. Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Planning Division by 5 p.m. on **Friday, March 22, 2019** for your comments to be recorded for the City Council meeting. Responses received after that time will be forwarded to the Council at the public hearing.

If you have any questions concerning this request, please contact the Planning Division
Phone 972-218-1315
FAX 972-218-3616

RETURN BY FAX OR MAIL

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Planning Division
211 N Henry St
Lancaster, TX 75146-0940

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CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 5/14/2019

NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider an amendment to an existing Planned Development District No. 26 (PD-26) originally approved in 1986 for Phase 3 of the Rolling Meadows subdivision. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment to allow certain exceptions for PD-26.

☒ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☐ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

May enhance the community and bring value to existing properties

SIGNATURE:

Anita K. Zott (Anita K. Zott)

ADDRESS:

164 Palm Dr., Lancaster TX 75146

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, June 10, 2019 at 7:00 pm**. Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

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CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 12/20/2018

NOTICE OF PUBLIC HEARING

OWNER - 34 ACS.
EAST of Rolling Meadows

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26.

☒ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☐ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: We need some new growth in the area.

SIGNATURE: Brian Potahik 214-415-1924

ADDRESS: 1301 W. Houston School Rd

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The Planning and Zoning Commission will hold a public hearing and take action on the above case at their meeting on **Tuesday, January 8, 2019 at 7:00 pm.** The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, January 28, 2019 at 7:00 pm.** Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Planning Division by 5 p.m. on **Friday, December 28, 2018** for your comments to be recorded for the Planning and Zoning Commission's meeting. Responses received after that time will be forwarded to the Commission at the public hearing.

If you have any questions concerning this request, please contact the Planning Division
Phone 972-218-1315
FAX 972-275-1862

ASK FOR TERRY CAPEHART

RETURN BY FAX OR MAIL

City of Lancaster
Planning Division
211 N Henry St
Lancaster, TX 75146-0940

72 Notices were mailed on 12/20/2018

P.O. Box 940 | Lancaster | Texas | 75146 | 972.218.1300 | www.lancaster-tx.com



ATTN: TERRY CAPEHART
E-MAIL (TCAPEHART@LANCASTER-TX.COM)



CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 12/20/2018

NOTICE OF PUBLIC HEARING

*PARTNER 34 ACRES
EAST of ROLLING MEADOWS*

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

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☒ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☐ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: *This Area needs some more Single Family*

SIGNATURE: *M. [Signature]* 214-924-2089

ADDRESS: *1301 N. Houston School Road*

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The Planning and Zoning Commission will hold a public hearing and take action on the above case at their meeting on **Tuesday, January 8, 2019 at 7:00 pm.** The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, January 28, 2019 at 7:00 pm.** Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

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*TERRY CAPEHART
E-MAIL
TCAPCAPEHART@LANCASTER-TX.COM*



CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 12/20/2018

NOTICE OF PUBLIC HEARING

OWNER - 34 ACS.
EAST of Rolling Meadows

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

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☐ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: We need some new growth in the area.

SIGNATURE: Brian Potahik 214-415-1924

ADDRESS: 1301 W. Houston School Rd

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ATTN: TERRY CAPEHART
E-MAIL (TCAPEHART@LANCASTER-TX.COM)



CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department
Date: 12/20/2018

NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26.

☒ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☐ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

This area needs denser development to attract more businesses, traffic.

SIGNATURE: *Manju Menon (Ms. Manju Menon) for Lancaster 12 Dev. LLC.*

ADDRESS: *1101 N. Houston School Rd.*

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The Planning and Zoning Commission will hold a public hearing and take action on the above case at their meeting on **Tuesday, January 8, 2019 at 7:00 pm.** The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, January 28, 2019 at 7:00 pm.** Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

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CITY OF LANCASTER'S BOARDS AND COMMISSIONS

Planning & Zoning Commission

3.

Meeting Date: 02/05/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Healthy, Safe & Engaged Community
Quality Development

Submitted by: Bester Munyaradzi, Senior Planner

Agenda Caption:

Z19-03 Conduct a public hearing and consider an amendment to an existing Planned Development District No. 26 (PD-26) and as amended to allow modifications to the design criteria for Phase 3 of the Rolling Meadows subdivision. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

Background:

1. **Location and Size:** The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. There were two prior phases to this subdivision. Phase 1 consisted of 13.87 acres with a total of 62 lots and Phase 2 consisted of 24.52 acres and 86 lots both of which were built out approximately 10 years ago.
2. **Current Zoning:** *The subject property was originally zoned PD-SF-2 which is now an obsolete designation in that the old SF-2 base zoning is now called SF-6 which allows for a density of six (6) dwelling units per acre. The proposed amendment actually reduces the density allowed by approximately thirty (30%) percent to align more closely with SF-4 (4 dwelling units per acre).
3. **Adjacent Properties:**
North: Planned Development Single-family Residential PD-SF-6 - (Occupied - Moffitt Creek Estates Phase 1)
South: Mills Branch Overlay District, Commercial Area Zone sub-district - (Vacant)
East: Planned Development Single Family Residential PD-SF-6 - (Vacant)
West: Planned Development Single Family Residential PD-SF-6 - (Occupied - Rolling Meadows Phase 1 & 2)
4. **Comprehensive Plan Compatibility:** The Future Land Use Plan of the Comprehensive Plan identifies this site as suitable for residential uses. As noted above, the proposed amendment reduces the density allowed by approximately 30% to align more closely with SF-4. In addition, one of the ten principles guiding the City's vision is, "New residential developments expand the range of neighborhood choices so Lancaster appeals to people throughout all stages of life." The proposed development is in close proximity to an elementary school and grocery store, has spacious dwelling sizes and has a low density of homes in the proposed residential subdivision. This request is consistent with the Comprehensive Plan.

5. Case History:

Date	Body	Action
06/16/1986	CC	Case 18-15 Approved PD-26
09/11/1995	CC	Approved PD-26 Amendment - (Ordinance #44-95)
11/16/2000	P&Z	PS-00-24 Approved Rolling Meadows Phase I - Preliminary Plat
06/04/2001	P&Z	PS-01-09/10 Approved Rolling Meadows Phase I - Final Plat
04/01/2002	P&Z	PS-03-07 Approved Rolling Meadows Phase II - Preliminary Plat
12/17/2002	P&Z	PS-02-32 Approved Rolling Meadows Phase II - Final Plat
07/29/2003	P&Z	PS-03-20 Denied Rolling Meadows Phase III - Preliminary Plat
10/07/2003	P&Z	PS-03-28 Approved Rolling Meadows Phase III - Preliminary Plat

Operational Considerations:

This is a request to amend PD-26 to allow the following modifications as shown on the table below. This is for the remaining lots of the Rolling Meadows Subdivision.

	Current	Proposed
Lot Size	5,000 to 7,200 square feet	6,500 square feet minimum
Dwelling Size	1700 square feet Average dwelling size 1800 square feet	1,750 square feet minimum (per the LDC)
Setback: Front Side Rear Corner lot	30 feet 5 feet 10 feet 30 feet	20 feet 5 feet 10 feet 15 feet
Garage Setback	At least 20 feet behind closest corner of the front building facade or J-Swing garage.	The requirement for parking garages accessed from the front street being located at least 20 feet behind the closest corner of the front building façade is waived.

Due to the narrow configuration of the subject parcel as well as a major Lone Star Gas easement bisecting the property the applicant is proposing to eliminate alleys and have front loaded lots in order to have consistent lot and street layouts while maintaining a lower density of approximately four (4) dwelling units per acre than the existing PD allow. The current PD-26 allows six (6) units per acre. This proposed amendment reduces the density allowed by about 30% and aligns more closely with the SF-4 zoning designation.

The applicant will be providing the following landscaping: Two (2) – three (3) inch caliper trees will be provided per lot. One (1) will be in the front yard and the second in the back yard. One hundred square feet of landscape beds will be provided in front of each home with irrigation. This is sufficient as Section

14.805 of the Landscape Ordinance states that, " A large tree shall have a caliper measuring at least three (3) inches in caliper when measured six (6) inches above the ground." The proposal meets the minimum size requirement for trees.

Two parks and open spaces will be provided and developed as depicted on the concept plan and open space exhibits as Lots 39X and 40X. The developer will provide funds up to \$100,000.00 for the development of the two parks including playground equipment, landscaping and irrigation.

Pursuant to Section 14.1101 of the LDC, when reviewing a zoning change application, there are five (5) considerations that must be made when deciding on a zoning change application. Following is an analysis of these considerations:

Consistency with the Comprehensive Plan: The Comprehensive Plan Future Land Use map designates this area as Suburban Neighborhood. Suburban Neighborhood is envisioned to be the dominant place type in Lancaster providing a variety of residential products ranging from townhomes to single family detached. These neighborhoods would generally be formed as subdivisions with residential densities ranging from 2 to 8 dwelling units per acre.

The zoning change request to amend the existing PD-26 is consistent with the Comprehensive Plan as shown on the attached Comprehensive Plan excerpt and map, and the request advances the City Council Goals and Objectives FY 2018-2019 of promoting higher quality residential housing.

Potential Impact on Adjacent Development: This property is adjacent to earlier phases of residential subdivisions on the north and west and vacant properties on the east (zoned PD-SF and SF-4) and south (zoned Mills Branch Overlay sub-district Commercial Area Zone). This proposed subdivision is compatible to the surrounding by properties. The existing screening wall on Belt Line Road will be continued along Belt Line Road for this phase as well.

Availability of utilities and access: The subject property is served by City of Lancaster sewer and water. The applicant will be responsible for connecting to those utilities. Access to this site will be from the north on Bermuda Drive, west on Martinique Drive, south from Rolling Hills Place and Jetty Drive will be constructed east of the subject property.

Timing of Development as it relates to Lancaster's Capital Improvement Plan (CIP): There are no plans for future improvement of roadways, water or sewer plans at this time. The applicant is responsible for construction of all infrastructure including the extension of stormwater facilities.

Site conditions such as vegetation, topography and flood plain: The subject property is currently undeveloped. Upon construction of this site, factors such as vegetation, topography and flood plain issues will be addressed as part of the plat and civil engineering process and more specifically during the civil review before construction.

Legal Considerations:

This item is being considered at a regular meeting of the Planning and Zoning Commission noticed in accordance with the Texas Open Meetings Act.

Public Information Considerations:

On December 21, 2018 a notice for this public hearing appeared in the Focus Daily Newspaper. Staff also mailed 72 notifications of this public hearing to property owners within 200-feet of the subject site and zoning signs were placed on the property. There were four letters (4) received in opposition of this zoning change request and three letters (3) received in support.

Options/Alternatives:

1. Recommend approval of the proposed amendments to PD-26, as presented.
2. Recommend approval of the proposed amendments to PD-26 with changes and state those changes.
3. Recommend denial of the proposed amendments to PD-26.

Recommendation:

Staff recommends approval of the amendments as presented.

Attachments

Location Map

Proposed Development Standards

Concept Plan

Sample Elevations

Landscape Exhibit

Park and Amenity Exhibit

Comprehensive Plan Excerpt

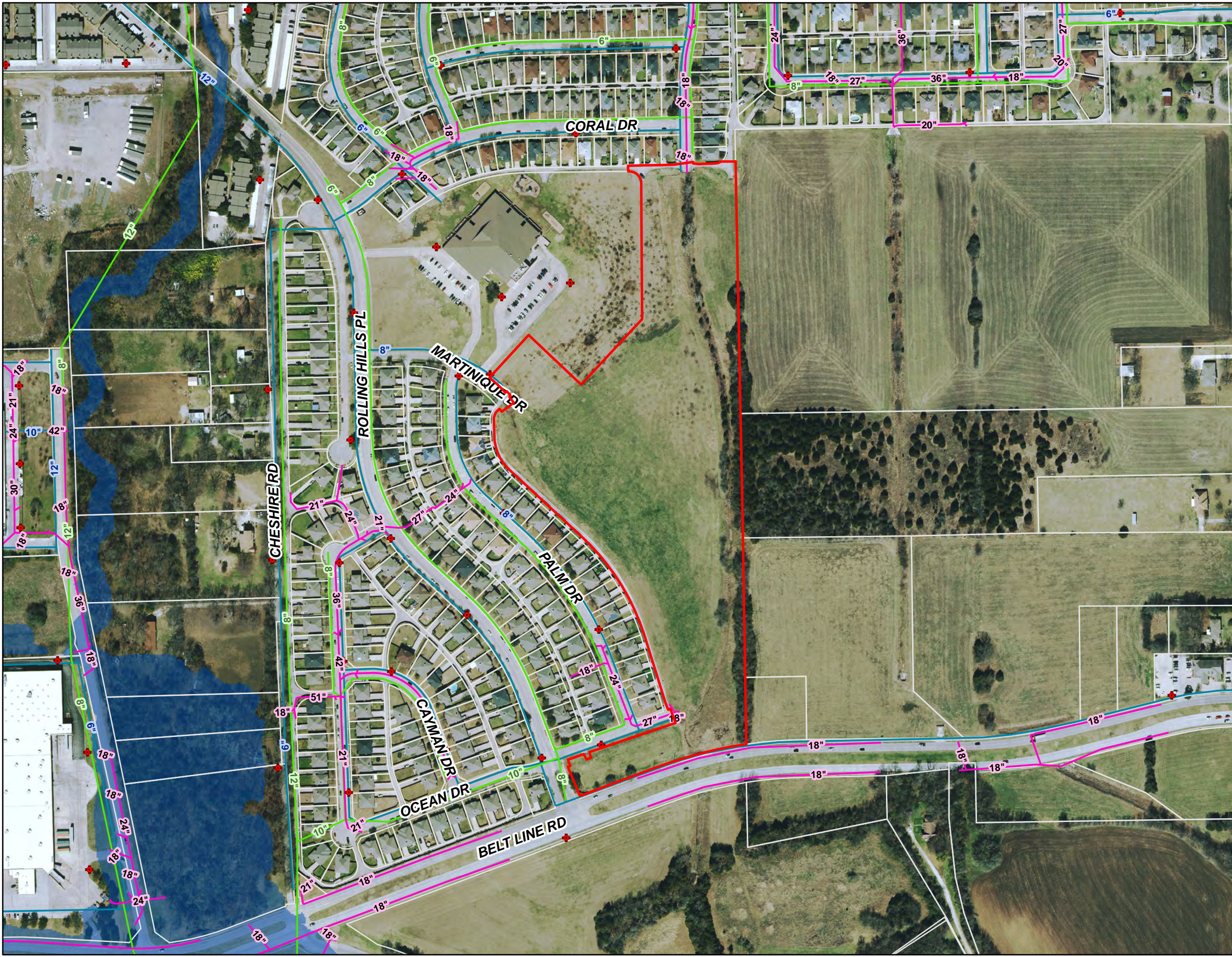
Original PD

Letters in Opposition (4)

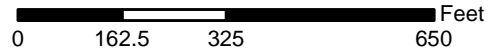
Letters in Support (3)



City of Lancaster 100 Rolling Hills Place



- Fire Hydrants
- Storm Sewer Lines
- Sewer Lines
- Water Lines
- Parcels
- FEMA 100yr Floodplain



Rolling Meadows Phase 3
Development Standards

The land area for this district as shown on the PD Site Plan is approximately 21.14 acres.

A. Development Standards

All requirements of the Lancaster Development Code (LDC) and Lancaster Code of Ordinances shall apply unless there is a conflict with any of the requirements listed below. In the case of a conflict, the requirements below shall control.

- a. Lot Size:
6,500 SF minimum
- b. Setbacks:
20' front
10' rear
5' side and 15' corner lots
- c. Dwelling Size:
1,750 SF minimum
- d. Garage Location:
The requirement for parking garages accessed from the front street being located at least 20 feet behind the closest corner of the front building façade is waived.
- e. Landscaping:
Two (2) – three (3) inch caliper trees will be provided per lot. One (1) will be in the front yard and the second in the back yard. One hundred square feet of landscape beds will be provided in front of the house with irrigation.
- f. Parks and Open Space:
Two parks and open spaces will be provided as depicted on the concept plan and open space exhibits as Lots 39X and 40X. The developer will provide funds up to \$100,000.00 for the development of the two parks including playground equipment, landscaping and irrigation.

DAVID SHAW
VOL. 2001249, PG. 11110
D.R.D.C.T.

JUAN M. MOLINA
VOL. 2001176,
PG. 8993
D.R.D.C.T.

EZRA CLARK,
JR. VOL. 97195,
PG. 0958
D.R.D.C.T.

MATTHEW R. HAZENKUMP
VOL. 78192, PG. 3415
D.R.D.C.T.

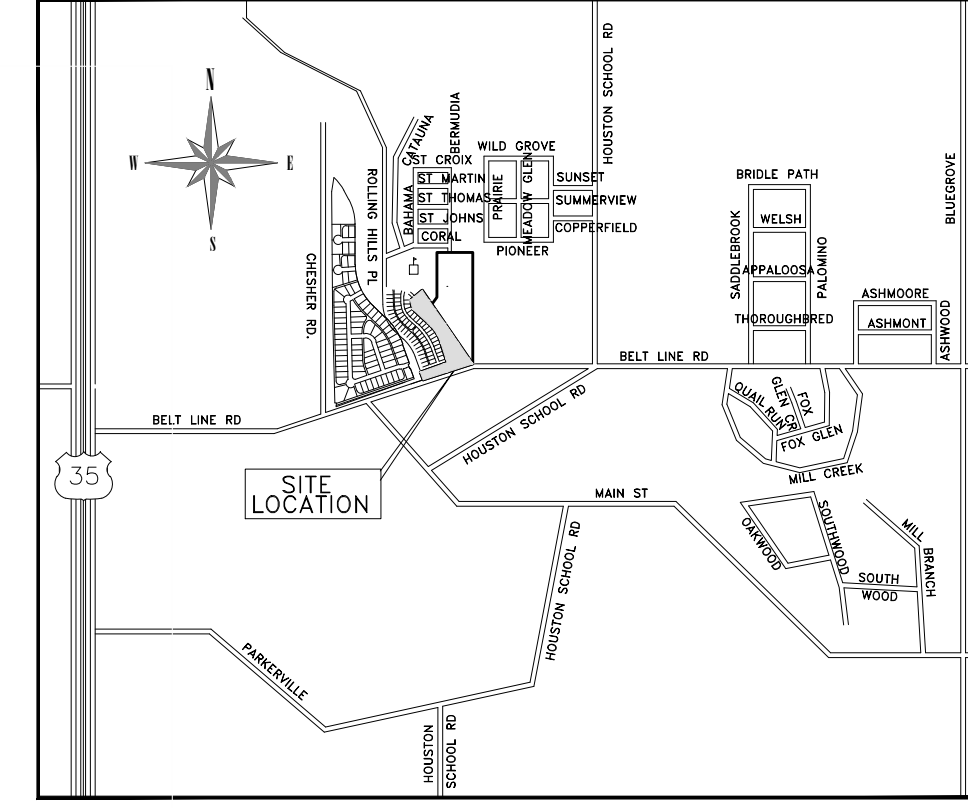
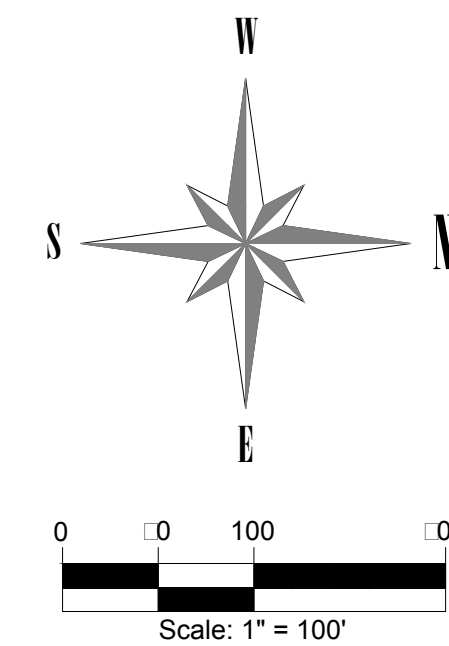
JAMES H. &
EVALEE T. JACKSON
VOL. 93195, PG. 1647
D.R.D.C.T.

JUDY COOK
BROWN
VOL. 98101,
PG. 7278
D.R.D.C.T.

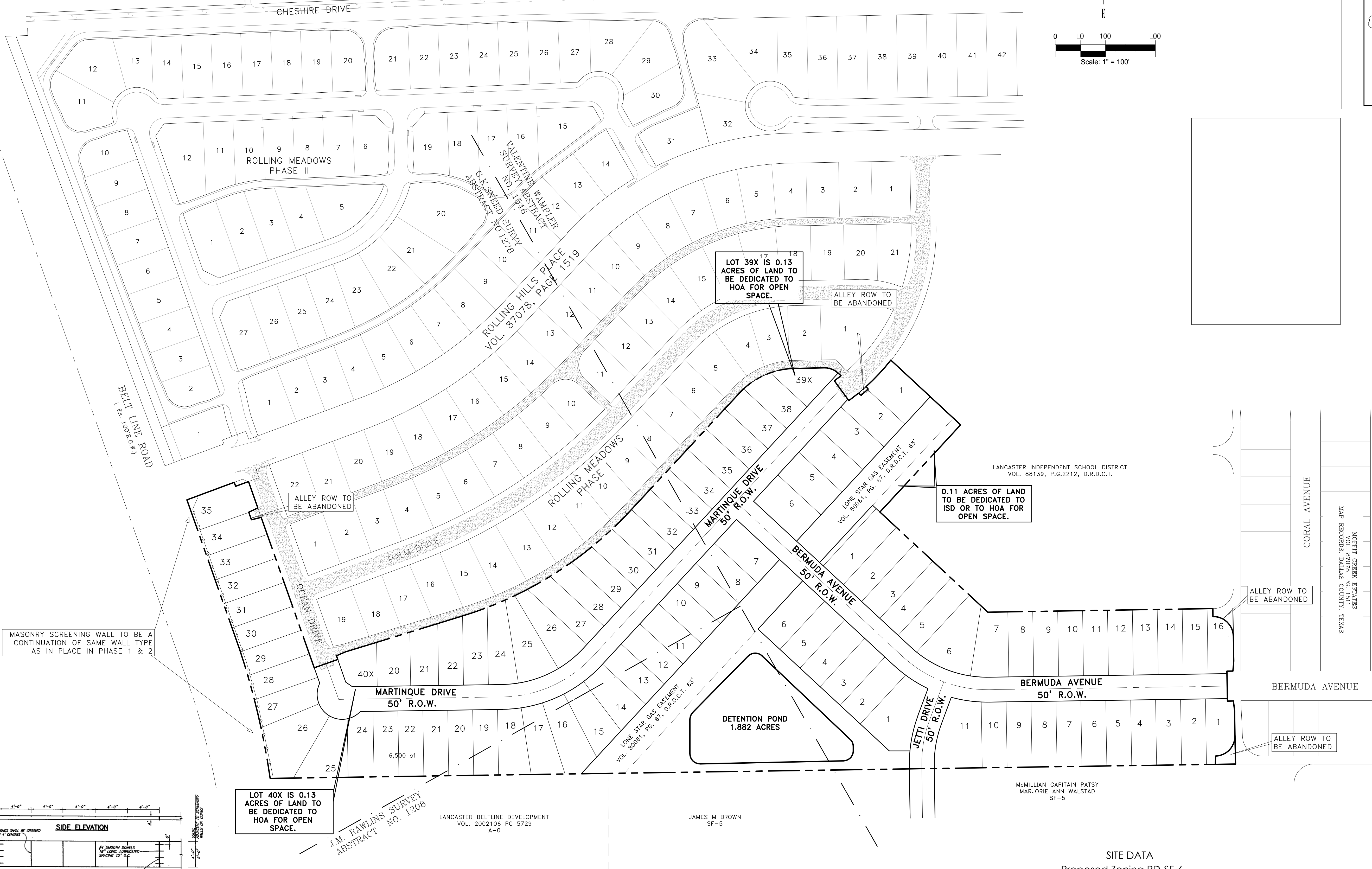
R.E. LOOPER
& J.F. LOOPER
VOL. 84073,
PG. 4189
D.R.D.C.T.

JUANITA MENCHALA
VOL. 2001079, PG. 6695
D.R.D.C.T.

ROBERT B. DAVIS
TR. 19 3.92 AC.



Location Map
n.t.s.



NOTE:
LOTS 39X AND 40X TO BE "PARK AREA" TO BE
DEDICATED TO THE H.O.A.

ROLLING MEADOWS PH. 3:
6,500 SF
87 LOTS

CONCEPT PLAN ROLLING MEADOWS PHASE THREE

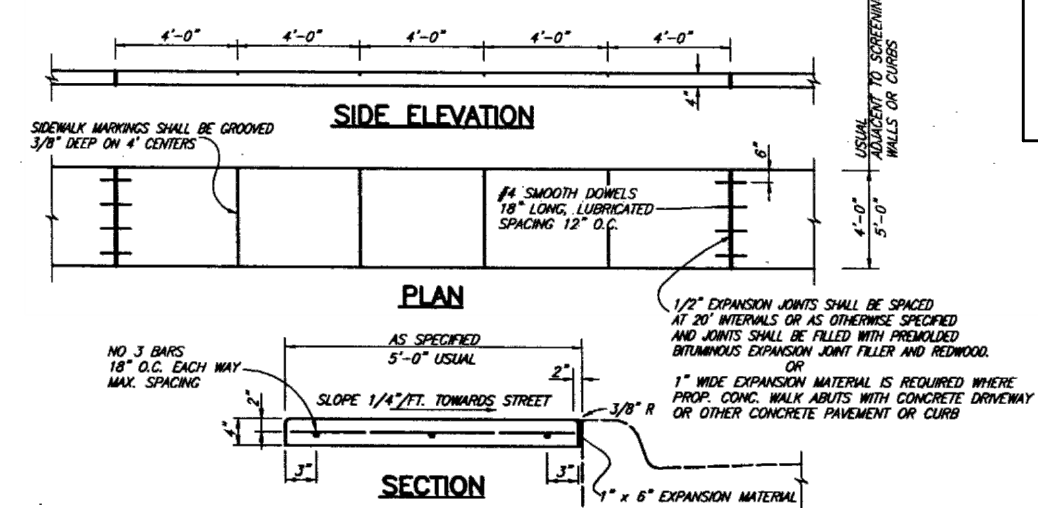
BEING 87 LOTS OUT OF 21.14 ACRES IN THE
VALENTINE WAMPLER SURVEY, ABSTRACT NO. 1546
G.K. SNEED SURVEY, ABSTRACT NO. 1278
J.M. RAWLINS SURVEY, ABSTRACT NO. 1208
IN THE CITY OF LANCASTER, DALLAS COUNTY, TEXAS

Developer:
SPRING HAVEN INVESTMENTS, INC.
6750 Hillcrest Plaza Drive, S. 318
Dallas, Texas 75230
(972) 386-3333

Engineer:
CCM Engineering
2570 FM 407, Suite 209
Highland Village, Texas 75077
Ph: 972.691.6633
TBPE Firm #605

SITE DATA	
Proposed Zoning PD-SF-6	
TOTAL ACRES	21.14 AC
DENSITY OF DEVELOPMENT	4.11 HOMES PER ACRE
MINIMUM LOT SIZE	6500 SF
MINIMUM DWELLING SIZE	1750 SF
NUMBER OF LOTS	87 LOTS
FRONT SET BACK	20 FT
REAR SET BACK	10 FT
SIDE YARD SET BACK	5 FT
SIDE YARD SET BACK ON SIDE STREET	15 FT

NOTE:
DEVELOPER TO ANNEX THIS DEVELOPMENT
INTO THE EXISTING HOME OWNERS
ASSOCIATION TO MAINTAIN THE
SCREENING WALL AND OPEN SPACES.





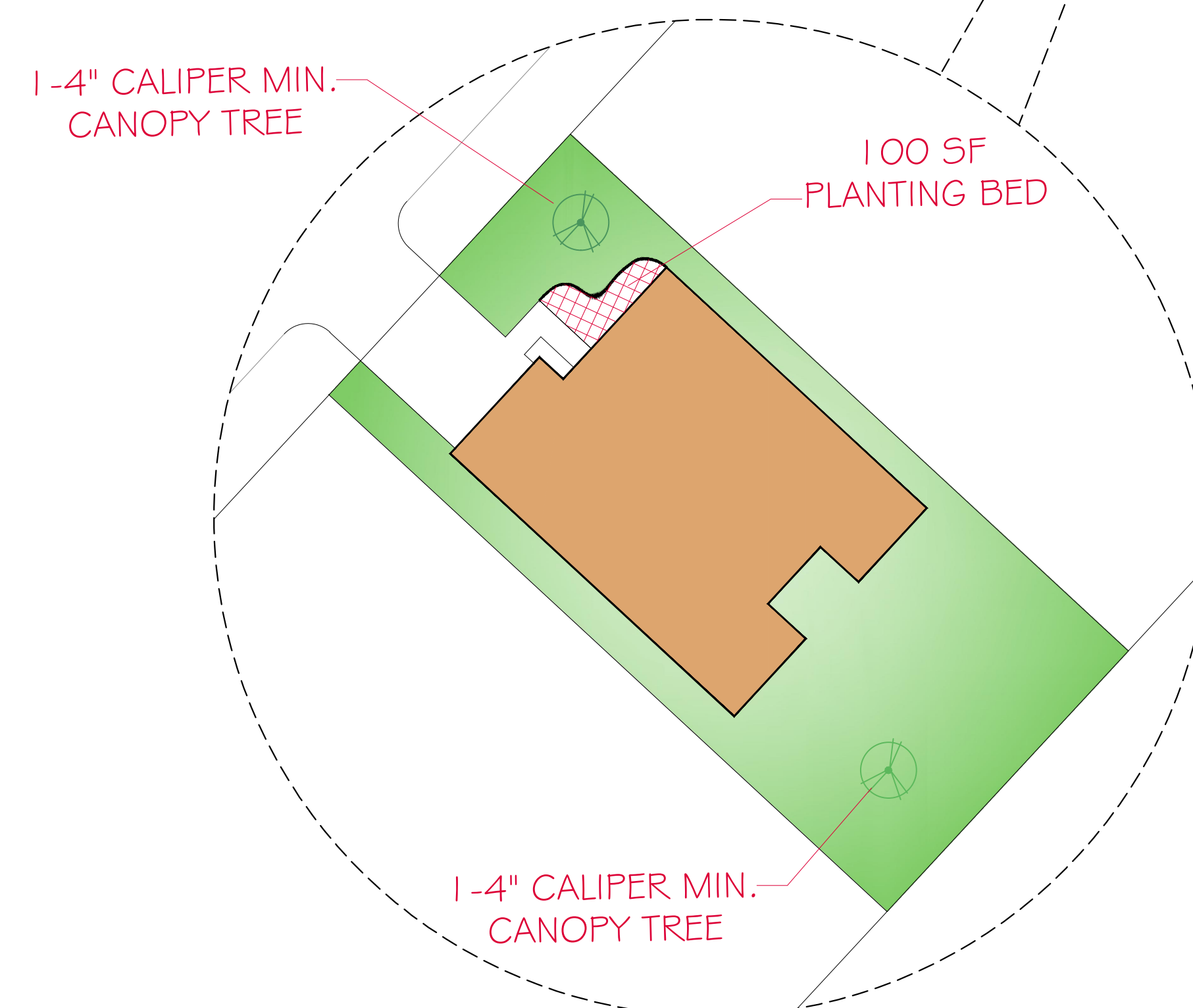
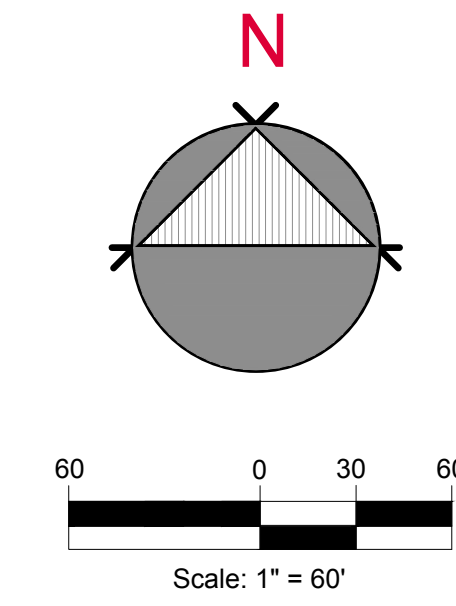
6000 DALY E

Sample Elevations



5462DAL-C

Sample Elevations



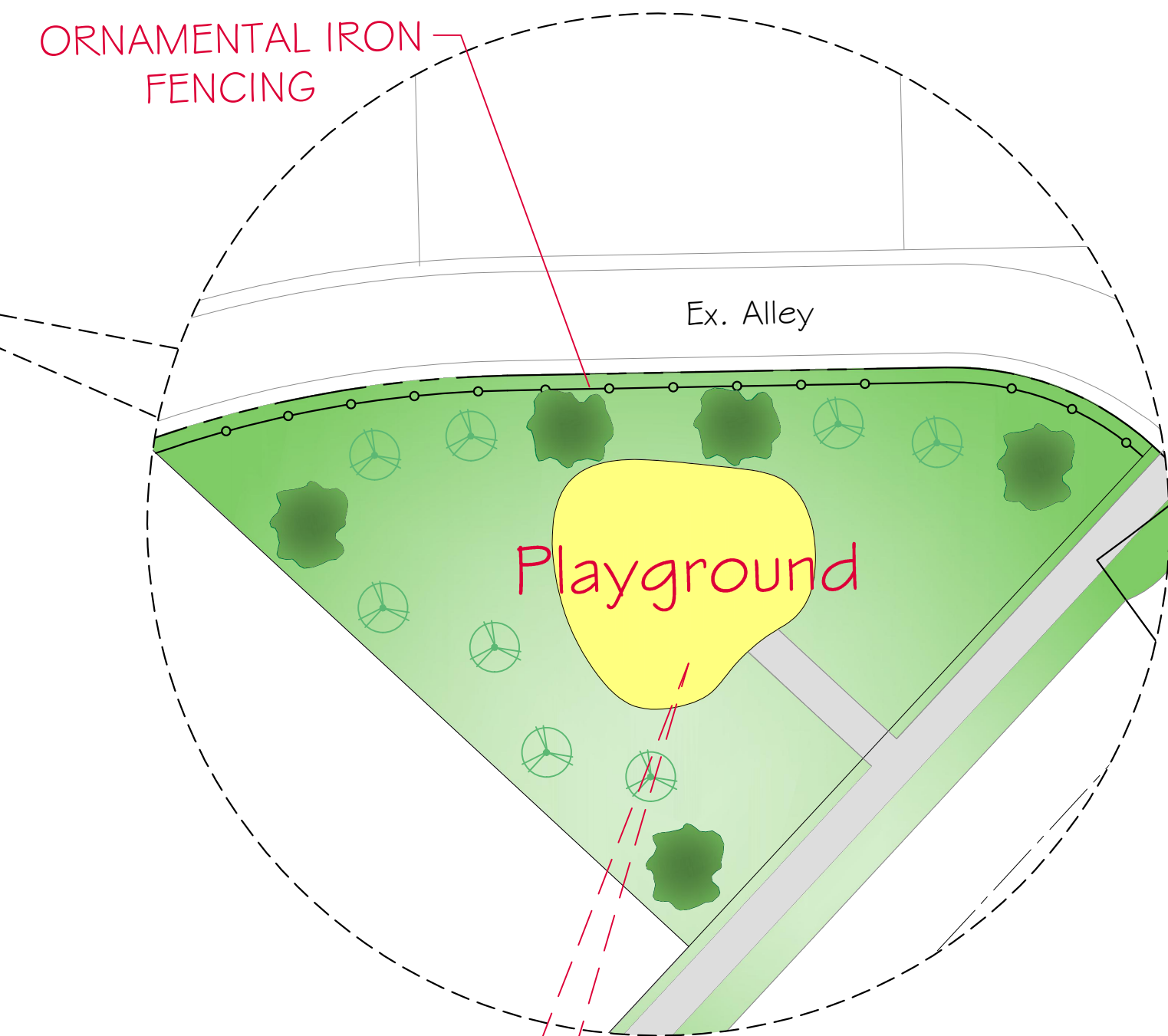
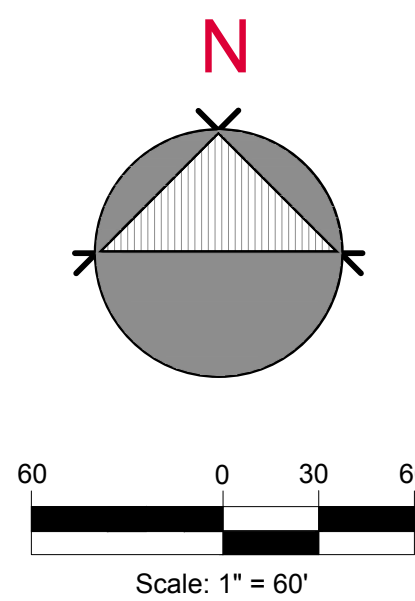
Landscape Exhibit

Rolling Meadows - Ph. 3

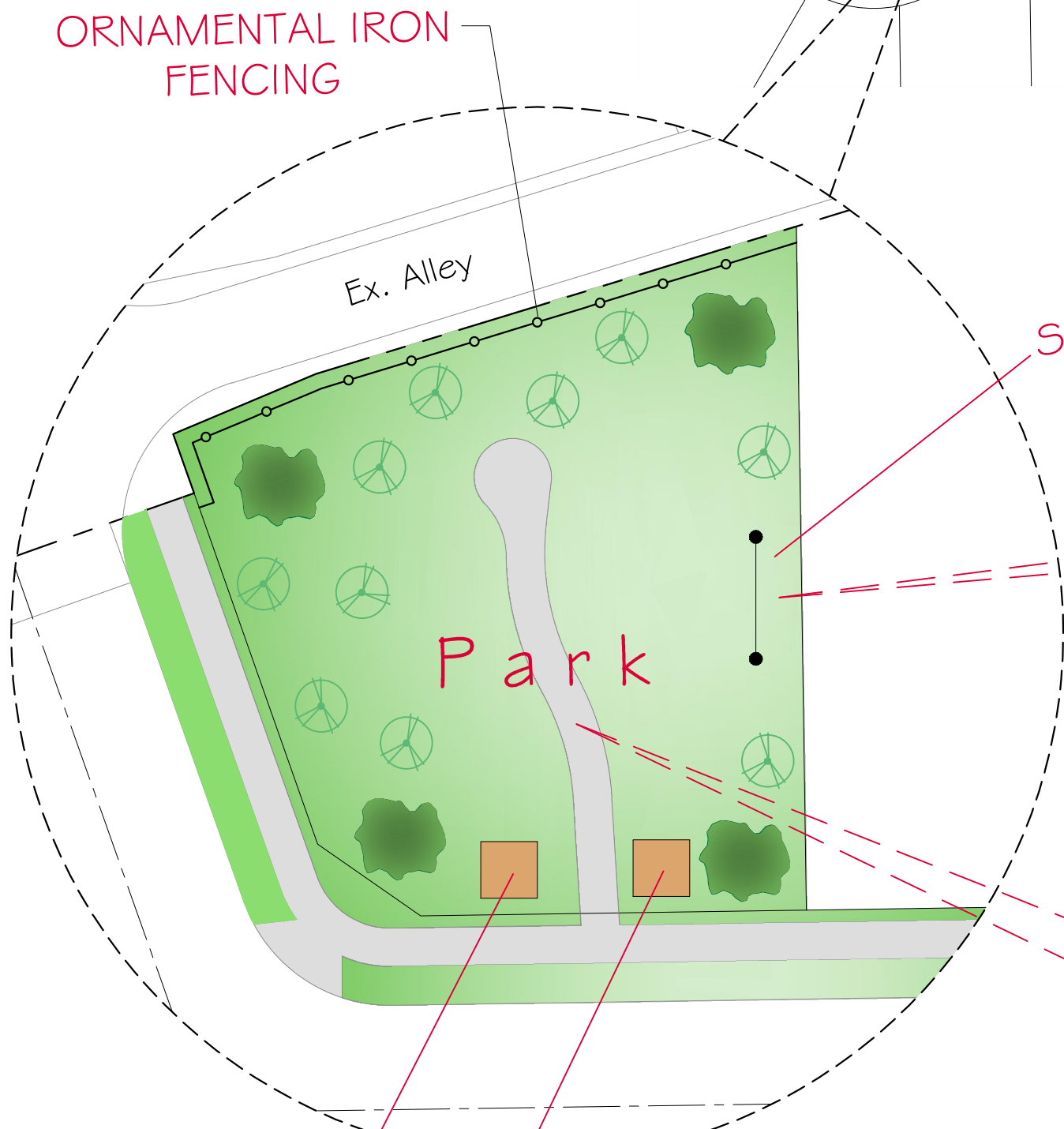
City of Lancaster, Dallas County, Texas

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 6750 Hillcrest Plaza Drive, S. 318
 Dallas, Texas 75230
 (972) 386-3333

Engineer:
CCM Engineering
 2570 FM 407, Suite 209
 Highland Village, Texas 75077
 Ph: 972.691.6633
 TBPE Firm #605



Lot 39X - To be Developed as a Park and Dedicated to the H.O.A.



SWING SET



Lot 40X - To be Developed as a Park and Dedicated to the H.O.A.

Open Space/Amenity Exhibit
Rolling Meadows - Ph. 3
City of Lancaster, Dallas County, Texas

Developer:
SPRING HAVEN INVESTMENTS, INC.
6750 Hillcrest Plaza Drive, S. 318
Dallas, Texas 75230
(972) 386-3333

Engineer:
CCM Engineering
2570 FM 407, Suite 209
Highland Village, Texas 75077
Ph: 972.691.6633
TBPE Firm #605

Rural Living

Character & Intent

Rural living is focused on areas of the community that has the ability to preserve a rural character. This includes estate residential type areas. The high-end character of this housing is primarily focused on serving the needs of executives with densities less than 2 dwelling units per acre.

Land Use Considerations

Primary Land Uses

Single-family detached homes

Secondary Land Uses

Civic & institutional uses, parks, open space

Precedent Photos



Suburban Neighborhood

Character & Intent

Suburban neighborhoods will continue to be the dominant place type in Lancaster providing a variety of residential products ranging from townhomes to single family detached. These neighborhoods would generally be formed as subdivisions with residential densities ranging from 2 to 8 dwelling units per acre..

Land Use Considerations

Primary Land Uses

Single-family detached homes, duplexes

Secondary Land Uses

Civic & institutional uses, parks

Precedent Photos



ORDINANCE NO. 36-86 / 47-75
PD NUMBER 26 BRR

AN ORDINANCE OF THE CITY OF LANCASTER, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF LANCASTER, AS HERETOFORE AMENDED, SO AS TO CHANGE THE FOLLOWING DESCRIBED TRACT OF LAND FROM SF-A, SF-2L-1 AND 2, SF-2, AND SF-1 (SINGLE FAMILY) TO PD-SF-2 (PLANNED DEVELOPMENT-SINGLE FAMILY) DISTRICT ZONING CLASSIFICATION; SAID TRACT OF LAND BEING DESCRIBED AS FOLLOWS: AS DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND MADE PART HEREOF; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED ONE THOUSAND DOLLARS (\$1,000.00); AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Planning Commission of the City of Lancaster in compliance with the laws of the State of Texas and the ordinances of the City of Lancaster, has given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally, and to all persons interested and situated in the affected area and in the vicinity thereof, and in the exercise of its legislative discretion, the City Council has concluded that the Comprehensive Zoning Ordinance should be amended;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Lancaster, Texas, as heretofore amended, be and the same is hereby amended by amending the Zoning Map of the City of Lancaster, to give the following described tract of land the following zoning classification, to-wit: That the area be and the same is hereby zoned as PD-SF-2 (Planned Development-Single Family) District Zoning Classification:

AS DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

and subject to the following special conditions:

- a. Approved Concept and Landscaping Plans shall be submitted and attached as Exhibits "B" and "C", respectively, to this ordinance.
- b. The following minimum lot and dwelling sizes are hereby established:

44.7 Acres: Lot size: 5000 square feet
Dwelling Size: 1400 Square feet

Average dwelling size: 1500 square feet

76.6 Acres: Lot size: 7200 square feet
 Dwelling Size: 1700 square feet

Average dwelling size: 1800 square feet

- c. It is hereby further established that the minimum house size along the east property line of Tract B shall be 1600 square feet.

SECTION 2. That all ordinances of the City of Lancaster in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other provisions of said ordinance not in conflict shall remain in full force and effect.

SECTION 3. That the above described tract of land shall be used only in the manner and for the purposes provided for by the Comprehensive Zoning Ordinance of the City of Lancaster, as heretofore amended, and as amended by the granting of this zoning classification.

SECTION 4. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Lancaster, heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of one thousand dollars (\$1,000.00) for each offense.

SECTION 5. This Ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance, as the law in such cases provides.

DULY PASSED by the City Council of the City of Lancaster, Texas, on the 16th day of June, 1986.

APPROVED:


MAYOR

ATTEST:

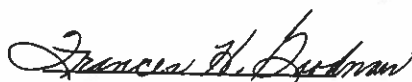

CITY SECRETARY

EXHIBIT "A"

ATTACHMENT TO ORDINANCE NO. 36-86

PROPERTY DESCRIPTION

BEING all of that certain lot, tract or parcel of land situated in the V. Wampler Survey, Abst. 1546, the J. M. Rawlins Survey, Abst. 1208 and the C. K. Sneed Survey, Abst. 1278, Dallas County Texas, and being all of that same tract of land described as Tract No. 11 in the deed from Joe Paul Bryant to HJH Joint Venture, recorded in Volume 83086, Page 3367 of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a $\frac{1}{2}$ " iron rod for corner at the present intersection of the east R.O.W. line of Cheshier Road (a 30' R.O.W.) with the north R.O.W. line of Belt Line Road (a variable width R.O.W. as described in Correction Right-of-Way Deed recorded in Volume 83085, Page 3089 of the Deed Records of Dallas County, Texas);

THENCE North 02 deg. 16. min. 00 sec. West, 45.00 feet with the east line of Cheshier Road to a $\frac{1}{2}$ " iron rod for corner;

THENCE South 87 deg. 44 min. 00 sec. West. 15.00 feet to a $\frac{1}{2}$ " iron rod for corner;

THENCE North 02 deg. 16 min. 00 sec. West, 991.23 feet with the east line of Cheshier Road to a 1" iron rod for an angle point;

THENCE North 01 deg. 25 min. 57 sec. West, 1360.86 feet with the east line of Cheshier Road to a $\frac{1}{2}$ " iron rod for angle point in the east line of the Billy F. Moffitt 12.90 acre of land;

THENCE North 08 deg. 39 min. 10 sec. East, 637.38 feet with the east line of the Moffitt tract to a $\frac{1}{2}$ " iron rod for angle point;

THENCE North 12 deg. 27 min. 45 sec. East, 802.69 feet with the east line of the Moffitt tract to a $\frac{1}{2}$ " iron rod for corner in the north line of the Wampler Survey; said point also being in the south line of a 100 feet TP&L Company R.O.W.;

THENCE North 88 deg. 58 min. 49 sec. East, 1260.95 feet with the north line of the Wampler Survey to a $\frac{1}{2}$ " iron rod at the northeast corner of same and in the west line of the J. M. Rawlins Survey;

THENCE South 00 deg. 41 min. 03 sec. East, 289.57 feet with the west line of the Rawlins Survey to a $\frac{1}{2}$ " iron rod at the northwest corner of the W. Rush 34.5 acre tract of land for angle point;

THENCE South 00 deg. 52 min. 15 sec. East, 3013.89 feet with the west line of the Rawlins Survey to a $\frac{1}{2}$ " iron rod for corner in the north line of Belt Line Road and on a curve to the left having a central angle of 09 deg. 40 min. 18 sec. and a radius of 1,550.00 feet;

THENCE around said curve and with the north line of Belt Line Road, a distance of 261.64 feet to a 1" iron rod for point of tangency;

THENCE South 69 deg. 40 min. 00 sec. West, 1319.58 feet with the north line of Belt Line Road to the PLACE OF BEGINNING and containing 5,285,242 square feet or 121.3324 acres of land.


ORDINANCE NO. 36-86

PD NUMBER 26

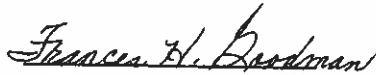
AN ORDINANCE OF THE CITY OF LANCASTER, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF LANCASTER, AS HERETOFORE AMENDED, SO AS TO CHANGE THE FOLLOWING DESCRIBED TRACT OF LAND FROM SF-A, SF-ZL-1 AND 2, SF-2, AND SF-1 (SINGLE FAMILY) TO PD-SF-2 (PLANNED DEVELOPMENT-SINGLE FAMILY) DISTRICT ZONING CLASSIFICATION; SAID TRACT OF LAND BEING DESCRIBED AS FOLLOWS: AS DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND MADE PART HEREOF; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED ONE THOUSAND DOLLARS (\$1,000.00); AND PROVIDING AN EFFECTIVE DATE.

DULY PASSED by the City Council of the City of Lancaster, Texas,
on the 16th day of June, 1986.

APPROVED:


MAYOR

ATTEST:


CITY SECRETARY

ORDINANCE NO. 44-95 PD 26

AN ORDINANCE OF THE CITY OF LANCASTER, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP OF THE CITY OF LANCASTER, AS HERETOFORE AMENDED, BY AMENDING THE DEVELOPMENT CRITERIA OF PLANNED DEVELOPMENT DISTRICT NO. 26 (PD-SF-2) ON THE PROPERTY DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF FOR ALL PURPOSES; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Lancaster and the City Council of the City of Lancaster, in compliance with the laws of the State of Texas with reference to the granting of zoning classification changes, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and the City Council of the City of Lancaster is of the opinion and finds that said zoning change should be granted and that the Comprehensive Zoning Ordinance and Map should be amended; NOW, THEREFORE,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Map of the City of Lancaster, Texas, as heretofore amended, be, and the same are hereby, amended by amending Section 1 of Ordinance No. 36-86 and Planned Development District No. 26 (PD-SF-2) so as to add subsection d as follows:

" . . .

d. Development criteria for 44.7 acres:

1. Not more than two dwelling units in the range of 1,400 square feet to 1,450 square feet may be contiguous;
2. No dwelling size in the range of 1,400 square feet to 1,450 square feet may be constructed on Lots 1 and 2 of Block 8, Lots 1 through 4 of Block 7, Lots 1 through 4 of Block 1, Lots 15 through 17 of Block 2; nor on any other corner lot;

3. The front yard building line be established at twenty (20) feet for not more than 50% of the lots;
4. Landscaping for each dwelling unit shall consist of the following:
 - a) Either a sodded or hydromulched front yard,
 - b) Two trees a minimum of six (6) feet in height and have a two-inch caliper as measured twelve (12) inches from the ground with a variety of medium to hardwood trees dispersed throughout the subdivision,
 - c) Twelve (12) one gallon and four (4) three gallon shrubs or hedges in flower beds adjacent to the front of the structure,
 - d) A six (6) foot wood privacy fence enclosing the rear yard.
5. The exterior wall construction of all dwelling units be a minimum of 80% masonry for all single story units and a minimum of 70% masonry for all two story units."

SECTION 2. That such development criteria shall apply to the property within Planned Development District No. 26 which is described in Exhibit "A" attached hereto and made a part hereof for all purposes. That the above described property shall be used only in the manner and for the purposes provided for by the Comprehensive Zoning Ordinance of the City of Lancaster, as amended hereby, and as otherwise provided in Ordinance 36-86 to the extent not amended hereby.

SECTION 3. All ordinances of the City of Lancaster in conflict with the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, are hereby repealed, and all other ordinances of the city not in conflict with the provisions hereof shall remain in full force and effect.

SECTION 4. If any article, paragraph, subdivision, clause or provision of this ordinance or the Comprehensive Zoning Ordinance, as hereby amended, be adjudged invalid or held unconstitutional for any reason, such judgment or holding shall not affect the validity of this


ordinance as a whole or any part or provision thereof, or of the Comprehensive Zoning Ordinance, as amended hereby, other than the part so declared to be invalid or unconstitutional.

SECTION 5. Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance of the City of Lancaster, Texas, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the municipal court of the City of Lancaster, Texas, shall be subject to a fine not to exceed the sum of Two Thousand (\$2,000.00) Dollars for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. This ordinance shall take effect immediately from and after its passage and the publication of the caption as the law and charter in such cases provide.

DULY PASSED by the City Council of the City of Lancaster, Texas, on the 11th day of September, 1995.

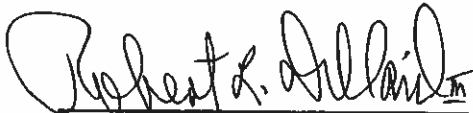
APPROVED:


MAYOR

ATTEST:


CITY SECRETARY

APPROVED AS TO FORM:


CITY ATTORNEY
(RLD/ckh 7-27-95)

AGG074SD

EXHIBIT "A"

Lots 1 through 77, Blk 1; Lots 1 through 33, Blk 2; Lots 1 through 27, Blk 3; Lots 1 through 30, Blk 4; Lots 1 through 32, Blk 5; Lots 1 through 29, Blk 6; Lots 1 through 15, Blk 7; Lots 1 through 2, Blk 8, Moffit Creek Estates, Phase One, Part of V. Wampler Survey, Abstract No. 1546, Containing approximately 44.375 acres of land.

ORDINANCE # 44-95

ORDINANCE NO. 44-95

AN ORDINANCE OF THE CITY OF LANCASTER, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP OF THE CITY OF LANCASTER, AS HERETOFORE AMENDED, BY AMENDING THE DEVELOPMENT CRITERIA OF PLANNED DEVELOPMENT DISTRICT NO. 26 (PD-SF-2) ON THE PROPERTY DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF FOR ALL PURPOSES; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

DULY PASSED by the City Council of the City of Lancaster, Texas, on the 11th day of September, 1995.

APPROVED:

Margie Chalkey
MAYOR

ATTEST:

Jackie Denman
CITY SECRETARY



CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 12/20/2018

NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26.

☐ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☒ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

The deciding factor in purchasing my house, was the beautiful open field behind my house & no neighbors behind me.

SIGNATURE:

Janice Odeh

ADDRESS:

136 Palm Drive

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The Planning and Zoning Commission will hold a public hearing and take action on the above case at their meeting on **Tuesday, January 8, 2019 at 7:00 pm.** The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, January 28, 2019 at 7:00 pm.** Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Planning Division by 5 p.m. on **Friday, December 28, 2018** for your comments to be recorded for the Planning and Zoning Commission's meeting. Responses received after that time will be forwarded to the Commission at the public hearing.

If you have any questions concerning this request, please contact the Planning Division
Phone 972-218-1315
FAX 972-275-1862

RETURN BY FAX OR MAIL

City of Lancaster
Planning Division
211 N Henry St
Lancaster, TX 75146-0940

72 Notices were mailed on 12/20/2018

P.O. Box 940 | Lancaster | Texas | 75146 | 972.218.1300 | www.lancaster-tx.com





CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 12/20/2018

NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26.

☐ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☒ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

Too close to Elementary school + afraid of lowering my home value

SIGNATURE:

ADDRESS:

702 Bermuda Ave, Lancaster, TX

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The Planning and Zoning Commission will hold a public hearing and take action on the above case at their meeting on **Tuesday, January 8, 2019 at 7:00 pm**. The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, January 28, 2019 at 7:00 pm**. Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

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CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 12/20/2018

NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26.

☐ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☒ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: *Property value decrease, traffic, congestion*

SIGNATURE: *[Signature]*

ADDRESS: *2813 Coral Dr. Lancaster, TX 75146*

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The Planning and Zoning Commission will hold a public hearing and take action on the above case at their meeting on **Tuesday, January 8, 2019 at 7:00 pm**. The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, January 28, 2019 at 7:00 pm**. Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Planning Division by 5 p.m. on **Friday, December 28, 2018** for your comments to be recorded for the Planning and Zoning Commission's meeting. Responses received after that time will be forwarded to the Commission at the public hearing.

If you have any questions concerning this request, please contact the Planning Division
Phone 972-218-1315
FAX 972-275-1862

RETURN BY FAX OR MAIL
City of Lancaster
Planning Division
211 N Henry St
Lancaster, TX 75146-0940

72 Notices were mailed on 12/20/2018

P.O. Box 940 | Lancaster | Texas | 75146 | 972.218.1300 | www.lancaster-tx.com





CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 1/24/2019

NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider an amendment to an existing Planned Development District No. 26 (PD-26) originally approved in 1986 in order to allow certain modifications to the design criteria for Phase 3 of the Rolling Meadows subdivision. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment to allow certain exceptions for PD-26.

☐ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☒ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: *A better explanation of the issue & request would help*

SIGNATURE: *[Handwritten Signature]*

ADDRESS: *2813 Coral Dr. Lancaster, TX 75146*

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, February 25, 2019 at 7:00 pm**. Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Planning Division by 5 p.m. on **Monday, February 4, 2019** for your comments to be recorded for the Planning and Zoning Commission's meeting. Responses received after that time will be forwarded to the Commission at the public hearing.

If you have any questions concerning this request, please contact the Planning Division
Phone 972-218-1315
FAX 972-218-3616

RETURN BY FAX OR MAIL
City of Lancaster
Planning Division
211 N Henry St
Lancaster, TX 75146-0940

72 Notices were mailed on 1/24/2019

P.O. Box 940 | Lancaster | Texas | 75146 | 972.218.1300 | www.lancaster-tx.com





CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 12/20/2018

NOTICE OF PUBLIC HEARING

*PARTNER 34 ACRES
EAST of ROLLING MEADOWS*

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26.

☒ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☐ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: *This Area needs some more Single Family*

SIGNATURE: *M. [Signature]* 214-924-2089

ADDRESS: *1301 N. Houston School Road*

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The Planning and Zoning Commission will hold a public hearing and take action on the above case at their meeting on **Tuesday, January 8, 2019 at 7:00 pm.** The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, January 28, 2019 at 7:00 pm.** Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

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If you have any questions concerning this request, please contact the Planning Division
Phone 972-218-1315
FAX 972-275-1862

ASK for TERRY CAPEHART

RETURN BY FAX OR MAIL

City of Lancaster
Planning Division
211 N Henry St
Lancaster, TX 75146-0940

72 Notices were mailed on 12/20/2018

P.O. Box 940 | Lancaster | Texas | 75146 | 972.218.1300 | www.lancaster-tx.com



*TERRY CAPEHART
E-MAIL
TCAPEHART@LANCASTER-TX.COM*



CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 12/20/2018

NOTICE OF PUBLIC HEARING

OWNER - 34 ACS.
EAST of Rolling Meadows

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26.

☒ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☐ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: We need some new growth in the area.

SIGNATURE: Brian Potahik 214-415-1924

ADDRESS: 1301 W. Houston School Rd

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The Planning and Zoning Commission will hold a public hearing and take action on the above case at their meeting on **Tuesday, January 8, 2019 at 7:00 pm.** The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, January 28, 2019 at 7:00 pm.** Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

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If you have any questions concerning this request, please contact the Planning Division
Phone 972-218-1315
FAX 972-275-1862

ASK FOR TERRY CAPEHART

RETURN BY FAX OR MAIL

City of Lancaster
Planning Division
211 N Henry St
Lancaster, TX 75146-0940

72 Notices were mailed on 12/20/2018

P.O. Box 940 | Lancaster | Texas | 75146 | 972.218.1300 | www.lancaster-tx.com



ATTN: TERRY CAPEHART
E-MAIL (TCAPEHART@LANCASTER-TX.COM)



CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department
Date: 12/20/2018

NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-03:** to conduct a public hearing and consider a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26. The property is located north of Belt Line Road and east of Rolling Hills Place and is approximately 21.14 acres in size. The property is more particularly described as property located in the Valentine Wampler Survey, Abstract No. 1546, G.K. Sneed Survey, Abstract No. 1278 and J.M. Rawlins Survey, Abstract No. 1208 in the City of Lancaster, Dallas County, Texas.

LOCATION: The property is located north of Belt Line Road and east of Rolling Hills Place.

EXPLANATION OF REQUEST: The applicant is requesting a planned development (PD) amendment from PD-Single Family-2 (PD-SF-2) to PD-Single Family-6 (PD-SF-6) to allow certain exceptions for PD-26.

☒ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☐ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

This area needs denser development to attract more businesses, traffic.

SIGNATURE: *Manju Menon (Ms. Manju Menon) for Lancaster 12 Dev. LLC.*

ADDRESS: *1101 N. Houston School Rd.*

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The Planning and Zoning Commission will hold a public hearing and take action on the above case at their meeting on **Tuesday, January 8, 2019 at 7:00 pm.** The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, January 28, 2019 at 7:00 pm.** Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Planning Division by 5 p.m. on **Friday, December 28, 2018** for your comments to be recorded for the Planning and Zoning Commission's meeting. Responses received after that time will be forwarded to the Commission at the public hearing.

If you have any questions concerning this request, please contact the Planning Division
Phone 972-218-1315
FAX 972-275-1862

RETURN BY FAX OR MAIL
City of Lancaster
Planning Division
211 N Henry St
Lancaster, TX 75146-0940

72 Notices were mailed on 12/20/2018

P.O. Box 940 | Lancaster | Texas | 75146 | 972.218.1300 | www.lancaster-tx.com



MINUTES

PLANNING & ZONING COMMISSION REGULAR MEETING OF MARCH 5, 2019

The Planning and Zoning Commission of the City of Lancaster, Texas, met in a Regular Session in the Council Chambers of City Hall on March 5, 2019 at 7:00 p.m. with a quorum present to-wit:

Commissioners Present:

Jeremy Reed, Acting Chair
Ty G. Jones
Ernest Casey

City Staff:

Terry Capehart, Director of Development Services
Bester Munyaradzi, Senior Planner
Emma Chetuya, Planner
Terry Welch, Attorney

Call to order:

Acting Chair Reed called the meeting to order at 7:01 p.m. on March 5, 2019.

CONSENT AGENDA:

Acting Chair Reed read the consent agenda.

1. **Consider approval of minutes from the Planning and Zoning Commission Regular Meeting held on February 5, 2019.**
2. **PS19-04 Discuss and consider a request for approval of a preliminary plat for Pleasant Run Estates Phase 1B, being 114 residential lots and one (1) open space lot on approximately 29.07 acres generally located 1,350 feet north of West Pleasant Run Road, west of Chapman Drive, 1,300 feet south of West Wintergreen Road and 1,600 feet east of North Houston School Road. The property is described as a tract of land that is situated in the William Fliming Survey, Abstract No. 466 in the City of Lancaster, Dallas County, Texas.**
3. **PS19-06 Discuss and consider a final plat approval for Lincoln Estates Addition Lots 1-6, Block 1 being 5.9 acres of land located on the north west corner of Houston School Road and Bear Creek Road and is more particularly described as being a tract of land that is situated in the Charles Bernard Survey, Abstract No. 128, City of Lancaster, Dallas County, Texas.**
4. **HLPC19-01 Discuss and consider a Certificate of Appropriateness to replace siding, replace and restore windows, install a new porch and restore doors on the property located at 206 E. Pecan Street, Lancaster, Dallas County, Texas.**

MOTION: Commissioner made a motion, seconded by Commissioner Casey to approve consent items 1-3 with additional questions for item 4. The vote was cast 4 for, 0 against.

ACTION:

5. **Discuss and consider Election of a Chair and Vice-Chair to the Planning and Zoning Commission.**
6. **Discuss and consider Annual Appointments to the City of Lancaster Historic Landmark Preservation Committee.**

ATTEST:

Bester Munyaradzi, Senior Planner

APPROVED:

Jeremy Reed, Acting Chair

DRAFT

LANCASTER CITY COUNCIL

City Council Regular Meeting

6.

Meeting Date: 06/10/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Healthy, Safe & Engaged Community
Quality Development

Submitted by: Bester Munyaradzi, Senior Planner

Agenda Caption:

Z19-07 Conduct a public hearing and consider an ordinance changing zoning from Agricultural Open (AO) to SF-4 Single Family Residential. The property is located north of East Reindeer Road and east of Dasher Drive and is addressed as 3223 Prancer Street. It is further described as Lot 8, Block 2 in Abstract 1554 Survey Money Weatherford, Lancaster, Dallas County, Texas.

Background:

1. **Location and Size:** The property is addressed as 3223 Prancer Street and is approximately .63 acre in size.
2. **Current Zoning:** The subject property is currently zoned Agricultural Open (A-O).
3. **Adjacent Properties:**
North: A-O - Agricultural Open (occupied)
South: A-O - Agricultural Open (occupied)
East: A-O - Agricultural Open (occupied)
West: A-O - Agricultural Open (occupied)
4. **Comprehensive Plan Compatibility:** The 2002 Comprehensive Plan identifies this site as suitable for residential uses. The proposed use is consistent with the Comprehensive Plan. The 2002 Comprehensive Plan is being referenced because Chapter 3 of the 2016 Comprehensive Plan specifically notes that "The Preferred Scenario" for future land use remains unchanged in most areas of the City where stable and sustainable land uses exist."

5. **Case History:**

Date	Body	Action
11/14/2011	CC	Property annexed into City of Lancaster limits
02/05/2019	P&Z	Z19-07 Recommended approval of the zoning change request from A-O to SF-4

Operational Considerations:

This is a request to rezone the subject property from AO to SF-4 for the development of a single family home on a .63 acre lot. The current zoning only allows for agricultural uses and a single family dwelling on five (5) acres or more. The proposed zoning change would allow up to 4 dwelling units per acre. This property was annexed into the City corporate limits in November 2011. It was required that the annexation areas be zoned to Agricultural Open when incorporated into the City limits. As development and uses change the annexed area will be rezoned in accordance with the Lancaster Future Land Use Map.

Consistency with the Comprehensive Plan:

The Comprehensive Plan Future Land Use Map designates this area as Suburban Neighborhood. Suburban Neighborhood is envisioned to have place types which focus on creating a variety of residential products. Primary land uses for Suburban Neighborhood includes single-family detached homes and duplexes. Secondary uses include civic and institutional uses and parks. The zoning change request is therefore consistent with the Comprehensive Plan shown on the attached Comprehensive Plan excerpt.

Potential Impact on Adjacent Development:

Properties to the north, south, east and west are all occupied and zoned A-O. This property serves as an ideal location for a single family home as it is surrounded by property with built homes. If zoning is approved by City Council, the proposed SF-4 development will be subject to the Lancaster Development Code, Subdivision Regulations and all other relevant City Codes.

Availability of utilities and access:

The City does not have any water or sewer lines in this area. Rockett Special Utility District (RSUD) provides water and a septic tank will have to be used for sewer services. Inspection and approval of the septic systems are contracted through Dallas County Health and Human Services.

Site conditions such as vegetation, topography and flood plain:

The subject property is currently undeveloped. Upon construction of this site, factors such as vegetation, topography and flood plain issues will be addressed through the civil review process.

Timing of Development as it relates to the Capital Improvement Plan (CIP):

There are no capital improvements planned for the area and no rights-of-way (ROW) dedication is needed per the City's Master Thoroughfare Plan.

Based upon an analysis of the five (5) criteria that must be taken into consideration when reviewing a change in zoning application, the proposed change request will integrate appropriately as the area is envisioned for single-family home development and is consistent with the Comprehensive Plan.

Public Information Considerations:

This is a zoning change request and in accordance with Texas Local Government Code, Section 211, zoning change requests must be noticed 10 days before the hearing. On April 19, 2019 a notice for this public hearing appeared in the Focus Daily Newspaper. 13 notifications of this public hearing were mailed to owners that are within 200 feet of the subject property. There were two (2) letters received in support and two (2) letters received in opposition of this request.

Recommendation:

On May 7, 2019 the Planning and Zoning Commission recommended approval of the request, as presented.

Staff concurs with the Planning and Zoning Commission's recommendation.

Attachments

Ordinance

Location Map

Zoning Exhibit

2002 Future Land Use Map

2016 Future Land Use Map

Annexation Ordinance 2011-11-36

P&Z staff report with attachments (5/7/19)

P&Z Draft Minutes (5/7/219)

Letters in Support (2)

Letters in Opposition (2)

ORDINANCE NO.

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS, CHANGING THE ZONING DESIGNATION ON APPROXIMATELY .63 ACRE OF LAND GENERALLY LOCATED NORTH OF EAST REINDEER ROAD AND EAST OF DASHER DRIVE AND ADDRESSED AS 3223 PRANCER STREET FROM A-O, AGRICULTURAL-OPEN DISTRICT, TO SF-4 (SINGLE FAMILY RESIDENTIAL DISTRICT); PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE: PROVIDING A PENALTY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the City Council, in accordance with the City's Code of Ordinances, state law and all other applicable ordinances of the City, have given the required notices and have held the required public hearings regarding the amendment of the City's zoning laws by changing the zoning on the property referenced in the exhibit attached hereto as Exhibit A, incorporated by reference ("the Property"); and

WHEREAS, all legal requirements, conditions and prerequisites have been complied with prior to the case coming before the City Council for the City of Lancaster, including all mandated public notices and public hearings; and

WHEREAS, the City Council, after determining that all legal requirements of notice and hearing have been met, has determined that the following amendment would provide for and would be in the best interest of the health, safety, morals and general welfare of the City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. All of the above premises are hereby found to be true and correct and are hereby approved and incorporated into the body of this Ordinance as if copied in their entirety.

SECTION 2. From and after the effective date of this Ordinance, regarding the Zoning Case No. Z19-07, the zoning on the Property is hereby changed from A-O, (Agricultural-Open District), to SF-4, (Single Family Residential District), as more particularly described in Exhibit A, "Zoning Exhibit," attached hereto and made a part hereof for all purposes. The City's Zoning Map shall be amended to reflect the zoning amendment referenced herein.

SECTION 3. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. The City Council hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

SECTION 4. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the repeal prevent a prosecution from being commenced for any violation if occurring prior to the repeal of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 5. Any person, firm, corporation or business entity violating this Ordinance shall be deemed guilty of a misdemeanor, and upon conviction thereof shall be subject to a fine not to exceed \$2,000.00, and each day that such violation shall continue shall be considered a separate offense. These penal provisions shall not prevent an action on behalf of the City of Lancaster to enjoin any violation or threatened violation of the terms of this Ordinance, or an action for mandatory injunction to remove any previous violation hereof.

SECTION 6. This Ordinance shall become effective from and after its passage and publication.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 10th, day of June, 2019.

ATTEST:

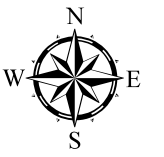
APPROVED:

Sorangel O. Arenas, City Secretary

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

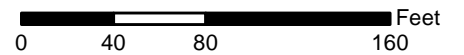
David T. Ritter, City Attorney

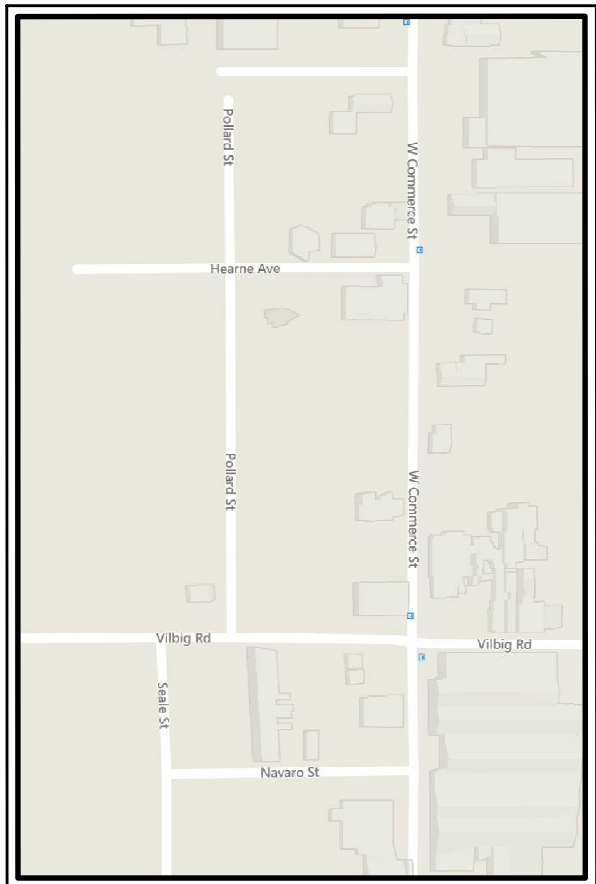


City of Lancaster
3223 Prancer St



- ✚ Fire Hydrants
- Storm Sewer Lines
- Sewer Lines
- Water Lines
- ▭ Parcels
- FEMA 100yr Floodplain





LEGEND

- IRF IRON ROD FOUND
- C.M. CONTROLLING MONUMENT
- UE UTILITY EASEMENT
- DE DRAINAGE EASEMENT

OWNER:
PREFERRED INNOVATIONS LLC
280 BROOKBEND
WAXAHACHIE, TEXAS

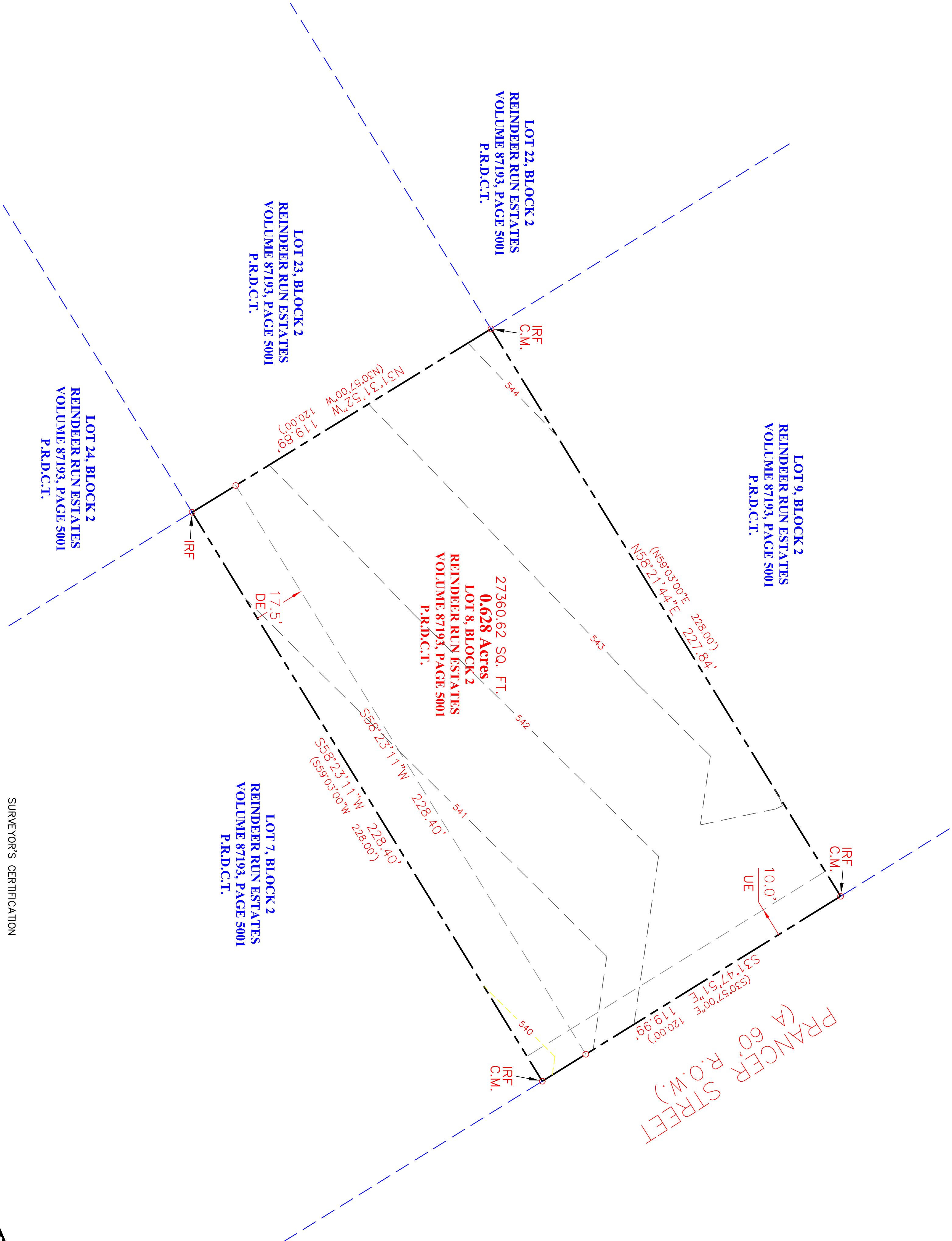
OWNER'S CERTIFICATE
STATE OF TEXAS:
COUNTY OF DALLAS:
CITY OF LANCASTER:

WHEREAS, PREFERRED INNOVATIONS LLC, ARE THE OWNER OF A 0.628 ACRE TRACT OF LAND, DESCRIBED AS LOT 8, BLOCK 2, REINDEER RUN ESTATES, AN ADDITION TO THE CITY OF LANCASTER, DALLAS COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 87193, PAGE 5001, DEED RECORDS, DALLAS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

- SURVEYOR'S NOTES:
1. ALL BEARINGS SHOWN HEREON ARE CORRELATED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NAD83 (CORS 96). ALL ELEVATIONS ARE CORRELATED TO NAVD 88.
 2. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COPY OF A COMMITMENT FOR TITLE INSURANCE.
 3. THE SURVEY PERFORMED ON THE GROUND OF THE SUBJECT PROPERTY AND THE PREPARATION OF A DEPICTION OF THE RESULTS THEREOF ON THIS SURVEY EXHIBIT WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE EASEMENTS OR OTHER MATTERS THAT COULD EXIST AND ARE NOT SHOWN.
 4. () DENOTES RECORD DATA.
 5. CURRENT ZONING PER CITY OF LANCASTER ZONING MAP IS A-O, AGRICULTURAL OPEN, PROPOSED ZONING IS SF-4, SINGLE FAMILY RESIDENTIAL.

THIS SURVEY EXHIBIT WAS PREPARED FROM A SURVEY PERFORMED ON THE GROUND UNDER THE SUPERVISION OF SHELBY J. HOFFMAN, R.P.L.S. NO. 6084, ON DECEMBER 4, 2018 AND SHOWS THE EXISTING CONDITIONS OBSERVED AT THE TIME OF THE SURVEY.

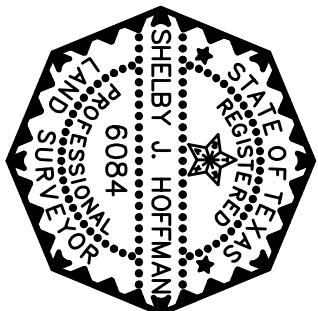
"APPROVAL OF THE ZONING CASE ASSOCIATED WITH THIS EXHIBIT SHALL NOT IMPLY APPROVAL OF ANY ASSOCIATED STUDY, PLAT OR PLAN, APPROVAL OF DEVELOPMENT STANDARDS SHOWN HEREON, OR THE INITIATION OF THE DEVELOPMENT PROCESS. PLANNING & ZONING COMMISSION AND/OR CITY COUNCIL ACTION ON STUDIES, PLATS, OR PLANS RELATING TO DEVELOPMENT OF THIS PROPERTY SHALL BE CONSIDERED AS AN ACTION SEPARATE FROM ACTION TAKEN ON THIS ZONING CASE."



SURVEYOR'S CERTIFICATION
THAT I, SHELBY J. HOFFMAN, DO CERTIFY THAT I PREPARED THIS ZONING EXHIBIT FROM AN ACTUAL ON THE GROUND SURVEY OF THE LAND AS DESCRIBED.

SJ Hoffman REVISED 1/23/2019

REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6084



ZONING CASE NO.: Z19-07

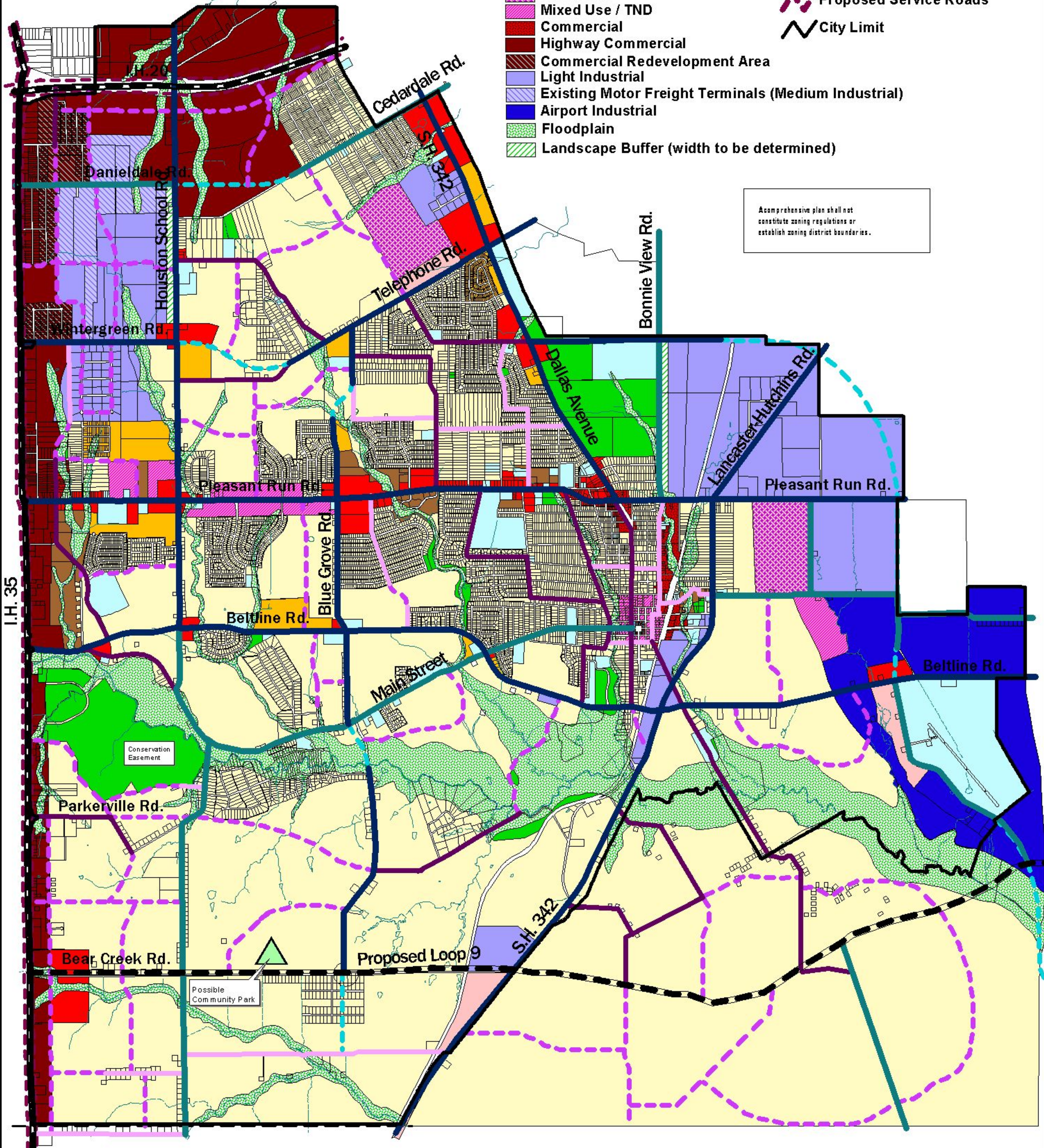
ZONING EXHIBIT
REINDEER RUN ESTATES,
LOT 8, BLOCK 2,
BEING A 0.628 ACRE TRACT OF LAND IN THE MONY
WEATHERFORD SURVEY, ABSTRACT NO.1554,
DALLAS COUNTY, TEXAS, RECORDED IN VOLUME
87193, PAGE 5001, DALLAS COUNTY, TEXAS

GEOMATICS SOLUTIONS, INC.
3000 S. HULEN, SUITE 124-236, FORT WORTH, TEXAS
OFFICE: 817-487-8916
TBPLS FIRM NO. 10184400, SHELBY@GSIISURVEY.COM
Scale: 1"=20' Date: 12/7/18 DWG: 2018707-ZONING
Drawn: OF Checked: SJH Job: 2018-707

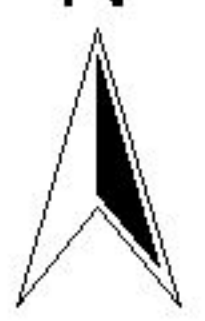
Legend

- | | | | |
|--|--|--|---------------------------|
| | Low Density Residential | | Major Thoroughfares |
| | Medium Density Residential | | Type A+Freeways |
| | High Density Residential | | Type B+Major Arterial |
| | Public & Semi-Public | | Type B-Minor Arterial |
| | Parks & Open Spaces | | Type B Proposed Arterial |
| | Office | | Type C+Major Collector |
| | Retail | | Type C-Minor Collector |
| | Historic Town Square | | Type C Proposed Collector |
| | Mixed Use | | Proposed Service Roads |
| | Mixed Use / TND | | City Limit |
| | Commercial | | |
| | Highway Commercial | | |
| | Commercial Redevelopment Area | | |
| | Light Industrial | | |
| | Existing Motor Freight Terminals (Medium Industrial) | | |
| | Airport Industrial | | |
| | Floodplain | | |
| | Landscape Buffer (width to be determined) | | |

A comprehensive plan shall not constitute zoning regulations or establish zoning district boundaries.



N

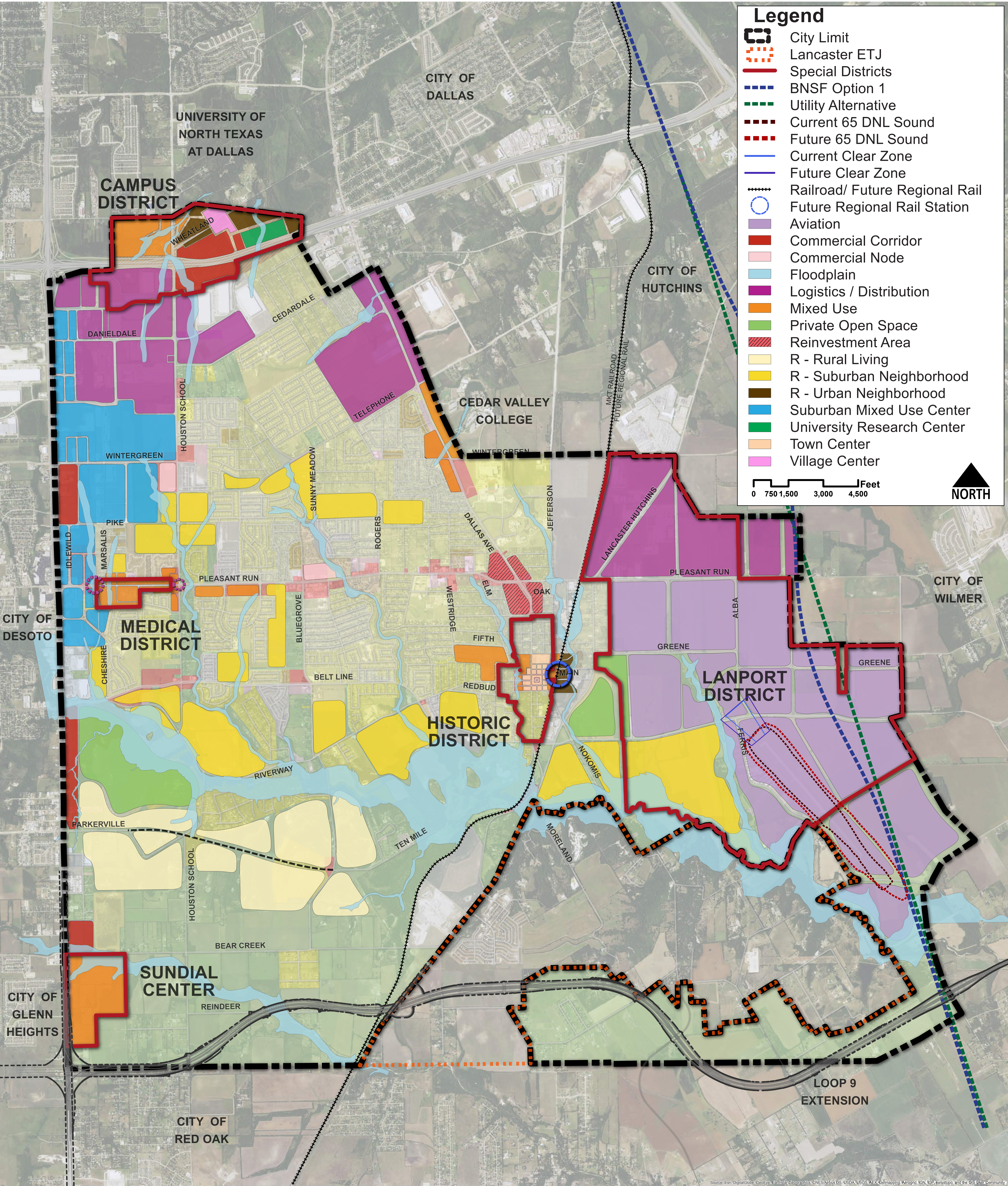


Dunkin Sefko & Associates, Inc.
Urban Planning Consultants
Adopted February 25, 2002

2000 0 2000 4000 6000 Feet

PLATE 7-1 Future Land Use Plan City of Lancaster, Texas

Preferred Scenario





City of Lancaster
OFFICE OF THE CITY SECRETARY

211 N. Henry Street * Lancaster, TX 75146 * 972.218.1112 * 972.227.4032 FAX
www.ci.lancaster.tx.us




CITY OF LANCASTER

CERTIFICATE OF CITY SECRETARY

STATE OF TEXAS
COUNTY OF DALLAS
CITY OF LANCASTER

I, the undersigned, Dolle K. Downe, City Secretary of the City of Lancaster, Texas, a municipal corporation, in the performance of the functions of my office, hereby certify that the attached ordinance is a full, true, and correct copy of Ordinance No. 2011-11-36 as adopted by the City Council of the City of Lancaster, Texas on November 14, 2011, and said action recorded in the Minutes of the City Council, Volume X. I am the lawful possessor and have legal custody of said record.

WITNESS MY HAND AND SEAL OF OFFICE in Lancaster, Texas, this 21st day of November, 2011, A. D.


Dolle K. Downe, TRMC
City Secretary
City of Lancaster, Texas

Seal



ORDINANCE NO. 2011-11-36

AN ORDINANCE OF THE CITY OF LANCASTER, ANNEXING THE HEREAFTER DESCRIBED TRACT OF LAND, BEING 2.9 SQUARE MILES OF LAND BEING MORE PARTICULARLY DESCRIBED AND DEPICTED IN EXHIBIT A, WHICH IS ATTACHED HERETO AND INCORPORATED HEREIN, LOCATED IN THE CITY OF LANCASTER EXTRATERRITORIAL JURISDICTION TO THE CITY OF LANCASTER, TEXAS, AND EXTENDING THE BOUNDARY LIMITS OF THE CITY SO AS TO INCLUDE SAID PROPERTY WITHIN THE CITY LIMITS AND GRANTING TO ALL INHABITANTS AND OWNERS OF SAID PROPERTY ALL OF THE RIGHTS AND PRIVILEGES OF OTHER CITIZENS AND BINDING ALL INHABITANTS BY ALL THE ORDINANCES, ACTS, RESOLUTIONS AND REGULATIONS OF SAID CITY; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR THE EFFECTIVE DATE OF SAID ORDINANCE.

WHEREAS, the City has taken an inventory of the services with the are sought to be annexed according to the adoption of an annexation plan by resolution 2008-11-48; and

WHEREAS, the City desires to annex certain property set forth in Exhibit "A" which is attached hereto and incorporated herein and that said property is the maximum territory permitted under state law which includes a portion of the extraterritorial area covered by the annexation plan; and,

WHEREAS, the City has held public hearings on inventory of services and proposed service plan at duly convened meetings of the City Council; and

WHEREAS, Dallas County has by court order appointed five (5) owners, or their representative, within the area sought to be annexed, such persons being Melissa Adams, Lynnette Taft, Clyde Hargrove, Cheryl Williams and Winn Morton; and

WHEREAS, the committee has met with representatives of the City to discuss proposed service plan; and

WHEREAS, the City Council finds that the annexation Service Plan which is attached hereto and incorporated herein by reference as Exhibit "B" provides equal services then to other residents within the City in accordance with state law; and

WHEREAS, the City Council, at a duly convened meeting, has considered the adoption of such Resolution and the attached Service Plan.

WHEREAS, the City Council of the City of Lancaster has, after notice was duly published, conducted public hearings in strict compliance with Chapter 43, TEXAS LOCAL GOVERNMENT CODE; and,

WHEREAS, the following described land is adjoining the present City limits of the City of Lancaster and is within its exclusive extraterritorial jurisdiction, and the members of the City Council of the City of Lancaster have concluded that said area should be annexed and made a part of the City of Lancaster, Texas;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the hereafter described tract of land, being approximately 2.9 square miles of land being more particularly described and depicted in Exhibit A, which is attached hereto and incorporated herein, is hereby annexed to include the said tract of land within the City limits of the City of Lancaster, Texas, and the same shall hereafter be included within the territorial limits of the said City, and the inhabitants thereof shall hereafter be entitled to all rights and privileges of other citizens of the City and shall be bound by the ordinances, acts, resolutions and regulations of said City of Lancaster, Texas.

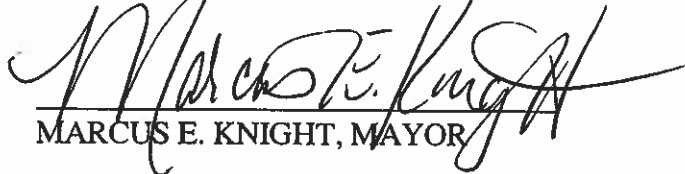
SECTION 2. That it is not the intention of the City of Lancaster to annex any territory not legally subject to being annexed by the City, and should any portion of the above-described area not be subject to legal annexation by the City of Lancaster, such fact shall not prevent the City from annexing such territory which is subject to legal annexation by the City, and it is the intention of the City of Lancaster to annex only such territory as may be legally annexed by it within the above described area.

SECTION 3. That the annexation service plan required by Chapter 43 of the TEXAS LOCAL GOVERNMENT CODE is approved and attached hereto as Exhibit B.

SECTION 4. That this ordinance shall take effect immediately from and after its passage.

DULY PASSED by the City Council of the City of Lancaster, Texas, on the 14th day of November 2011.

APPROVED:


MARCUS E. KNIGHT, MAYOR

ATTEST:

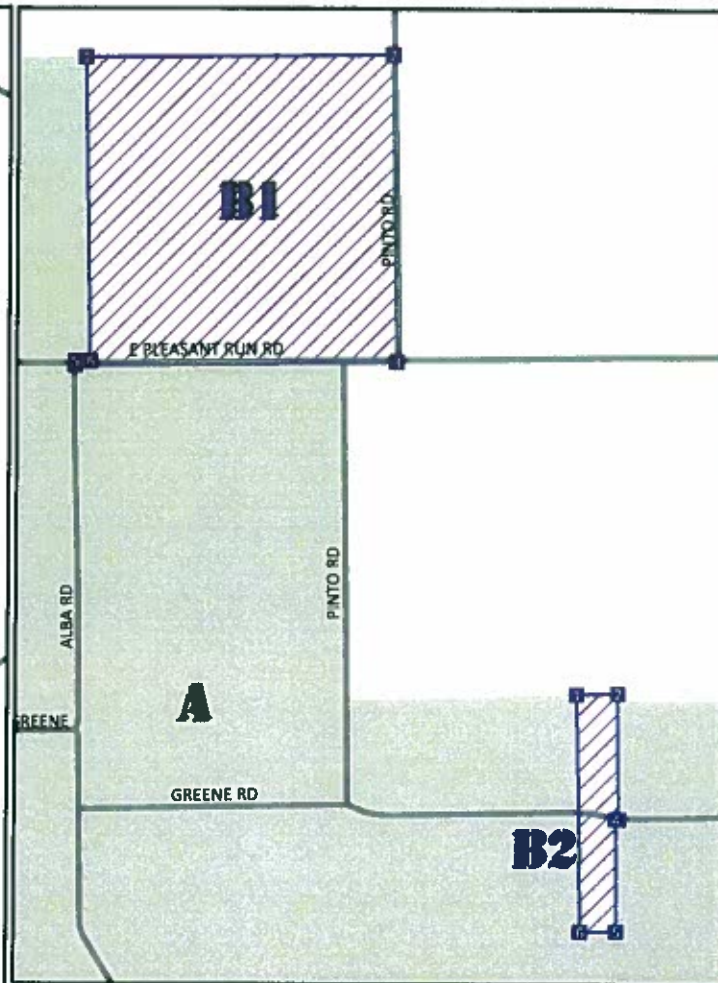
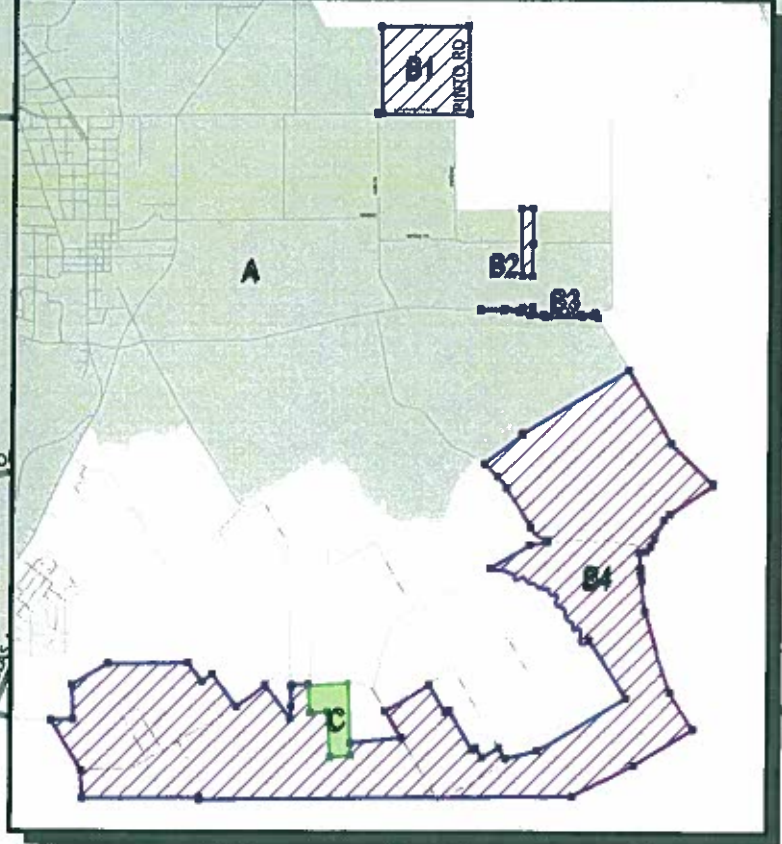

DOLLE K. DOWNE, CITY SECRETARY

APPROVED AS TO FORM:






A handwritten signature in black ink, appearing to read "Robert E. Hager", written in a cursive style.

ROBERT E. HAGER, CITY ATTORNEY
(REH/cdb)

LOCATION OVERVIEW



Legend

-  Previous City Limits
-  Area "B" Coord. Points
-  Area "C" Coord. Points
-  Annex Area "B"
-  Parcel not included pursuant to agricultural agreement § 43.035 Texas Local Government Code

*See page #2 for coordinate point information.

Exhibit "A"
Page 1 of 2



City Limits 33.067 Square Miles



City of Lancaster
2011 Annexation

2011 Annexation Coordinate Points

Area	ID	X Coordinate	Y Coordinate
B1	1	2514279.849	6909897.669
	2	2516946.597	6909919.591
	3	2516993.706	6907258.320
	4	2514194.916	6907223.629
	5	2514194.304	6907262.391
	6	2514327.126	6907263.081

Area	ID	X Coordinate	Y Coordinate
B2	1	2518585.435	6904385.824
	2	2518941.854	6904396.119
	3	2518960.185	6903302.688
	4	2518934.986	6903304.746
	5	2518942.121	6902329.703
	6	2518626.657	6902323.225

Area	ID	X Coordinate	Y Coordinate
B3	1	2517369.400	6901320.613
	2	2518121.632	6901336.046
		Follow Curve in Road	
	3	2518548.041	6901291.369
	4	2518643.503	6901267.347
	5	2518641.667	6901382.350
	6	2518951.498	6901388.660
	7	2518953.448	6901192.918
		Follow Curve in Road	
	8	2519285.386	6901149.956
	9	2520401.129	6901169.450
		Follow Curve in Road	
	10	2520846.427	6901221.943
	11	2520928.282	6901062.226
	12	2520776.313	6901132.977
	13	2520449.967	6901104.130
	14	2519451.660	6901101.673
	15	2519316.348	6901100.203
		Follow Curve in Road	
	16	2518874.646	6901145.706
	17	2518552.901	6901224.701
		Follow Curve in Road	
	18	2518081.218	6901278.137
	19	2517370.181	6901267.312

Area	ID	X Coordinate	Y Coordinate
B4	1	2521886.559	6899455.456
	2	2523210.493	6897236.294
	3	2524477.940	6895996.117
	4	2524487.546	6895977.097
	5	2524485.611	6895956.361
	6	2523167.689	6895076.484
		Follow Curve in Road	
	7	2523003.087	6894897.700
	8	2522698.512	6894337.892
	9	2522594.380	6894104.819
		Follow Curve in Road	
	10	2522450.033	6893934.016
	11	2522247.302	6893900.859
	12	2522298.034	6893422.885
	13	2522299.864	6893221.893
	14	2522318.685	6893049.813
	15	2522428.751	6892115.884
	16	2523218.544	6889637.463
	17	2523921.105	6888507.030
	18	2522118.671	6887405.688
	19	2520266.793	6886458.215
		Follow County Boundary	
	20	2508923.908	6886331.474
	21	2508923.082	6886389.048
		Follow County Boundary	
	22	2505363.570	6886346.207
	23	2505341.583	6887205.968
	24	2504421.427	6888730.568
	25	2505069.265	6888774.928
	26	2505053.189	6889813.457
	27	2506131.204	6890461.383
	28	2508565.268	6890496.599
	29	2508984.192	6889922.985
	30	2509296.023	6890161.885
	31	2510032.472	6889160.533
	32	2510906.769	6889830.236
	33	2511682.784	6888816.918

Area	ID	X Coordinate	Y Coordinate
C	1	2512227.645	6889816.317
	2	2513432.553	6889900.636
	3	2513515.91	6888066.684
	4	2513533.535	6887687.198
	5	2512888.389	6887628.773
	6	2512807.715	6889018.934
	7	2512275.71	6888988.061

Area	ID	X Coordinate	Y Coordinate
B4	34	2511710.028	6889181.374
	35	2511687.999	6889784.656
	36	2511718.636	6889822.309
	37	2513426.758	6889944.339
	38	2513515.870	6888066.680
	39	2515061.571	6888231.156
	40	2514579.585	6889037.413
	41	2515904.491	6889845.406
	42	2516408.328	6889003.175
	43	2516528.304	6889070.189
	44	2514579.585	6889037.413
	45	2515904.491	6889845.406
	46	2516408.328	6889003.175
	47	2516528.304	6889070.189
	48	2517227.484	6887863.985
	49	2517344.533	6887934.005
	50	2517530.873	6887623.935
	51	2518048.628	6887935.033
	52	2518247.885	6887594.378
	53	2519209.895	6887849.182
	54	2521863.378	6889450.983
	55	2520747.681	6891227.344
		Follow Creek Centerline	
	56	2517733.728	6893404.539
	57	2518948.083	6894125.891
		Follow Curve in Road	
	58	2519460.942	6894218.979
	59	2519477.523	6894274.499
	60	2518962.335	6894656.713
	61	2518230.715	6895853.060
	62	2517946.882	6896222.146
	63	2517545.964	6896594.048
	64	2518686.547	6897485.969
	65	2518676.461	6897513.769
	66	2518701.869	6897529.138

Projected Coordinate System: NAD1983 StatePlane Texas North Central FIPS 4202 Feet
 Projection: Lambert Conformal Conic
 False Easting: 1968500.000000000
 False Northing: 6561666.666666667
 Central Meridian: -98.500000000
 Standard Parallel 1: 32.13333333
 Standard Parallel 2: 33.966666667
 Latitude of Origin: 31.666666667
 Linear Unit: Foot US

RESOLUTION NO. 2010-04-46

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS, ADOPTING AN ANNEXATION SERVICE PLAN FOR APPROXIMATELY 8.4 SQUARE MILES OF EXTRATERRITORIAL JURISDICTION PURSUANT TO RESOLUTION 2008-11-48; PROVIDING A REPEALING CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City has taken an inventory of the services with the area sought to be annexed according to the adoption of an annexation plan by Resolution 2008-11-48; and

WHEREAS, the City has held public hearings on inventory of services and proposed service plan at duly convened meetings of the City Council; and

WHEREAS, the Dallas County has by Court Order appointed five (5) property owners, or their representative, within the area sought to be annexed, such persons being Melissa Adams, Lynnette Taft, Clyde Hargrove, Cheryl Williams and Winn Morton; and

WHEREAS, the committee has met with representatives of the City to discuss proposed service plan; and

WHEREAS, the City Council finds that the Annexation Service Plan which is attached hereto and incorporated herein by reference as Exhibit "A" provides equal services then to other residents within the City in accordance with state law; and

WHEREAS, the City Council at a duly convened meeting has considered the adoption of such Resolution and the attached Service Plan.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, DALLAS COUNTY, TEXAS:

SECTION 1. That the Annexation Service Plan which is attached hereto and incorporated herein as Exhibit "A" is hereby adopted for the annexation of certain property into the corporate limits of the City of Lancaster, Texas, in accordance with Resolution 2008-11-48.

SECTION 2. That such Service Plan may be amended at the request of the property owners and/or at the discretion of the City Council in accordance with state law.

SECTION 3. That all provisions of the resolutions of the City of Lancaster, Texas, in conflict with the provisions of this Resolution be, and the same are hereby, repealed, and all other provisions not in conflict with the provisions of this Resolution shall remain in full force and effect.

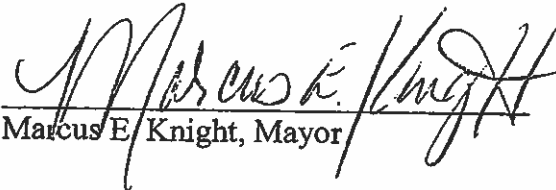
SECTION 4. That should any word, phrase, paragraph, or section of this Resolution be held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Resolution as a whole, or any part or provision thereof other than the part so decided to be

unconstitutional, illegal or invalid, and shall not affect the validity of the Resolution as a whole.

SECTION 5. That this Resolution shall take effect immediately from and after its passage as the law and charter in such cases provide.


DULY PASSED and approved by the City Council of the City of Lancaster, Dallas County, Texas, on this the 26th day of April 2010.

APPROVED:



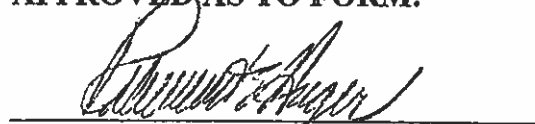
Marcus E. Knight, Mayor

ATTEST:



Dolle K. Downe, City Secretary

APPROVED AS TO FORM:



Robert E. Hager, City Attorney

**City of Lancaster, Texas
Annexation Service Plan
For Area Southwest of Current City Limits**

I. Area Annexed

On November 10, 2008, the City of Lancaster, Texas, (the "City") adopted a plan of annexation whereby the areas described on Exhibit A (collectively the "Annexation Area") will be annexed into the City's municipal boundaries no later than December 10, 2011. The effective date of annexation is referred to as the "Annexation Date."

The Annexation Area contains one geographically contiguous: South and southwest of the current city limits (as shown in the attached **Exhibit A**). While most of the Service Plan addresses annexation area-wide needs and concerns, when a specific sub-area is to receive a service or improvement it will be identified in the Service Plan.

II. Introduction

Pursuant to Section 43.056 of the Texas Local Government Code, the City hereby adopts the following service plan (the "Service Plan") for the Annexation Area. Municipal facilities and services to the Annexation Area shall be provided or made available on behalf of the City in accordance with the following Service Plan.

III. Ad Valorem (Property Owner) Tax Services

A. Police Protection, Code Compliance, and Animal Services

1. Police Protection & Facilities

The Lancaster Police Department (LPD) will provide protection and law enforcement services in the Annexation Area, commencing on the Annexation Date. These services shall include, but not be limited to: assigned Random Patrol, (hereinafter defined) required responses; special units, such as traffic enforcement, criminal investigations, narcotics, gang suppression, and SWAT; and community programs such as Neighborhood Watches, Citizens Police Academy, Crime Prevention, Citizens on Patrol, and Community Forums.

a. Patrols.

On or after the Annexation Date, the City will service the area with the then existing staff and random patrol is accomplished by a minimum of twenty-four (24) hour, seven (7) days a week shift coverage of 6-7 patrol officers and/or supervisors located at 1650 N. Dallas Avenue.

The main Police facility will be staffed with the current normal staff level with an average of 6-7 TCLEOSE certified peace officers per shift at all times not including supervisor. At least one supervisor, with the grade of sergeant or higher will be on each shift for purposes of supervision of all police activity. A minimum of two E911 dispatchers are assigned to each shift in the emergency communications center.

(b) Equipment.

The City shall purchase and maintain the necessary weapons, equipment, uniforms, and communications devices to equip each police officer for duty as activity warrants. This equipment shall generally include, but not be limited to:

Police vehicles are equipped with all standard police safety, communications, and computer equipment, including but not limited to a first aid kit, flares, surgical gloves, a fire extinguisher, defibrillator, and OB pack and maintain in operable condition.

Each police officer is provided with the required equipment and uniforms, winter jackets, traffic vests, hats, buttons, and securing pins, badges, one bullet-proof vest, utility belt, baton, handcuffs, zip cuffs, flashlight, radio, microphone, pepper spray, holster with attachments, hand gun, shotgun, or assault rifle, ammunition for each weapon, and a Taser which may be required to carry out the task and responsibilities of a peace officer.

(c) Dedicated Patrols.

Unless required by exigent circumstances, at the direction of the Chief of Police or designee, all police officers stationed at the police station shall be assigned, and carry out Patrols in their assigned area to include regular daily patrol of the newly annexed area.

(d) Future Patrol and Police Protection.

Based on current available data from Dallas County Sheriff, the City is able to absorb current call levels into its current shift and patrol function. As density or development and increase demand take place, the City shall annually assess the needs to increase staffing and capital assets to the annexed areas. Since the current density and development has been constant in the annexed area, commitment of additional resources without anticipated demand will not warrant additional manpower and capital allocation. The

additional patrol area requires a time commitment which can be currently incorporated into existing demands.

2. Code Compliance

Code compliance services shall be provided to the Annexation Area.

Upon the Annexation Date, one (1) code compliance officer shall be assigned to provide regular code compliance services to the Annexation Area. Code Compliance Officers are provided with the necessary uniforms and equipment necessary to conduct compliance activities and inspections.

Code Compliance Officers respond to complaints and perform routine compliance inspections.

3. Animal Services

The City has two animal service officers that will also provide service to the Annexation Area for domestic pets and at large livestock, registration and redemption of household domestic pets as well as a mandatory vaccination program to control rabies and other diseases.

The City will commit to consider an amendment to its animal control ordinance to implement a generally accepted standard for livestock concentrations on agricultural land within the annexed area.

In addition, large and small animal traps under the control of the City will be available for use to persons living in the annexed area upon the annexation date.

Animal Service officers have a mobile computer system in place so that they can access city records while in the field. Each Animal Services Officer is provided with the necessary uniforms and equipment to conduct animal control activities.

B. Fire Protection and Emergency Medical

1. Fire Protection / EMS

The Lancaster Fire Department shall provide first responder fire protection and prevention services and emergency medical services in the Annexation Area, commencing on the effective date of annexation. These services shall include: fire suppression and rescue; emergency medical services; hazardous materials mitigation and regulation; emergency

prevention and public education services; construction plan review; fire inspections; and emergency management planning.

2. Fire Personnel

On the effective date of the annexation, the City shall staff each Fire Station with a minimum of four firefighter / paramedic personnel.

All such personnel shall be certified under all applicable requirements by the State of Texas and operate under the medical control officer to deliver fast, efficient and competent fire suppression and emergency medical personnel.

3. Engines, Equipment

Each fire station will be equipped consistent with fire protection best practices. Such equipment will consist of at least one firefighting apparatus and one Mobile Intensive Care Unit (MICU). Other specialized units will be provided as necessary.

4. Future Staffing and Facilities.

Based on current available data from Dallas County, the City is able to absorb current call levels into its shift and functions. As density or development and increase demand take place, the City shall annually assess the needs to increase staffing and capital assets to the annexed areas. Since the current density and development has been stagnant in the annexed area, commitment of resources without anticipated demand will not warrant additional allocation. The additional area requires a time commitment which can be currently incorporated into the Department staffing and capital commitments with adequate response time for emergency assets and personnel. The addition of new territory and increase of development will cause an annual evaluation of facilities, equipment and personnel. We have anticipated that an additional public safety facility may be located in the Sunrise district near the Lancaster Regional Airport. However, there is no current commitment to build such facility on a date certain.

C. Roads and Streets

The City has systematically maintained its roadways and streets as funds are available. The Street Division of the Public Works Department shall maintain public streets and roadways within the annexed area as provided in other like populated areas within the City. The City has adopted a pavement management program which systematically assesses and evaluates each of the public streets within the City and their need for

improvement and maintenance. This pavement management system program is adopted to efficiently provide services to all the citizens and to meet the needs based on the condition of public streets and roadways in the corporate limits of the City. This program, as previously stated, will be extended into the new annexed area. Each of the public streets will be placed within the management rating system and set for maintenance or replacement. The City will also provide, based on circumstances, appropriate maintenance should public safety require immediate attention to any roadway within the newly annexed area. Additionally, as to the pavement management program, the City will, as with other areas of the City, provide the appropriate right-of-way maintenance and the installation and maintenance of traffic control devices within the annexed area. Traffic signalization shall take place as warranted and as provided by state law.

As new development takes place in the annexed area, developers may be called upon to either expand or improve roadway systems in order to meet the demands of the new development. The City's Planning Department, in conjunction with the Public Works Department, shall undertake appropriate planning, design and provide for the installation of new streets within the newly annexed area as it has throughout its history within the current city limits.

The extension or improvement of roadway systems within the newly annexed area will be driven as new development takes place or redevelopment takes place within the newly annexed area. The City would anticipate that the Sunrise district as being sparsely populated and developed with roadway systems may result in new roadways being extended into that area as industrial and/or commercial development takes place in that area. In the areas which have been designated as Wilson/Nokomis and Hash areas, we would anticipate that those roadways being more of a residential and/or rural, demand would result in more of a maintenance function than as new constructed roadways. In those areas which remain undeveloped, new roadway systems can be anticipated as new develop arises.

The City would also anticipate that roadway system improvements are to be reasonably anticipated with the extension and expansion of the Loop 9 facility as it runs through the southern portion of the Sunrise district. While the final alignment of the proposed Loop 9 extension has not been determined as of the date of this Annexation Plan, the City is under the assumption that Loop 9 will be built and it will pass through those portions of the Sunrise district as delineated on the attached exhibit to this Service Plan. The construction of service roads and main travel portion of the Loop 9 limited access roadway will add new construction to the roadway systems within the newly annexed areas. Since a final determination has not been made as to the date of the construction of such roadway at the

date of this Service Plan, we can only anticipate that during the course of the life of the Service Plan that such roadway will be constructed or right-of-way will be obtained and engineering, planning and construction will take place during the life of this Annexation Plan.

As a result of future consideration regarding Loop 9, we would anticipate that this Annexation Service Plan may be amended to meet the needs as a result of new development and/or the extension of the Loop 9 highway.

Additionally, the City will commit to undertake pruning of trees which directly interfere with safe operation of motor vehicles over the roadways or streets, on an as needed basis.

D. Parks and Recreation

1. Facilities

The City shall include the area in the Parks Master Plan for future development of green space, parks, and trails.

Residents of the Annexed Area will have access to the City existing park system which includes swings, and other structures appropriate for use by children, and picnic tables and barbecue grills.

Each existing city park has picnic tables some parks include tables with coverage. Each park has trash containers placed and maintained by the City in the park. The City shall continue to provide for the routine maintenance, seasonal plantings, seeding and upkeep of all parks, open space, and trails within the park system.

The City maintains staffing adequate to provide for the activities, youth sports, recreational programming, training facility and indoor aquatic facility within the recreation center. Seasonal staff such as lifeguards is hired as necessary.

2. Programs

The City shall provide youth programs at the recreation center which may include: Dallas Blaze All Star Cheerleading, Arts & Crafts with Amber, Academics Excellence Tutoring, Sports Excellence Camps and Courses and Spring Break Basketball Camps. Programming will change as demand warrants.

The recreation center also provides adult programs such as Cardio Kickboxing, Early Risers Aerobic Class, Zumba and Body Sculpting.

The City's recreation center has a year round indoor aquatic facility that offers fitness swim, water aerobics, open swim and swim lessons for all age groups.

Athletic leagues are available for both Youth and Adult. These leagues include: Youth & Adult Basketball, Youth Soccer, Youth Baseball, Youth Football and Youth and Adult Volleyball.

The City offers some specialty programs which include Youth Advisory Committee, Friday Night Heat, The Stork's Nest, First Aid/CPR and Hunter's Education.

All programs and facilities will be available to residents of the annexed area at the same rental rates and charges as other City residents.

E. Library Facilities & Services

The Lancaster Veterans Memorial Library is open (6) days per week and until 9:00 p.m. at least three days per week. The library contains public computers with internet access, books, audio visual, DVD's and music for check out all at no cost to City of Lancaster residents. Local history and genealogy is a special collection, enriched by subscriptions to Ancestry.com, HeritageQuest, and Sanborn Map databases. Genealogy programs are sponsored by the library.

The facility is approximately 23,000 square feet in size. The City has an ALA Accredited MLS librarian, professional and paraprofessional youth and children's assistants, and part time staff to operate the library facility. The library contains tables and chairs, and all other standard furnishings for a fully operational library.

F. Building Inspections and Consumer Health Services

The Building and Inspections Department shall provide inspection services (building, electrical, plumbing, code enforcement, etc.) to residents of the Annexation Area. Building Inspections have a state of the art mobile computer system in place so that building inspectors can access city records during on-site inspections. These mobile inspection terminals shall be maintained by the City so that accurate, up to date information is available to the inspector in the field.

Consumer Health Services are performed by Dallas County Health Services Department via contract with the City of Lancaster.

G. Planning and Development Services

The City shall provide, on the effective date of the annexation, planning and development services to residents of the Annexation Area.

In addition, each of the areas sought to be annexed will be incorporated into one or more representative districts for the purpose of council representation in accordance with the Voting Rights Act of 1964.

H. Life (Senior) Center

1. Facilities

The Lancaster Life Center will be available on the effective date of the annexation to the senior citizens of the Annexation Area at the residential rate.

2. Programs

The City offers the seniors a variety of programs that include a congregate meal program for seniors 60+, bingo, bunko, dominos, table pool, Wii Fitness, bridge, arts & crafts, quilting, gardening, computer and day trips.

IV. Utility (Rate-Based) Services

A. Solid Waste Collection

The City is the exclusive residential and commercial solid waste service provider within Lancaster's city limits. Solid waste refuse collection services will be available to all residents of the Annexation Area immediately upon the Annexation Date.

1. Residential Solid Waste Services

(a) City Service. The City shall provide residential solid waste services to the Annexation Area at the prevailing in-city residential rate, and at the same level of service as the in-city level of service. Residential trash pickup shall occur weekly. Recycling services shall occur bi-weekly. Bulk/brush services shall occur every other month.

Each residential property shall receive a refuse and recycling cart. Additional carts may be obtained for an additional fee as determined by the city's master fee schedule. The City will notify all residents of the Annexation Area what day of the week their refuse and recyclables will be collected.

2. Commercial Solid Waste Service

(a) City Service. Each commercial business shall contact the city solid waste collector to arrange for service.

B. Water/Wastewater Facilities & Personnel

1. **Wastewater.** Property owners within the Annexation Area may elect to remain on their existing septic systems. Existing septic systems are legal and conforming. Any existing septic system in place on the Annexation Date shall be allowed to be repaired, replaced, or upgraded with no City fee imposed.

If a resident of the Annexation area elects to connect up to the City's wastewater service, the City shall charge the same usage rate to that resident as it does to a like dwelling unit within the City limits. A like dwelling unit is defined as the closest square footage size of an existing and served dwelling unit structure within the City to the house being connected to the service.

The city maintains the city wastewater department with 8 employees responsible for maintenance and repairs of sewer mains and manholes.

2. **Future Wastewater Service.** The City has developed a proposed phased annexation and extension of wastewater service into the proposed annexed area. The city has identified three (3) unique areas which would require individualized consideration for future potable wastewater extension of service:

- (1) **Sunrise:** (See attached map) This area is sparsely populated on the eastern portion and is adjacent to Lancaster Municipal Airport and Inland Port area. This area along with the southern portion will generate industrial, retail and commercial development. The City will commit to undertake appropriate study within two and one-half (2½) years to determine the appropriate size and extension of the wastewater service. Unless development occurs sooner, the City would look to extend waste water service to the eastern and southern corridors within seven (7) years. We would anticipate that the time frame may be accelerated by development of airport, lanport and Loop 9. The eastern portion of this area is primarily residential.

- (2) **Wilson/Nokomis:** The City has development a proposed phased annexation and extension of water service into the proposed annexed area. The City has identified this portion as the Wilson/Nokomis area, which is depicted on the attached exhibit to the Service Plan. This particular area is unique from other sections of the annexed area in that is primarily populated with single family residential homes. The need for the extension of the wastewater service in the immediate future will be basically for residential purposes. The City will commit to undertake a wastewater study of the proposed Wilson/Nokomis area and will commit to do that within

three (3) years of the date of annexation. The extension of actual wastewater services in the area will be phased in within a time period not to exceed five (5) years from the date of annexation. We would anticipate that the time frame may be accelerated due to development demands within the area as the area becomes subject to development as the City grows within the immediate future. Those areas in the Wilson/Nokomis area which are immediately adjacent to the Bear Creek Ranch as a result of the study may have wastewater service available in a more timely period or as a result of extension into the eastern portion of the Sunrise area as depicted on the attached exhibit.

- (3) **Hash Area:** This is the third identified area within the annexed area which is likely to be the last area annexed into the City. Again, this area is primarily residential and the extension of wastewater service would likewise be specifically studied within approximately two (2) years of the date of annexation of such area with future extension of wastewater services in that area to be five (5) years from the date of annexation. As with any of the areas, if development is accelerated, the cost effective extension of services into this area as in other areas of the current city limits may be accelerated within a quicker time frame. The City would anticipate that there would be full wastewater services within the area within the ten (10) year service date time. There are other areas currently in the City, which due to its sparse population and lack of development, do not have wastewater services and we would treat the areas to be annexed with the same cost effective extension of wastewater services as development occurs.

3. Water.

(a) Property owners within the Annexation Area may continue to receive service from their current retail water provider during the term of this Service Plan. Property owners will be allowed to drill and maintain water wells on-site for irrigation, agricultural, and livestock use, and for the capturing of potable water for domestic use in accordance with all Federal and State regulations and permitting requirements.

If, during the term of this Service Plan, the City requires any existing resident or business in the Annexation Area to connect to the City potable water system, the City shall bear the sole cost of extending the water service to the existing resident or business (which cost includes but shall not be limited to: all costs of extending laterals to each service point on the residents' property, trenching water lines to the customer's house, connecting service lines to the house, and providing and installing

metering devices to monitor consumption in such a way as to provide water service with no further action required by the residents), and the residential customer shall be charged the same rate for water service as charged to all in-city customers.

In the event the City provides water utility service, property owners shall not be charged higher rates based on existing water meter sizes, and the City shall not be allowed to replace existing meters with smaller units. The city shall charge the same rate currently charged to all City of Lancaster customers.

(b) Future Water Service. The City has developed a proposed phased annexation and extension of water service into the proposed annexed area. The city has identified three (3) unique areas which would require individualized consideration for future potable water extension of service:

- (1) Sunrise:** (See attached map) This area is sparsely populated on the eastern portion and is adjacent to Lancaster Municipal Airport and Inland Port area. This area along with the southern portion will generate industrial, retail and commercial development. The City will commit to undertake appropriate study within two and one-half (2½) years to determine the appropriate size and extension of the water service. Unless development occurs sooner, the City would look to extend water service to the eastern and southern corridors within five (5) to six (6) years. We would anticipate that the time frame may be accelerated by development of airport, lanport and Loop 9. The eastern portion of this area is primarily residential. The City will study during the next eighteen (18) months the extension or connection through the Bear Creek Subdivision into the Green Acres area within four (4) years.
- (2) Wilson/Nokomis:** The City has development a proposed phased annexation and extension of water service into the proposed annexed area. The City has identified this portion as the Wilson/Nokomis area, which is depicted on the attached exhibit to the Service Plan. This particular area is unique from other sections of the annexed area in that is primarily populated with single family residential homes. The need for the extension of the water service in the immediate future will be basically for residential purposes. The City will commit to undertake a water study of the proposed Wilson/Nokomis area and will commit to do that within three (3) years of the date of annexation. The extension of actual water services in the area will be phased in within a time period not to exceed five (5) years from the date of annexation. We would anticipate that the time frame may be accelerated due to development demands within the area as the area becomes subject

to development as the City grows within the immediate future. Those areas in the Wilson/Nokomis area which are immediately adjacent to the Bear Creek Ranch as a result of the study may have water service available in a more timely period or as a result of extension into the eastern portion of the Sunrise area as depicted on the attached exhibit.

- (3) **Hash Area:** This area is primarily residential and the extension of water service would likewise be specifically studied within approximately two (2) years of the date of annexation of such area with future extension of water services in that area to be five (5) years from the date of annexation. As with any of the areas, if development is accelerated, the cost effective extension of services into this area as in other areas of the current city limits may be accelerated within a quicker time frame. The City would anticipate that there would be full water services within the area within the ten (10) year service date time. There are other areas currently in the City, which due to its sparse population and lack of development, do not have water services and we would treat the areas to be annexed with the same cost effective extension of water services as development occurs.

3. Operation.

All water and wastewater service shall be operated according to Lancaster's City Code, Federal and State law, and TCEQ requirements.

C. Drainage Services

The same standard of drainage maintenance provided to other residents of the City shall be provided to the residents of the Annexation Area on the Annexation Date. The City is responsible to provide repair of surface drainage repair or maintenance of storm water system or surface water which is impeded as the result of silting and obstructions. Routine maintain of over growth and vegetation remain the responsibility of adjacent property owners.

V. Zoning of Annexation Area

The Annexation Area shall be zoned to Agricultural. As development and uses change the annexed area will be rezoned in accordance with the Lancaster Comprehensive Land Use Plan.

VI. Capital Improvements Program

The Annexation Area shall be incorporated into the City's capital improvements program (CIP) and comprehensive plan. Capital Improvements, including but not limited to

streets, water mains, wastewater, and drainage, shall not be paid for through the levying of special assessments on adjacent property owners in the Annexation Area. Notwithstanding anything in this Service Plan, capital improvements in the Annexation Area shall be made according to sound municipal planning principles and practices.

VII. Term

This Service Plan shall be valid for ten (10) years. The Service Plan is eligible for renewal at the discretion of the City.

VIII. Amendments

The City Council may amend the Service Plan to conform to the changed conditions of subsequent occurrences pursuant to the Texas Local Government Code or accommodate significant changes in the population and density characteristics of the Annexation Area. Any amendment to the Service Plan must provide for services that are comparable to or better than those established in the Service Plan before amendment. Any resident of the Annexation Area may dispute the finding that the amendment provides comparable or better service to the Annexation Area. The resident must submit a request within 90 days of the amendment, and request mediation first. Any dispute regarding whether an amendment to the Service Plan provides for comparable or better services shall be first resolved through mediation. Mediation shall be conducted by the Dallas County Commissioner's Court. If the Commissioner's Court fails to resolve the dispute, either party may utilize all legal remedies.

IX. Conflicts

In the event that any provision of this Service Plan conflicts with any other plan, comprehensive plan, or program of the City of Lancaster, the provision contained in this Service Plan shall control.

X. Miscellaneous

As part of its commitment to further not adversely affect the current area, the City Council, when enacting environmental or regulatory ordinances, shall consider an exception or special regulation for rural and/or agricultural property.

(a) Junk Motor Vehicles. Junk Motor Vehicles (as defined in the Texas Transportation Code) shall not be allowed to be placed on any property so that they are visible from a public street or alley.

(b) Ornamentation. Any art or other ornamentation, including but not limited to antique tractors, farm implements, or other antique ornamentation, shall be allowed to be displayed on any property for the purpose of aesthetics, or for the purpose of sale. If for the purpose of sale, the Ornamentation cannot be

displayed for more than three times a year, each sales period not being greater than ten days. Seasonal ornamentation shall be allowed, including holiday decorations. No permit or fee shall be required by the City for the display of Ornamentation.

(c) Pre-Existing Structures. Any and all structures, including accessory structures and temporary structures, that are located on any property in the Annexation area on the Annexation Date, shall be allowed to remain on any property in the Annexation Area, shall be legal and nonconforming, and shall not become illegal by subsequent action of the City during the term of this Service Plan. All Pre-Existing Structures shall be allowed to be rebuilt, repaired, or expanded so long as the expansion does not create an additional degree of non-conformity.

Any structure, in which construction has started on the Annexation Date but has not been completed, shall be allowed to continue to completion, and no additional permits or fees shall be required by the City.

(d) Oversized Vehicles. Oversized vehicles in accordance with current city ordinance shall continue to be allowed to be parked in the Annexation Area on the Public Street adjacent to the property of the resident or owner; however, commercial motor vehicles shall not be permitted to be parked on any residential streets.

(e) Animals. Any and all pre-existing uses of land shall include the use of land for the keeping, raising, and sale of animals, including livestock and pets, in accordance with generally accepted agricultural service. [See III. A. 3. "Animals".]

(f) Severe Weather Warning System. A severe weather warning system shall be installed and maintained so that residents in the Annexation Area are warned of the approach of oncoming severe weather. This Outdoor Early Warning system must be adequate to warn residents of the Annexation Area. One additional Outdoor Early Warning Siren will be located in the area.

(g) Cable Service. The City currently has franchised a cable or telecommunications provider(s) within the current jurisdictional boundaries. The City shall invite other potential franchises to provide non-exclusive cable service to annexed area residents.

(Signature Pages to follow)

Agreed:

Lynnette Taft

Dated

Clyde Hargrove

Dated

Melissa Adams

Dated

Winn Morton

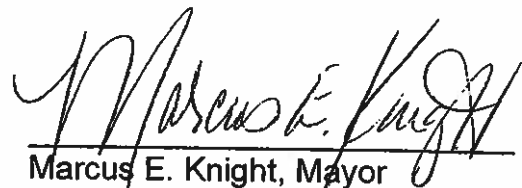
Dated

Cheryl Williams

Dated

Approved by City Council

April 26, 2010



Marcus E. Knight, Mayor

City of Lancaster Annexation Plan

Exhibit "A"



Legend

- Proposed Loop 9 Options
- City Limits - 29.835 Sq Miles
- Airport Runway
- Parcels

Annexation Plan

Phase

- Strategic Planning Agreement
- Sunrise - 2.952 Sq Miles
- Wilson/Nokomis - 3.653 Sq Miles
- Hash Road - 0.968 Sq Miles



0 0.25 0.5 1 Miles

CITY OF LANCASTER'S BOARDS AND COMMISSIONS

Planning & Zoning Commission

6.

Meeting Date: 02/05/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Healthy, Safe & Engaged Community
Quality Development

Submitted by: Bester Munyaradzi, Senior Planner

Agenda Caption:

Z19-07 Conduct a public hearing and consider a rezoning request from Agricultural Open (AO) to SF-4 Single Family Residential. The property is located north of East Reindeer Road and east of Dasher Drive and is addressed as 3223 Prancer Street. It is further described as Lot 8, Block 2 in Abstract 1554 Survey Money Weatherford, Lancaster, Dallas County, Texas.

Background:

1. **Location and Size:** The property is addressed as 3223 Prancer Street and is approximately .63 acre in size.
2. **Current Zoning:** The subject property is currently zoned Agricultural Open (A-O).
3. **Adjacent Properties:**
North: A-O - Agricultural Open (occupied)
South: A-O - Agricultural Open (occupied)
East: A-O - Agricultural Open (occupied)
West: A-O - Agricultural Open (occupied)
4. **Comprehensive Plan Compatibility:** The 2002 Comprehensive Plan identifies this site as suitable for residential uses. The proposed use is consistent with the Comprehensive Plan. The 2002 Comprehensive Plan is being referenced because Chapter 3 of the 2016 Comprehensive Plan specifically notes that "The Preferred Scenario" for future land use remains unchanged in most areas of the City where stable and sustainable land uses exist."

5. **Case History:**

Date	Body	Action
11/14/2011	CC	Property annexed into City of Lancaster limits

Operational Considerations:

This is a request to rezone the subject property from AO to SF-4 for the development of a single family home on a .63 acre lot. The current zoning only allows for agricultural uses and a single family dwelling on five (5) acres or more. The proposed zoning change would allow up to 4 dwelling units per acre. This property was annexed into the City corporate limits in November 2011. It was required that the annexation areas be zoned to Agricultural Open when incorporated into City limits. As development and uses change the annexed area will be rezoned in accordance with the Lancaster Future Land Use Map.

Consistency with the Comprehensive Plan:

The Comprehensive Plan Future Land Use map designates this area as Suburban Neighborhood. Suburban Neighborhood is envisioned to have place types which focus on creating a variety of residential products. Primary land uses for Suburban Neighborhood includes single-family detached homes and duplexes. Secondary uses include civic and institutional uses and parks. The zoning change request is therefore consistent with the Comprehensive Plan shown on the attached Comprehensive Plan excerpt.

Potential Impact on Adjacent Development:

Properties to the north, south, east and west are all occupied and zoned A-O. This property serves as an ideal location for a single family home as it is surrounded by property with built homes. If zoning is approved by City Council, the proposed SF-4 development will be subject to the Lancaster Development Code, Subdivision Regulations and all other relevant City Codes.

Availability of utilities and access:

The City does not have any water or sewer lines in this area. Rockett Special Utility District (SUD) provides water and a septic tank will have to be used for sewer services. Inspection and approval of the septic systems are contracted through Dallas County Health and Human Services.

Site conditions such as vegetation, topography and flood plain:

The subject property is currently undeveloped. Upon construction of this site, factors such as vegetation, topography and flood plain issues will be addressed through the civil review process.

Timing of Development as it relates to the Capital Improvement Plan (CIP):

There are no capital improvements planned for the area and no rights-of-way (ROW) dedication is needed per the City's Master Thoroughfare Plan.

Based upon an analysis of the five (5) criteria that must be taken into consideration when reviewing a change in zoning application, the proposed change request will integrate appropriately as the area is envisioned for single-family home development and is consistent with the Comprehensive Plan.

Public Information Considerations:

This is a zoning change request and in accordance with Texas Local Government Code, Section 211, zoning change requests must be noticed 10 days before the hearing. On January 25, 2019 a notice for this public hearing appeared in the Focus Daily Newspaper. 14 notifications of this public hearing were mailed to owners that are within 200 feet of the subject property. There was one (1) letter received in support and no letters received in opposition of this request.

Options/Alternatives:

1. Recommend approval of the request, as presented.
2. Recommend approval of the request with changes, state those changes.
3. Recommend denial of the requests.

Recommendation:

Staff recommends approval of the request, as presented.

Attachments

Location Map

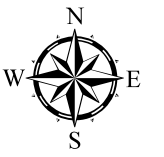
Zoning Exhibit

2002 Future Land Use Map

2016 Future Land Use Map

Annexation Ordinance 2011-11-36

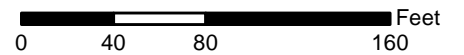
Letter in Support (1)

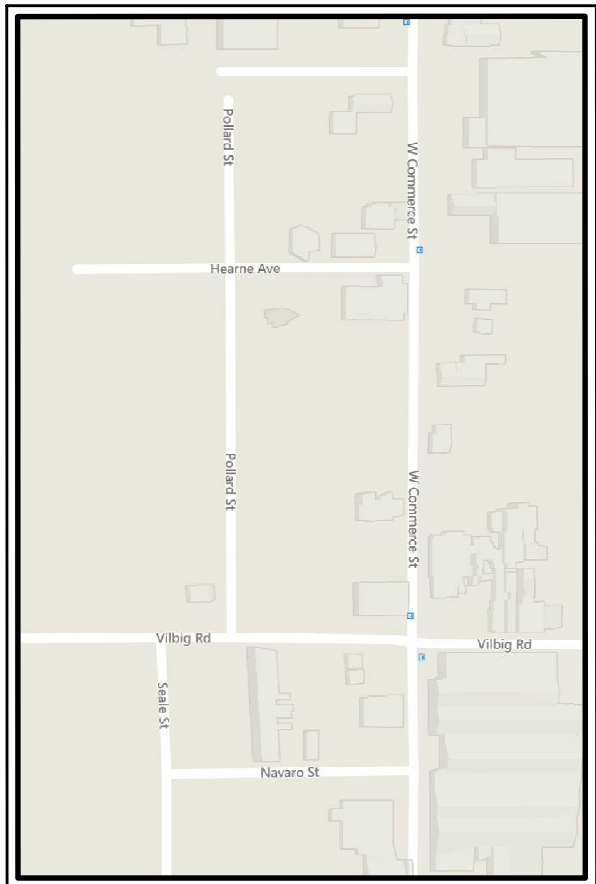


City of Lancaster
3223 Prancer St



- ✚ Fire Hydrants
- Storm Sewer Lines
- Sewer Lines
- Water Lines
- ▭ Parcels
- ▭ FEMA 100yr Floodplain





LEGEND

- IRF IRON ROD FOUND
- C.M. CONTROLLING MONUMENT
- UE UTILITY EASEMENT
- DE DRAINAGE EASEMENT

OWNER:
PREFERRED INNOVATIONS LLC
280 BROOKBEND
WAXAHACHIE, TEXAS

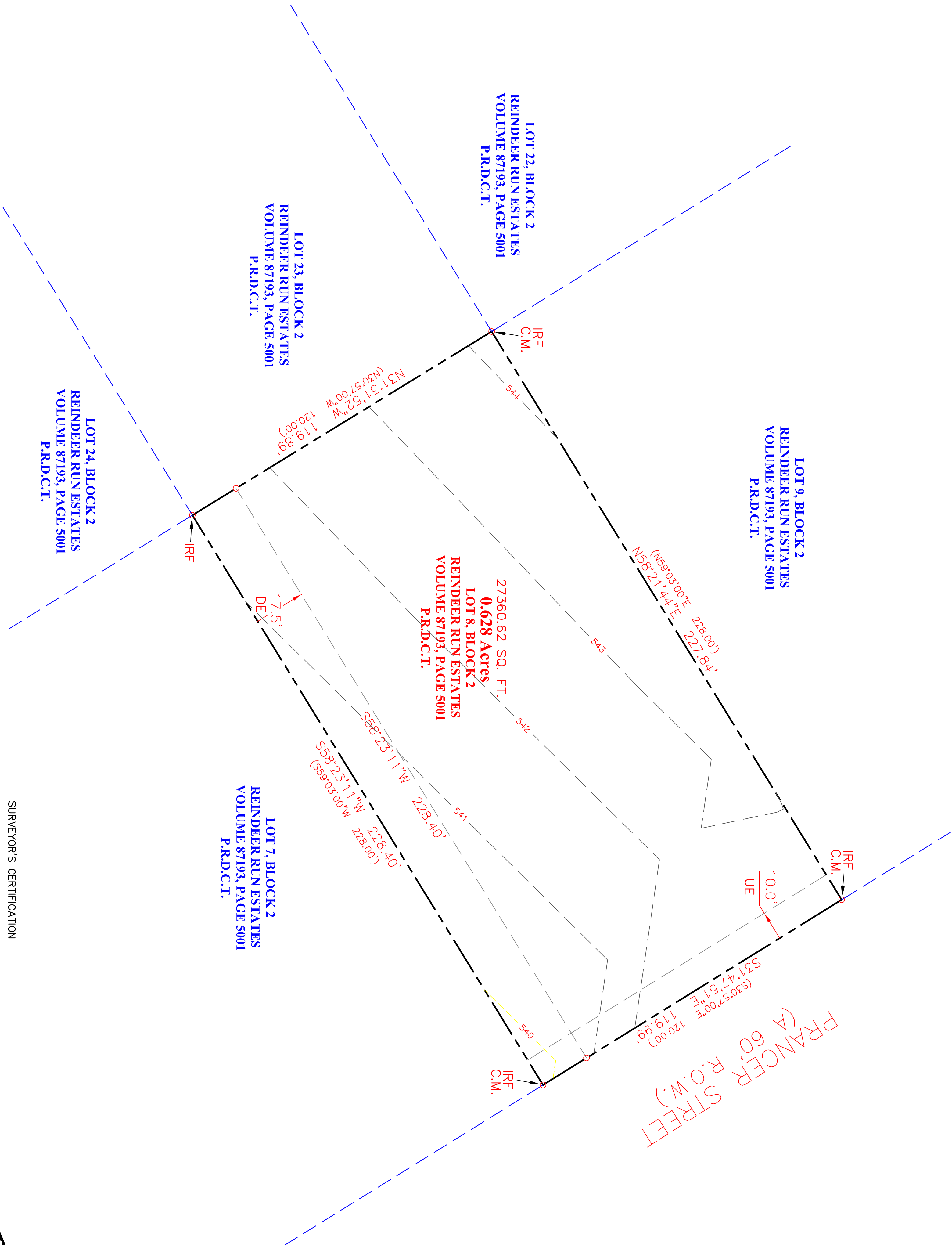
OWNER'S CERTIFICATE
STATE OF TEXAS:
COUNTY OF DALLAS:
CITY OF LANCASTER:

WHEREAS, PREFERRED INNOVATIONS LLC, ARE THE OWNER OF A 0.628 ACRE TRACT OF LAND, DESCRIBED AS LOT 8, BLOCK 2, REINDEER RUN ESTATES, AN ADDITION TO THE CITY OF LANCASTER, DALLAS COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 87193, PAGE 5001, DEED RECORDS, DALLAS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

- SURVEYOR'S NOTES:
1. ALL BEARINGS SHOWN HEREON ARE CORRELATED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NAD83 (CORS 96). ALL ELEVATIONS ARE CORRELATED TO NAVD 88.
 2. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COPY OF A COMMITMENT FOR TITLE INSURANCE.
 3. THE SURVEY PERFORMED ON THE GROUND OF THE SUBJECT PROPERTY AND THE PREPARATION OF A DEPICTION OF THE RESULTS THEREOF ON THIS SURVEY EXHIBIT WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE EASEMENTS OR OTHER MATTERS THAT COULD EXIST AND ARE NOT SHOWN.
 4. () DENOTES RECORD DATA.
 5. CURRENT ZONING PER CITY OF LANCASTER ZONING MAP IS A-O, AGRICULTURAL OPEN, PROPOSED ZONING IS SF-4, SINGLE FAMILY RESIDENTIAL.

THIS SURVEY EXHIBIT WAS PREPARED FROM A SURVEY PERFORMED ON THE GROUND UNDER THE SUPERVISION OF SHELBY J. HOFFMAN, R.P.L.S. NO. 6084, ON DECEMBER 4, 2018 AND SHOWS THE EXISTING CONDITIONS OBSERVED AT THE TIME OF THE SURVEY.

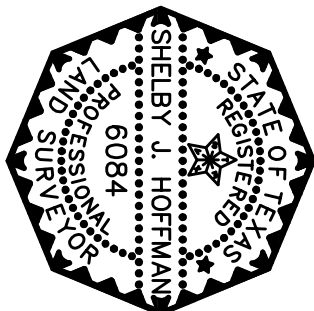
"APPROVAL OF THE ZONING CASE ASSOCIATED WITH THIS EXHIBIT SHALL NOT IMPLY APPROVAL OF ANY ASSOCIATED STUDY, PLAT OR PLAN, APPROVAL OF DEVELOPMENT STANDARDS SHOWN HEREON, OR THE INITIATION OF THE DEVELOPMENT PROCESS. PLANNING & ZONING COMMISSION AND/OR CITY COUNCIL ACTION ON STUDIES, PLATS, OR PLANS RELATING TO DEVELOPMENT OF THIS PROPERTY SHALL BE CONSIDERED AS AN ACTION SEPARATE FROM ACTION TAKEN ON THIS ZONING CASE."



SURVEYOR'S CERTIFICATION
THAT I, SHELBY J. HOFFMAN, DO CERTIFY THAT I PREPARED THIS ZONING EXHIBIT FROM AN ACTUAL ON THE GROUND SURVEY OF THE LAND AS DESCRIBED.

SJ Hoffman REVISED 1/23/2019

REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6084



ZONING CASE NO.: Z19-07

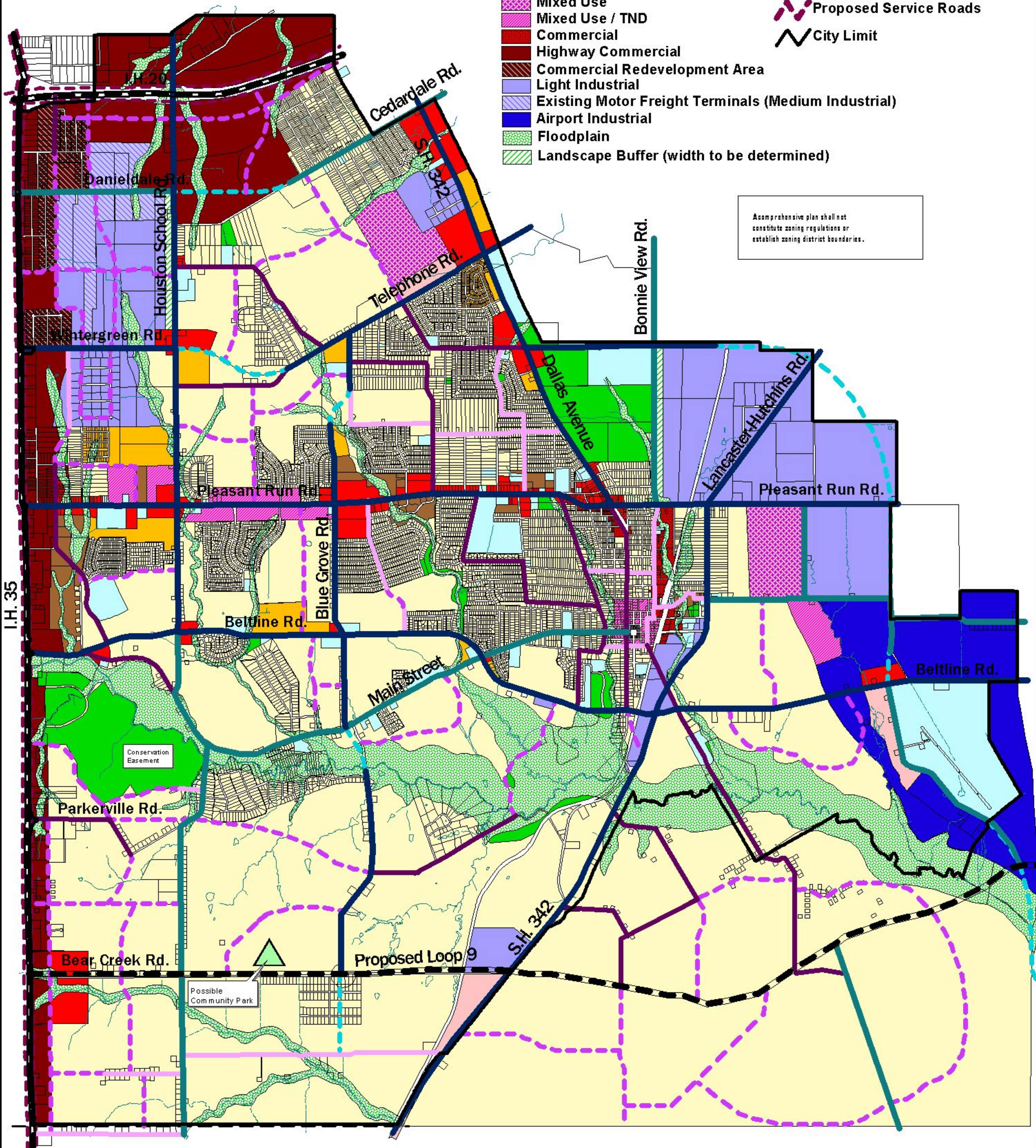
ZONING EXHIBIT
REINDEER RUN ESTATES,
LOT 8, BLOCK 2,
BEING A 0.628 ACRE TRACT OF LAND IN THE MONY
WEATHERFORD SURVEY, ABSTRACT NO.1554,
DALLAS COUNTY, TEXAS, RECORDED IN VOLUME
87193, PAGE 5001, DALLAS COUNTY, TEXAS

GEOMATICS SOLUTIONS, INC.
3000 S. HULEN, SUITE 124-236, FORT WORTH, TEXAS
OFFICE: 817-487-8916
TBPLS FIRM NO. 10184400, SHELBY@GSIISURVEY.COM
Scale: 1"=20' Date: 12/7/18 DWG: 2018707-ZONING
Drawn: OF Checked: SJH Job: 2018-707

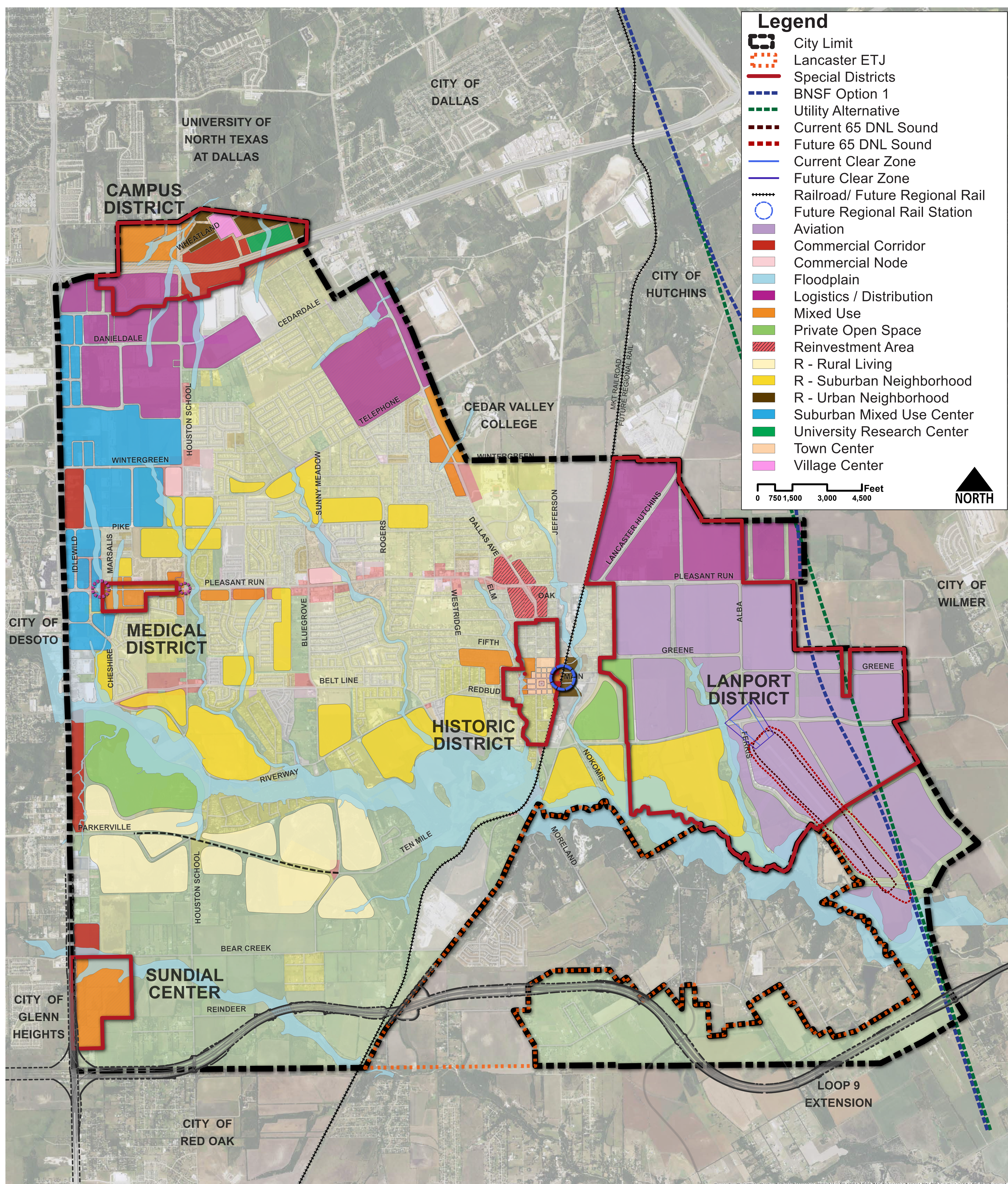
Legend

- Low Density Residential
- Medium Density Residential
- High Density Residential
- Public & Semi-Public
- Parks & Open Spaces
- Office
- Retail
- Historic Town Square
- Mixed Use
- Mixed Use / TND
- Commercial
- Highway Commercial
- Commercial Redevelopment Area
- Light Industrial
- Existing Motor Freight Terminals (Medium Industrial)
- Airport Industrial
- Floodplain
- Landscape Buffer (width to be determined)
- Major Thoroughfares
- Type A+Freeways
- Type B+Major Arterial
- Type B-Minor Arterial
- Type B Proposed Arterial
- Type C+Major Collector
- Type C-Minor Collector
- Type C Proposed Collector
- Proposed Service Roads
- City Limit

A comprehensive plan shall not constitute zoning regulations or establish zoning district boundaries.



Preferred Scenario





City of Lancaster
OFFICE OF THE CITY SECRETARY

211 N. Henry Street * Lancaster, TX 75146 * 972.218.1112 * 972.227.4032 FAX
www.ci.lancaster.tx.us




CITY OF LANCASTER

CERTIFICATE OF CITY SECRETARY

STATE OF TEXAS
COUNTY OF DALLAS
CITY OF LANCASTER

I, the undersigned, Dolle K. Downe, City Secretary of the City of Lancaster, Texas, a municipal corporation, in the performance of the functions of my office, hereby certify that the attached ordinance is a full, true, and correct copy of Ordinance No. 2011-11-36 as adopted by the City Council of the City of Lancaster, Texas on November 14, 2011, and said action recorded in the Minutes of the City Council, Volume X. I am the lawful possessor and have legal custody of said record.

WITNESS MY HAND AND SEAL OF OFFICE in Lancaster, Texas, this 21st day of November, 2011, A. D.


Dolle K. Downe, TRMC
City Secretary
City of Lancaster, Texas

Seal



ORDINANCE NO. 2011-11-36

AN ORDINANCE OF THE CITY OF LANCASTER, ANNEXING THE HEREAFTER DESCRIBED TRACT OF LAND, BEING 2.9 SQUARE MILES OF LAND BEING MORE PARTICULARLY DESCRIBED AND DEPICTED IN EXHIBIT A, WHICH IS ATTACHED HERETO AND INCORPORATED HEREIN, LOCATED IN THE CITY OF LANCASTER EXTRATERRITORIAL JURISDICTION TO THE CITY OF LANCASTER, TEXAS, AND EXTENDING THE BOUNDARY LIMITS OF THE CITY SO AS TO INCLUDE SAID PROPERTY WITHIN THE CITY LIMITS AND GRANTING TO ALL INHABITANTS AND OWNERS OF SAID PROPERTY ALL OF THE RIGHTS AND PRIVILEGES OF OTHER CITIZENS AND BINDING ALL INHABITANTS BY ALL THE ORDINANCES, ACTS, RESOLUTIONS AND REGULATIONS OF SAID CITY; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR THE EFFECTIVE DATE OF SAID ORDINANCE.

WHEREAS, the City has taken an inventory of the services with the are sought to be annexed according to the adoption of an annexation plan by resolution 2008-11-48; and

WHEREAS, the City desires to annex certain property set forth in Exhibit "A" which is attached hereto and incorporated herein and that said property is the maximum territory permitted under state law which includes a portion of the extraterritorial area covered by the annexation plan; and,

WHEREAS, the City has held public hearings on inventory of services and proposed service plan at duly convened meetings of the City Council; and

WHEREAS, Dallas County has by court order appointed five (5) owners, or their representative, within the area sought to be annexed, such persons being Melissa Adams, Lynnette Taft, Clyde Hargrove, Cheryl Williams and Winn Morton; and

WHEREAS, the committee has met with representatives of the City to discuss proposed service plan; and

WHEREAS, the City Council finds that the annexation Service Plan which is attached hereto and incorporated herein by reference as Exhibit "B" provides equal services then to other residents within the City in accordance with state law; and

WHEREAS, the City Council, at a duly convened meeting, has considered the adoption of such Resolution and the attached Service Plan.

WHEREAS, the City Council of the City of Lancaster has, after notice was duly published, conducted public hearings in strict compliance with Chapter 43, TEXAS LOCAL GOVERNMENT CODE; and,

WHEREAS, the following described land is adjoining the present City limits of the City of Lancaster and is within its exclusive extraterritorial jurisdiction, and the members of the City Council of the City of Lancaster have concluded that said area should be annexed and made a part of the City of Lancaster, Texas;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the hereafter described tract of land, being approximately 2.9 square miles of land being more particularly described and depicted in Exhibit A, which is attached hereto and incorporated herein, is hereby annexed to include the said tract of land within the City limits of the City of Lancaster, Texas, and the same shall hereafter be included within the territorial limits of the said City, and the inhabitants thereof shall hereafter be entitled to all rights and privileges of other citizens of the City and shall be bound by the ordinances, acts, resolutions and regulations of said City of Lancaster, Texas.

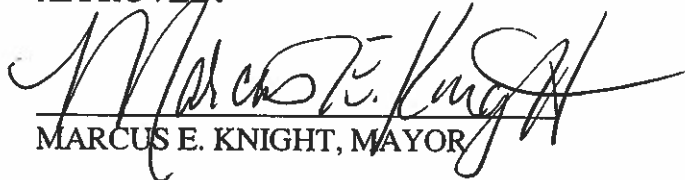
SECTION 2. That it is not the intention of the City of Lancaster to annex any territory not legally subject to being annexed by the City, and should any portion of the above-described area not be subject to legal annexation by the City of Lancaster, such fact shall not prevent the City from annexing such territory which is subject to legal annexation by the City, and it is the intention of the City of Lancaster to annex only such territory as may be legally annexed by it within the above described area.

SECTION 3. That the annexation service plan required by Chapter 43 of the TEXAS LOCAL GOVERNMENT CODE is approved and attached hereto as Exhibit B.

SECTION 4. That this ordinance shall take effect immediately from and after its passage.

DULY PASSED by the City Council of the City of Lancaster, Texas, on the 14th day of November 2011.

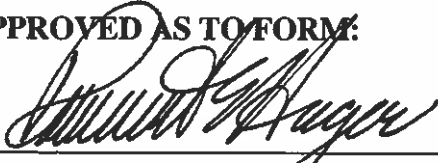
APPROVED:


MARCUS E. KNIGHT, MAYOR

ATTEST:

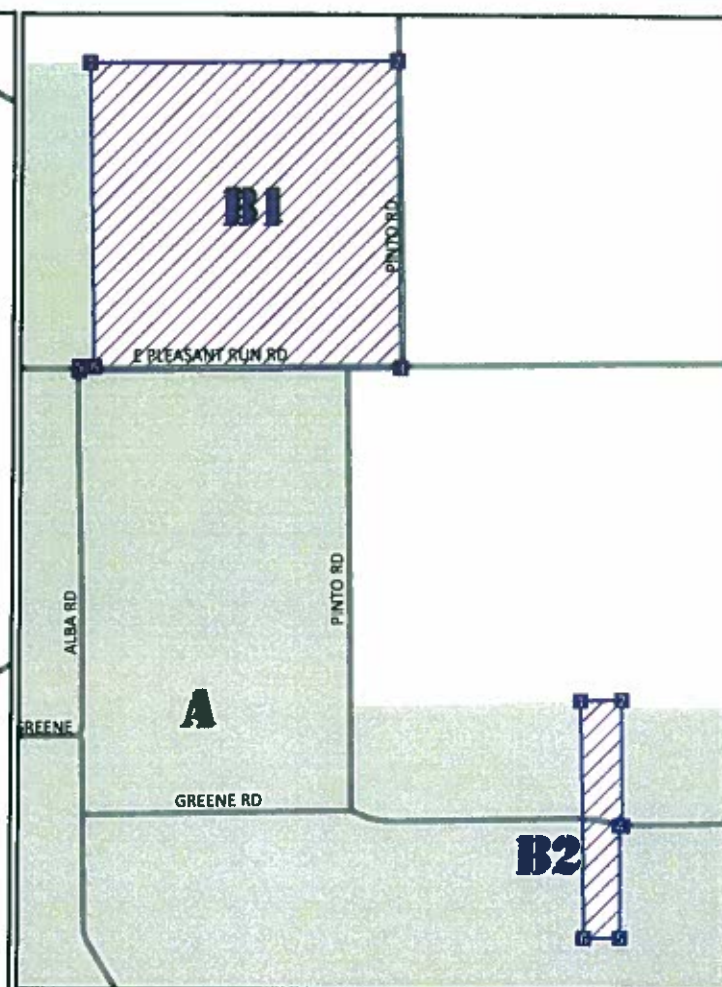
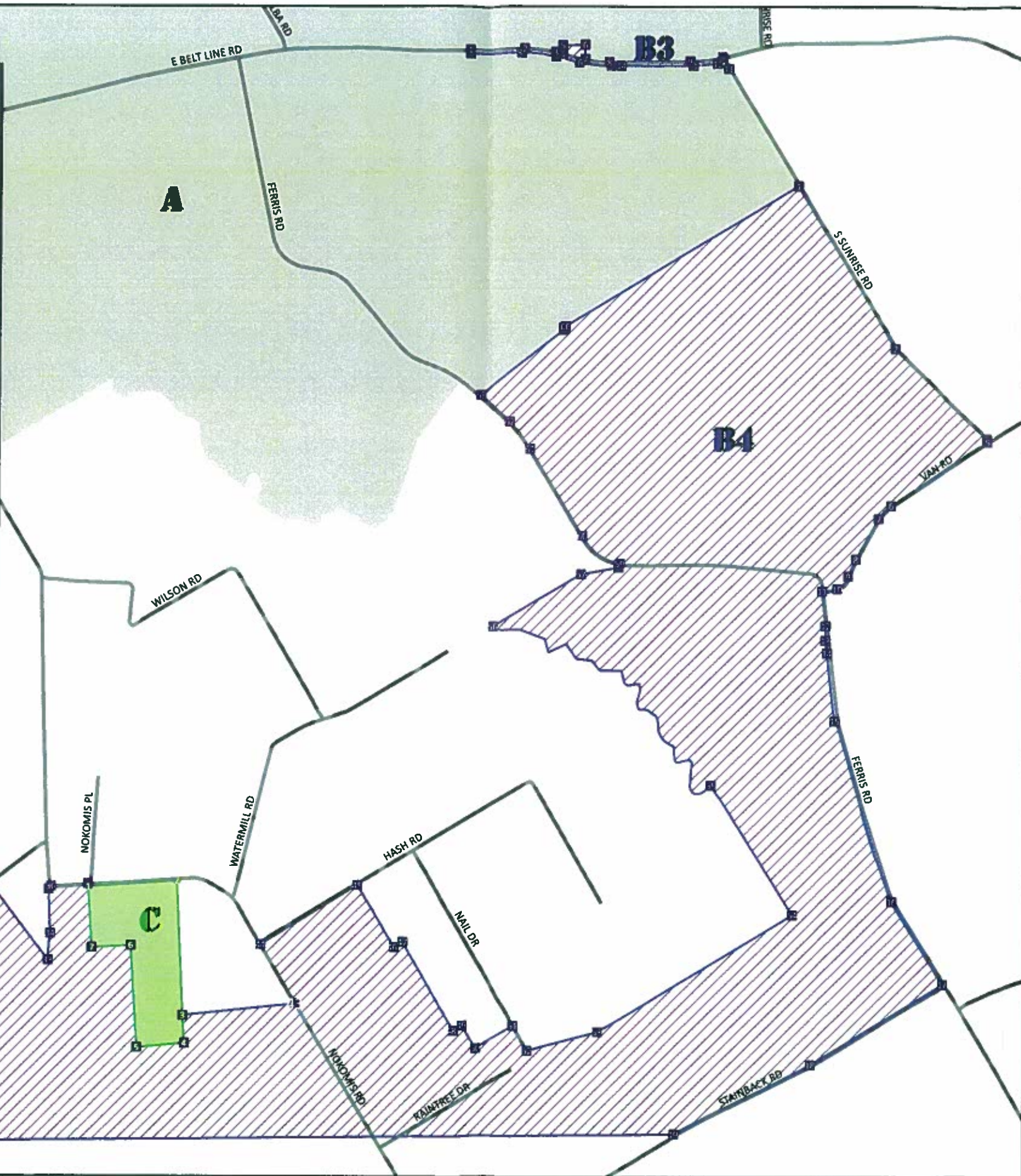
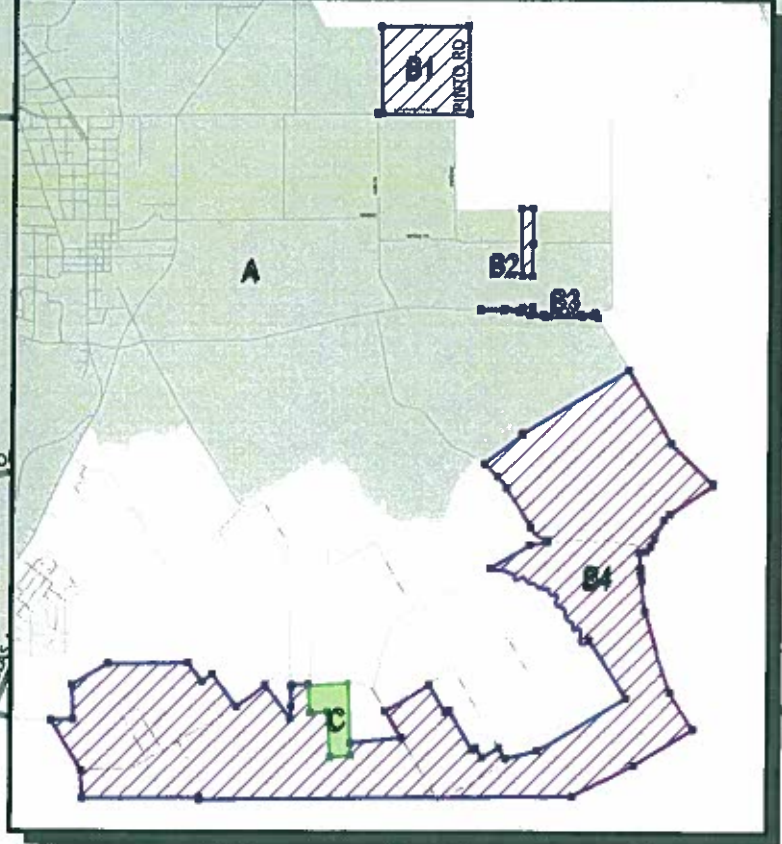

DOLLE K. DOWNE, CITY SECRETARY

APPROVED AS TO FORM:






A handwritten signature in black ink, appearing to read "Robert E. Hager", written over a horizontal line.

ROBERT E. HAGER, CITY ATTORNEY
(REH/cdb)

LOCATION OVERVIEW



Legend

-  Previous City Limits
-  Area "B" Coord. Points
-  Area "C" Coord. Points
-  Annex Area "B"
-  Parcel not included pursuant to agricultural agreement § 43.035 Texas Local Government Code

*See page #2 for coordinate point information.

Exhibit "A"
Page 1 of 2



City Limits 33.067 Square Miles



- page 1 of 2 -

City of Lancaster
2011 Annexation

date: 11/14/2011

2011 Annexation Coordinate Points

Area	ID	X Coordinate	Y Coordinate
B1	1	2514279.849	6909897.669
	2	2516946.597	6909919.591
	3	2516993.706	6907258.320
	4	2514194.916	6907223.629
	5	2514194.304	6907262.391
	6	2514327.126	6907263.081

Area	ID	X Coordinate	Y Coordinate
B2	1	2518585.435	6904385.824
	2	2518941.854	6904396.119
	3	2518960.185	6903302.688
	4	2518934.986	6903304.746
	5	2518942.121	6902329.703
	6	2518626.657	6902323.225

Area	ID	X Coordinate	Y Coordinate
B3	1	2517369.400	6901320.613
	2	2518121.632	6901336.046
		Follow Curve in Road	
	3	2518548.041	6901291.369
	4	2518643.503	6901267.347
	5	2518641.667	6901382.350
	6	2518951.498	6901388.660
	7	2518953.448	6901192.918
		Follow Curve in Road	
	8	2519285.386	6901149.956
	9	2520401.129	6901169.450
		Follow Curve in Road	
	10	2520846.427	6901221.943
	11	2520928.282	6901062.226
	12	2520776.313	6901132.977
	13	2520449.967	6901104.130
	14	2519451.660	6901101.673
	15	2519316.348	6901100.203
		Follow Curve in Road	
	16	2518874.646	6901145.706
	17	2518552.901	6901224.701
		Follow Curve in Road	
	18	2518081.218	6901278.137
	19	2517370.181	6901267.312

Area	ID	X Coordinate	Y Coordinate
B4	1	2521886.559	6899455.456
	2	2523210.493	6897236.294
	3	2524477.940	6895996.117
	4	2524487.546	6895977.097
	5	2524485.611	6895956.361
	6	2523167.689	6895076.484
		Follow Curve in Road	
	7	2523003.087	6894897.700
	8	2522698.512	6894337.892
	9	2522594.380	6894104.819
		Follow Curve in Road	
	10	2522450.033	6893934.016
	11	2522247.302	6893900.859
	12	2522298.034	6893422.885
	13	2522299.864	6893221.893
	14	2522318.685	6893049.813
	15	2522428.751	6892115.884
	16	2523218.544	6889637.463
	17	2523921.105	6888507.030
	18	2522118.671	6887405.688
	19	2520266.793	6886458.215
		Follow County Boundary	
	20	2508923.908	6886331.474
	21	2508923.082	6886389.048
		Follow County Boundary	
	22	2505363.570	6886346.207
	23	2505341.583	6887205.968
	24	2504421.427	6888730.568
	25	2505069.265	6888774.928
	26	2505053.189	6889813.457
	27	2506131.204	6890461.383
	28	2508565.268	6890496.599
	29	2508984.192	6889922.985
	30	2509296.023	6890161.885
	31	2510032.472	6889160.533
	32	2510906.769	6889830.236
	33	2511682.784	6888816.918

Area	ID	X Coordinate	Y Coordinate
C	1	2512227.645	6889816.317
	2	2513432.553	6889900.636
	3	2513515.91	6888066.684
	4	2513533.535	6887687.198
	5	2512888.389	6887628.773
	6	2512807.715	6889018.934
	7	2512275.71	6888988.061

Area	ID	X Coordinate	Y Coordinate
B4	34	2511710.028	6889181.374
	35	2511687.999	6889784.656
	36	2511718.636	6889822.309
	37	2513426.758	6889944.339
	38	2513515.870	6888066.680
	39	2515061.571	6888231.156
	40	2514579.585	6889037.413
	41	2515904.491	6889845.406
	42	2516408.328	6889003.175
	43	2516528.304	6889070.189
	44	2514579.585	6889037.413
	45	2515904.491	6889845.406
	46	2516408.328	6889003.175
	47	2516528.304	6889070.189
	48	2517227.484	6887863.985
	49	2517344.533	6887934.005
	50	2517530.873	6887623.935
	51	2518048.628	6887935.033
	52	2518247.885	6887594.378
	53	2519209.895	6887849.182
	54	2521863.378	6889450.983
	55	2520747.681	6891227.344
		Follow Creek Centerline	
	56	2517733.728	6893404.539
	57	2518948.083	6894125.891
		Follow Curve in Road	
	58	2519460.942	6894218.979
	59	2519477.523	6894274.499
	60	2518962.335	6894656.713
	61	2518230.715	6895853.060
	62	2517946.882	6896222.146
	63	2517545.964	6896594.048
	64	2518686.547	6897485.969
	65	2518676.461	6897513.769
	66	2518701.869	6897529.138

Projected Coordinate System: NAD1983 StatePlane Texas North Central FIPS 4202 Feet
 Projection: Lambert Conformal Conic
 False Easting: 1968500.000000000
 False Northing: 6561666.666666667
 Central Meridian: -98.500000000
 Standard Parallel 1: 32.13333333
 Standard Parallel 2: 33.966666667
 Latitude of Origin: 31.666666667
 Linear Unit: Foot US

RESOLUTION NO. 2010-04-46

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS, ADOPTING AN ANNEXATION SERVICE PLAN FOR APPROXIMATELY 8.4 SQUARE MILES OF EXTRATERRITORIAL JURISDICTION PURSUANT TO RESOLUTION 2008-11-48; PROVIDING A REPEALING CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City has taken an inventory of the services with the area sought to be annexed according to the adoption of an annexation plan by Resolution 2008-11-48; and

WHEREAS, the City has held public hearings on inventory of services and proposed service plan at duly convened meetings of the City Council; and

WHEREAS, the Dallas County has by Court Order appointed five (5) property owners, or their representative, within the area sought to be annexed, such persons being Melissa Adams, Lynnette Taft, Clyde Hargrove, Cheryl Williams and Winn Morton; and

WHEREAS, the committee has met with representatives of the City to discuss proposed service plan; and

WHEREAS, the City Council finds that the Annexation Service Plan which is attached hereto and incorporated herein by reference as Exhibit "A" provides equal services then to other residents within the City in accordance with state law; and

WHEREAS, the City Council at a duly convened meeting has considered the adoption of such Resolution and the attached Service Plan.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, DALLAS COUNTY, TEXAS:

SECTION 1. That the Annexation Service Plan which is attached hereto and incorporated herein as Exhibit "A" is hereby adopted for the annexation of certain property into the corporate limits of the City of Lancaster, Texas, in accordance with Resolution 2008-11-48.

SECTION 2. That such Service Plan may be amended at the request of the property owners and/or at the discretion of the City Council in accordance with state law.

SECTION 3. That all provisions of the resolutions of the City of Lancaster, Texas, in conflict with the provisions of this Resolution be, and the same are hereby, repealed, and all other provisions not in conflict with the provisions of this Resolution shall remain in full force and effect.

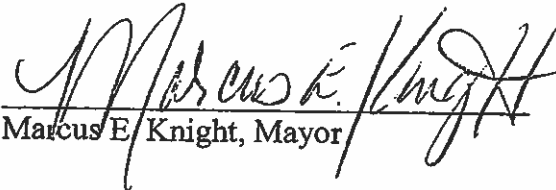
SECTION 4. That should any word, phrase, paragraph, or section of this Resolution be held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Resolution as a whole, or any part or provision thereof other than the part so decided to be

unconstitutional, illegal or invalid, and shall not affect the validity of the Resolution as a whole.

SECTION 5. That this Resolution shall take effect immediately from and after its passage as the law and charter in such cases provide.


DULY PASSED and approved by the City Council of the City of Lancaster, Dallas County, Texas, on this the 26th day of April 2010.

APPROVED:



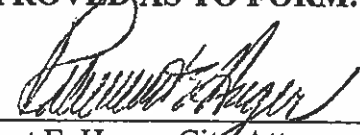
Marcus E. Knight, Mayor

ATTEST:



Dolle K. Downe, City Secretary

APPROVED AS TO FORM:



Robert E. Hager, City Attorney

**City of Lancaster, Texas
Annexation Service Plan
For Area Southwest of Current City Limits**

I. Area Annexed

On November 10, 2008, the City of Lancaster, Texas, (the "City") adopted a plan of annexation whereby the areas described on Exhibit A (collectively the "Annexation Area") will be annexed into the City's municipal boundaries no later than December 10, 2011. The effective date of annexation is referred to as the "Annexation Date."

The Annexation Area contains one geographically contiguous: South and southwest of the current city limits (as shown in the attached **Exhibit A**). While most of the Service Plan addresses annexation area-wide needs and concerns, when a specific sub-area is to receive a service or improvement it will be identified in the Service Plan.

II. Introduction

Pursuant to Section 43.056 of the Texas Local Government Code, the City hereby adopts the following service plan (the "Service Plan") for the Annexation Area. Municipal facilities and services to the Annexation Area shall be provided or made available on behalf of the City in accordance with the following Service Plan.

III. Ad Valorem (Property Owner) Tax Services

A. Police Protection, Code Compliance, and Animal Services

1. Police Protection & Facilities

The Lancaster Police Department (LPD) will provide protection and law enforcement services in the Annexation Area, commencing on the Annexation Date. These services shall include, but not be limited to: assigned Random Patrol, (hereinafter defined) required responses; special units, such as traffic enforcement, criminal investigations, narcotics, gang suppression, and SWAT; and community programs such as Neighborhood Watches, Citizens Police Academy, Crime Prevention, Citizens on Patrol, and Community Forums.

a. Patrols.

On or after the Annexation Date, the City will service the area with the then existing staff and random patrol is accomplished by a minimum of twenty-four (24) hour, seven (7) days a week shift coverage of 6-7 patrol officers and/or supervisors located at 1650 N. Dallas Avenue.

The main Police facility will be staffed with the current normal staff level with an average of 6-7 TCLEOSE certified peace officers per shift at all times not including supervisor. At least one supervisor, with the grade of sergeant or higher will be on each shift for purposes of supervision of all police activity. A minimum of two E911 dispatchers are assigned to each shift in the emergency communications center.

(b) Equipment.

The City shall purchase and maintain the necessary weapons, equipment, uniforms, and communications devices to equip each police officer for duty as activity warrants. This equipment shall generally include, but not be limited to:

Police vehicles are equipped with all standard police safety, communications, and computer equipment, including but not limited to a first aid kit, flares, surgical gloves, a fire extinguisher, defibrillator, and OB pack and maintain in operable condition.

Each police officer is provided with the required equipment and uniforms, winter jackets, traffic vests, hats, buttons, and securing pins, badges, one bullet-proof vest, utility belt, baton, handcuffs, zip cuffs, flashlight, radio, microphone, pepper spray, holster with attachments, hand gun, shotgun, or assault rifle, ammunition for each weapon, and a Taser which may be required to carry out the task and responsibilities of a peace officer.

(c) Dedicated Patrols.

Unless required by exigent circumstances, at the direction of the Chief of Police or designee, all police officers stationed at the police station shall be assigned, and carry out Patrols in their assigned area to include regular daily patrol of the newly annexed area.

(d) Future Patrol and Police Protection.

Based on current available data from Dallas County Sheriff, the City is able to absorb current call levels into its current shift and patrol function. As density or development and increase demand take place, the City shall annually assess the needs to increase staffing and capital assets to the annexed areas. Since the current density and development has been constant in the annexed area, commitment of additional resources without anticipated demand will not warrant additional manpower and capital allocation. The

additional patrol area requires a time commitment which can be currently incorporated into existing demands.

2. Code Compliance

Code compliance services shall be provided to the Annexation Area.

Upon the Annexation Date, one (1) code compliance officer shall be assigned to provide regular code compliance services to the Annexation Area. Code Compliance Officers are provided with the necessary uniforms and equipment necessary to conduct compliance activities and inspections.

Code Compliance Officers respond to complaints and perform routine compliance inspections.

3. Animal Services

The City has two animal service officers that will also provide service to the Annexation Area for domestic pets and at large livestock, registration and redemption of household domestic pets as well as a mandatory vaccination program to control rabies and other diseases.

The City will commit to consider an amendment to its animal control ordinance to implement a generally accepted standard for livestock concentrations on agricultural land within the annexed area.

In addition, large and small animal traps under the control of the City will be available for use to persons living in the annexed area upon the annexation date.

Animal Service officers have a mobile computer system in place so that they can access city records while in the field. Each Animal Services Officer is provided with the necessary uniforms and equipment to conduct animal control activities.

B. Fire Protection and Emergency Medical

1. Fire Protection / EMS

The Lancaster Fire Department shall provide first responder fire protection and prevention services and emergency medical services in the Annexation Area, commencing on the effective date of annexation. These services shall include: fire suppression and rescue; emergency medical services; hazardous materials mitigation and regulation; emergency

prevention and public education services; construction plan review; fire inspections; and emergency management planning.

2. Fire Personnel

On the effective date of the annexation, the City shall staff each Fire Station with a minimum of four firefighter / paramedic personnel.

All such personnel shall be certified under all applicable requirements by the State of Texas and operate under the medical control officer to deliver fast, efficient and competent fire suppression and emergency medical personnel.

3. Engines, Equipment

Each fire station will be equipped consistent with fire protection best practices. Such equipment will consist of at least one firefighting apparatus and one Mobile Intensive Care Unit (MICU). Other specialized units will be provided as necessary.

4. Future Staffing and Facilities.

Based on current available data from Dallas County, the City is able to absorb current call levels into its shift and functions. As density or development and increase demand take place, the City shall annually assess the needs to increase staffing and capital assets to the annexed areas. Since the current density and development has been stagnant in the annexed area, commitment of resources without anticipated demand will not warrant additional allocation. The additional area requires a time commitment which can be currently incorporated into the Department staffing and capital commitments with adequate response time for emergency assets and personnel. The addition of new territory and increase of development will cause an annual evaluation of facilities, equipment and personnel. We have anticipated that an additional public safety facility may be located in the Sunrise district near the Lancaster Regional Airport. However, there is no current commitment to build such facility on a date certain.

C. Roads and Streets

The City has systematically maintained its roadways and streets as funds are available. The Street Division of the Public Works Department shall maintain public streets and roadways within the annexed area as provided in other like populated areas within the City. The City has adopted a pavement management program which systematically assesses and evaluates each of the public streets within the City and their need for

improvement and maintenance. This pavement management system program is adopted to efficiently provide services to all the citizens and to meet the needs based on the condition of public streets and roadways in the corporate limits of the City. This program, as previously stated, will be extended into the new annexed area. Each of the public streets will be placed within the management rating system and set for maintenance or replacement. The City will also provide, based on circumstances, appropriate maintenance should public safety require immediate attention to any roadway within the newly annexed area. Additionally, as to the pavement management program, the City will, as with other areas of the City, provide the appropriate right-of-way maintenance and the installation and maintenance of traffic control devices within the annexed area. Traffic signalization shall take place as warranted and as provided by state law.

As new development takes place in the annexed area, developers may be called upon to either expand or improve roadway systems in order to meet the demands of the new development. The City's Planning Department, in conjunction with the Public Works Department, shall undertake appropriate planning, design and provide for the installation of new streets within the newly annexed area as it has throughout its history within the current city limits.

The extension or improvement of roadway systems within the newly annexed area will be driven as new development takes place or redevelopment takes place within the newly annexed area. The City would anticipate that the Sunrise district as being sparsely populated and developed with roadway systems may result in new roadways being extended into that area as industrial and/or commercial development takes place in that area. In the areas which have been designated as Wilson/Nokomis and Hash areas, we would anticipate that those roadways being more of a residential and/or rural, demand would result in more of a maintenance function than as new constructed roadways. In those areas which remain undeveloped, new roadway systems can be anticipated as new develop arises.

The City would also anticipate that roadway system improvements are to be reasonably anticipated with the extension and expansion of the Loop 9 facility as it runs through the southern portion of the Sunrise district. While the final alignment of the proposed Loop 9 extension has not been determined as of the date of this Annexation Plan, the City is under the assumption that Loop 9 will be built and it will pass through those portions of the Sunrise district as delineated on the attached exhibit to this Service Plan. The construction of service roads and main travel portion of the Loop 9 limited access roadway will add new construction to the roadway systems within the newly annexed areas. Since a final determination has not been made as to the date of the construction of such roadway at the

date of this Service Plan, we can only anticipate that during the course of the life of the Service Plan that such roadway will be constructed or right-of-way will be obtained and engineering, planning and construction will take place during the life of this Annexation Plan.

As a result of future consideration regarding Loop 9, we would anticipate that this Annexation Service Plan may be amended to meet the needs as a result of new development and/or the extension of the Loop 9 highway.

Additionally, the City will commit to undertake pruning of trees which directly interfere with safe operation of motor vehicles over the roadways or streets, on an as needed basis.

D. Parks and Recreation

1. Facilities

The City shall include the area in the Parks Master Plan for future development of green space, parks, and trails.

Residents of the Annexed Area will have access to the City existing park system which includes swings, and other structures appropriate for use by children, and picnic tables and barbecue grills.

Each existing city park has picnic tables some parks include tables with coverage. Each park has trash containers placed and maintained by the City in the park. The City shall continue to provide for the routine maintenance, seasonal plantings, seeding and upkeep of all parks, open space, and trails within the park system.

The City maintains staffing adequate to provide for the activities, youth sports, recreational programming, training facility and indoor aquatic facility within the recreation center. Seasonal staff such as lifeguards is hired as necessary.

2. Programs

The City shall provide youth programs at the recreation center which may include: Dallas Blaze All Star Cheerleading, Arts & Crafts with Amber, Academics Excellence Tutoring, Sports Excellence Camps and Courses and Spring Break Basketball Camps. Programming will change as demand warrants.

The recreation center also provides adult programs such as Cardio Kickboxing, Early Risers Aerobic Class, Zumba and Body Sculpting.

The City's recreation center has a year round indoor aquatic facility that offers fitness swim, water aerobics, open swim and swim lessons for all age groups.

Athletic leagues are available for both Youth and Adult. These leagues include: Youth & Adult Basketball, Youth Soccer, Youth Baseball, Youth Football and Youth and Adult Volleyball.

The City offers some specialty programs which include Youth Advisory Committee, Friday Night Heat, The Stork's Nest, First Aid/CPR and Hunter's Education.

All programs and facilities will be available to residents of the annexed area at the same rental rates and charges as other City residents.

E. Library Facilities & Services

The Lancaster Veterans Memorial Library is open (6) days per week and until 9:00 p.m. at least three days per week. The library contains public computers with internet access, books, audio visual, DVD's and music for check out all at no cost to City of Lancaster residents. Local history and genealogy is a special collection, enriched by subscriptions to Ancestry.com, HeritageQuest, and Sanborn Map databases. Genealogy programs are sponsored by the library.

The facility is approximately 23,000 square feet in size. The City has an ALA Accredited MLS librarian, professional and paraprofessional youth and children's assistants, and part time staff to operate the library facility. The library contains tables and chairs, and all other standard furnishings for a fully operational library.

F. Building Inspections and Consumer Health Services

The Building and Inspections Department shall provide inspection services (building, electrical, plumbing, code enforcement, etc.) to residents of the Annexation Area. Building Inspections have a state of the art mobile computer system in place so that building inspectors can access city records during on-site inspections. These mobile inspection terminals shall be maintained by the City so that accurate, up to date information is available to the inspector in the field.

Consumer Health Services are performed by Dallas County Health Services Department via contract with the City of Lancaster.

G. Planning and Development Services

The City shall provide, on the effective date of the annexation, planning and development services to residents of the Annexation Area.

In addition, each of the areas sought to be annexed will be incorporated into one or more representative districts for the purpose of council representation in accordance with the Voting Rights Act of 1964.

H. Life (Senior) Center

1. Facilities

The Lancaster Life Center will be available on the effective date of the annexation to the senior citizens of the Annexation Area at the residential rate.

2. Programs

The City offers the seniors a variety of programs that include a congregate meal program for seniors 60+, bingo, bunko, dominos, table pool, Wii Fitness, bridge, arts & crafts, quilting, gardening, computer and day trips.

IV. Utility (Rate-Based) Services

A. Solid Waste Collection

The City is the exclusive residential and commercial solid waste service provider within Lancaster's city limits. Solid waste refuse collection services will be available to all residents of the Annexation Area immediately upon the Annexation Date.

1. Residential Solid Waste Services

(a) City Service. The City shall provide residential solid waste services to the Annexation Area at the prevailing in-city residential rate, and at the same level of service as the in-city level of service. Residential trash pickup shall occur weekly. Recycling services shall occur bi-weekly. Bulk/brush services shall occur every other month.

Each residential property shall receive a refuse and recycling cart. Additional carts may be obtained for an additional fee as determined by the city's master fee schedule. The City will notify all residents of the Annexation Area what day of the week their refuse and recyclables will be collected.

2. Commercial Solid Waste Service

(a) City Service. Each commercial business shall contact the city solid waste collector to arrange for service.

B. Water/Wastewater Facilities & Personnel

1. **Wastewater.** Property owners within the Annexation Area may elect to remain on their existing septic systems. Existing septic systems are legal and conforming. Any existing septic system in place on the Annexation Date shall be allowed to be repaired, replaced, or upgraded with no City fee imposed.

If a resident of the Annexation area elects to connect up to the City's wastewater service, the City shall charge the same usage rate to that resident as it does to a like dwelling unit within the City limits. A like dwelling unit is defined as the closest square footage size of an existing and served dwelling unit structure within the City to the house being connected to the service.

The city maintains the city wastewater department with 8 employees responsible for maintenance and repairs of sewer mains and manholes.

2. **Future Wastewater Service.** The City has developed a proposed phased annexation and extension of wastewater service into the proposed annexed area. The city has identified three (3) unique areas which would require individualized consideration for future potable wastewater extension of service:

- (1) **Sunrise:** (See attached map) This area is sparsely populated on the eastern portion and is adjacent to Lancaster Municipal Airport and Inland Port area. This area along with the southern portion will generate industrial, retail and commercial development. The City will commit to undertake appropriate study within two and one-half (2½) years to determine the appropriate size and extension of the wastewater service. Unless development occurs sooner, the City would look to extend waste water service to the eastern and southern corridors within seven (7) years. We would anticipate that the time frame may be accelerated by development of airport, lanport and Loop 9. The eastern portion of this area is primarily residential.

- (2) **Wilson/Nokomis:** The City has development a proposed phased annexation and extension of water service into the proposed annexed area. The City has identified this portion as the Wilson/Nokomis area, which is depicted on the attached exhibit to the Service Plan. This particular area is unique from other sections of the annexed area in that is primarily populated with single family residential homes. The need for the extension of the wastewater service in the immediate future will be basically for residential purposes. The City will commit to undertake a wastewater study of the proposed Wilson/Nokomis area and will commit to do that within

three (3) years of the date of annexation. The extension of actual wastewater services in the area will be phased in within a time period not to exceed five (5) years from the date of annexation. We would anticipate that the time frame may be accelerated due to development demands within the area as the area becomes subject to development as the City grows within the immediate future. Those areas in the Wilson/Nokomis area which are immediately adjacent to the Bear Creek Ranch as a result of the study may have wastewater service available in a more timely period or as a result of extension into the eastern portion of the Sunrise area as depicted on the attached exhibit.

- (3) **Hash Area:** This is the third identified area within the annexed area which is likely to be the last area annexed into the City. Again, this area is primarily residential and the extension of wastewater service would likewise be specifically studied within approximately two (2) years of the date of annexation of such area with future extension of wastewater services in that area to be five (5) years from the date of annexation. As with any of the areas, if development is accelerated, the cost effective extension of services into this area as in other areas of the current city limits may be accelerated within a quicker time frame. The City would anticipate that there would be full wastewater services within the area within the ten (10) year service date time. There are other areas currently in the City, which due to its sparse population and lack of development, do not have wastewater services and we would treat the areas to be annexed with the same cost effective extension of wastewater services as development occurs.

3. Water.

(a) Property owners within the Annexation Area may continue to receive service from their current retail water provider during the term of this Service Plan. Property owners will be allowed to drill and maintain water wells on-site for irrigation, agricultural, and livestock use, and for the capturing of potable water for domestic use in accordance with all Federal and State regulations and permitting requirements.

If, during the term of this Service Plan, the City requires any existing resident or business in the Annexation Area to connect to the City potable water system, the City shall bear the sole cost of extending the water service to the existing resident or business (which cost includes but shall not be limited to: all costs of extending laterals to each service point on the residents' property, trenching water lines to the customer's house, connecting service lines to the house, and providing and installing

metering devices to monitor consumption in such a way as to provide water service with no further action required by the residents), and the residential customer shall be charged the same rate for water service as charged to all in-city customers.

In the event the City provides water utility service, property owners shall not be charged higher rates based on existing water meter sizes, and the City shall not be allowed to replace existing meters with smaller units. The city shall charge the same rate currently charged to all City of Lancaster customers.

(b) Future Water Service. The City has developed a proposed phased annexation and extension of water service into the proposed annexed area. The city has identified three (3) unique areas which would require individualized consideration for future potable water extension of service:

- (1) Sunrise:** (See attached map) This area is sparsely populated on the eastern portion and is adjacent to Lancaster Municipal Airport and Inland Port area. This area along with the southern portion will generate industrial, retail and commercial development. The City will commit to undertake appropriate study within two and one-half (2½) years to determine the appropriate size and extension of the water service. Unless development occurs sooner, the City would look to extend water service to the eastern and southern corridors within five (5) to six (6) years. We would anticipate that the time frame may be accelerated by development of airport, lanport and Loop 9. The eastern portion of this area is primarily residential. The City will study during the next eighteen (18) months the extension or connection through the Bear Creek Subdivision into the Green Acres area within four (4) years.
- (2) Wilson/Nokomis:** The City has development a proposed phased annexation and extension of water service into the proposed annexed area. The City has identified this portion as the Wilson/Nokomis area, which is depicted on the attached exhibit to the Service Plan. This particular area is unique from other sections of the annexed area in that is primarily populated with single family residential homes. The need for the extension of the water service in the immediate future will be basically for residential purposes. The City will commit to undertake a water study of the proposed Wilson/Nokomis area and will commit to do that within three (3) years of the date of annexation. The extension of actual water services in the area will be phased in within a time period not to exceed five (5) years from the date of annexation. We would anticipate that the time frame may be accelerated due to development demands within the area as the area becomes subject

to development as the City grows within the immediate future. Those areas in the Wilson/Nokomis area which are immediately adjacent to the Bear Creek Ranch as a result of the study may have water service available in a more timely period or as a result of extension into the eastern portion of the Sunrise area as depicted on the attached exhibit.

- (3) **Hash Area:** This area is primarily residential and the extension of water service would likewise be specifically studied within approximately two (2) years of the date of annexation of such area with future extension of water services in that area to be five (5) years from the date of annexation. As with any of the areas, if development is accelerated, the cost effective extension of services into this area as in other areas of the current city limits may be accelerated within a quicker time frame. The City would anticipate that there would be full water services within the area within the ten (10) year service date time. There are other areas currently in the City, which due to its sparse population and lack of development, do not have water services and we would treat the areas to be annexed with the same cost effective extension of water services as development occurs.

3. Operation.

All water and wastewater service shall be operated according to Lancaster's City Code, Federal and State law, and TCEQ requirements.

C. Drainage Services

The same standard of drainage maintenance provided to other residents of the City shall be provided to the residents of the Annexation Area on the Annexation Date. The City is responsible to provide repair of surface drainage repair or maintenance of storm water system or surface water which is impeded as the result of silting and obstructions. Routine maintain of over growth and vegetation remain the responsibility of adjacent property owners.

V. Zoning of Annexation Area

The Annexation Area shall be zoned to Agricultural. As development and uses change the annexed area will be rezoned in accordance with the Lancaster Comprehensive Land Use Plan.

VI. Capital Improvements Program

The Annexation Area shall be incorporated into the City's capital improvements program (CIP) and comprehensive plan. Capital Improvements, including but not limited to

streets, water mains, wastewater, and drainage, shall not be paid for through the levying of special assessments on adjacent property owners in the Annexation Area. Notwithstanding anything in this Service Plan, capital improvements in the Annexation Area shall be made according to sound municipal planning principles and practices.

VII. Term

This Service Plan shall be valid for ten (10) years. The Service Plan is eligible for renewal at the discretion of the City.

VIII. Amendments

The City Council may amend the Service Plan to conform to the changed conditions of subsequent occurrences pursuant to the Texas Local Government Code or accommodate significant changes in the population and density characteristics of the Annexation Area. Any amendment to the Service Plan must provide for services that are comparable to or better than those established in the Service Plan before amendment. Any resident of the Annexation Area may dispute the finding that the amendment provides comparable or better service to the Annexation Area. The resident must submit a request within 90 days of the amendment, and request mediation first. Any dispute regarding whether an amendment to the Service Plan provides for comparable or better services shall be first resolved through mediation. Mediation shall be conducted by the Dallas County Commissioner's Court. If the Commissioner's Court fails to resolve the dispute, either party may utilize all legal remedies.

IX. Conflicts

In the event that any provision of this Service Plan conflicts with any other plan, comprehensive plan, or program of the City of Lancaster, the provision contained in this Service Plan shall control.

X. Miscellaneous

As part of its commitment to further not adversely affect the current area, the City Council, when enacting environmental or regulatory ordinances, shall consider an exception or special regulation for rural and/or agricultural property.

(a) Junk Motor Vehicles. Junk Motor Vehicles (as defined in the Texas Transportation Code) shall not be allowed to be placed on any property so that they are visible from a public street or alley.

(b) Ornamentation. Any art or other ornamentation, including but not limited to antique tractors, farm implements, or other antique ornamentation, shall be allowed to be displayed on any property for the purpose of aesthetics, or for the purpose of sale. If for the purpose of sale, the Ornamentation cannot be

displayed for more than three times a year, each sales period not being greater than ten days. Seasonal ornamentation shall be allowed, including holiday decorations. No permit or fee shall be required by the City for the display of Ornamentation.

(c) Pre-Existing Structures. Any and all structures, including accessory structures and temporary structures, that are located on any property in the Annexation area on the Annexation Date, shall be allowed to remain on any property in the Annexation Area, shall be legal and nonconforming, and shall not become illegal by subsequent action of the City during the term of this Service Plan. All Pre-Existing Structures shall be allowed to be rebuilt, repaired, or expanded so long as the expansion does not create an additional degree of non-conformity.

Any structure, in which construction has started on the Annexation Date but has not been completed, shall be allowed to continue to completion, and no additional permits or fees shall be required by the City.

(d) Oversized Vehicles. Oversized vehicles in accordance with current city ordinance shall continue to be allowed to be parked in the Annexation Area on the Public Street adjacent to the property of the resident or owner; however, commercial motor vehicles shall not be permitted to be parked on any residential streets.

(e) Animals. Any and all pre-existing uses of land shall include the use of land for the keeping, raising, and sale of animals, including livestock and pets, in accordance with generally accepted agricultural service. [See III. A. 3. "Animals".]

(f) Severe Weather Warning System. A severe weather warning system shall be installed and maintained so that residents in the Annexation Area are warned of the approach of oncoming severe weather. This Outdoor Early Warning system must be adequate to warn residents of the Annexation Area. One additional Outdoor Early Warning Siren will be located in the area.

(g) Cable Service. The City currently has franchised a cable or telecommunications provider(s) within the current jurisdictional boundaries. The City shall invite other potential franchises to provide non-exclusive cable service to annexed area residents.

(Signature Pages to follow)

Agreed:

Lynnette Taft

Dated

Clyde Hargrove

Dated

Melissa Adams

Dated

Winn Morton

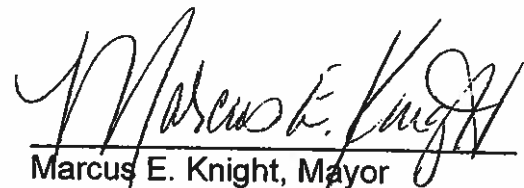
Dated

Cheryl Williams

Dated

Approved by City Council

April 26, 2010



Marcus E. Knight, Mayor

City of Lancaster Annexation Plan

Exhibit "A"



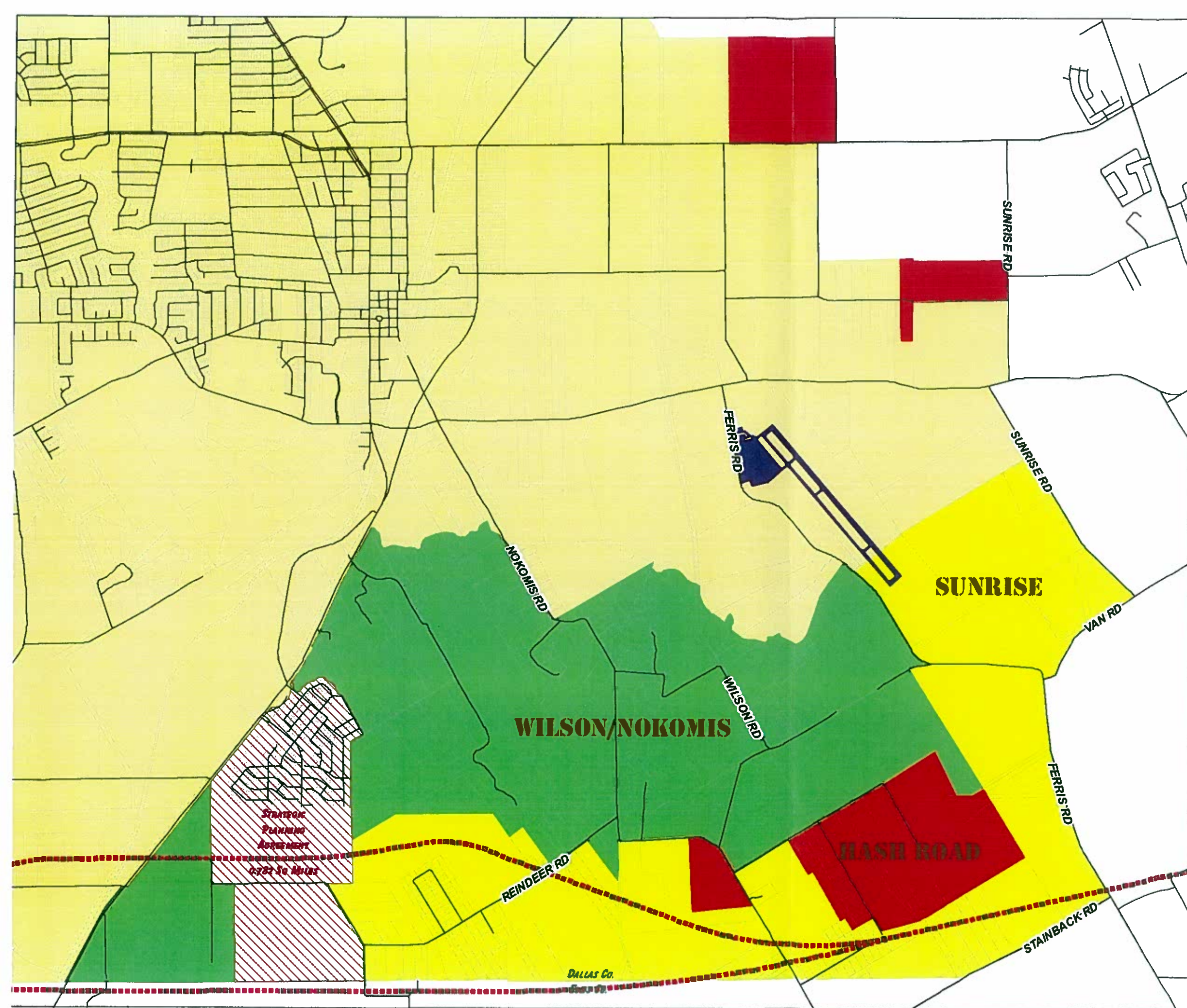
Legend

- Proposed Loop 9 Options
- City Limits - 29.835 Sq Miles
- Airport Runway
- Parcels

Annexation Plan

Phase

- Strategic Planning Agreement
- Sunrise - 2.952 Sq Miles
- Wilson/Nokomis - 3.653 Sq Miles
- Hash Road - 0.968 Sq Miles





CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 1/24/2019

NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-07:** to conduct a public hearing and consider an ordinance for a rezoning request from Agricultural Open (AO) to Single Family Residential (SF-4). The property is located north of East Reindeer Road and east of Dasher Drive and is addressed as 3223 Prancer Street. It is further described as Lot 8 Block 2 in Abstract 1554 Survey Money Weatherford, Lancaster, Dallas County, Texas.

LOCATION: The property is located north of East Reindeer Road and east of Dasher Drive and is addressed as 3223 Prancer Street.

EXPLANATION OF REQUEST: The applicant is requesting a zoning change from AO to SF-4.

☒ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☐ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: *No Comment*

SIGNATURE: *[Signature]*

ADDRESS: *3316 PRANCER*

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The Planning and Zoning Commission will hold a public hearing and take action on the above case at their meeting on **Tuesday, February 5, 2019 at 7:00 pm.** The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, February 25, 2019 at 7:00 pm.** Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Planning Division by 5 p.m. on **Monday, February 4, 2019** for your comments to be recorded for the Planning and Zoning Commission's meeting. Responses received after that time will be forwarded to the Commission at the public hearing.

If you have any questions concerning this request,
please contact the Planning Division
Phone 972-218-1315
FAX 972-218-3616

RETURN BY FAX OR MAIL
City of Lancaster
Planning Division
211 N Henry St
Lancaster, TX 75146-0940

14 Notices were mailed on 1/24/2019

P.O. Box 940 | Lancaster | Texas | 75146 | 972.218.1300 | www.lancaster-tx.com



MINUTES

PLANNING & ZONING COMMISSION REGULAR MEETING OF MAY 7, 2019

The Planning and Zoning Commission of the City of Lancaster, Texas, met in a Regular Session in the Council Chambers of City Hall on May 7, 2019 at 7:00 p.m. with a quorum present to-wit:

Commissioners Present:

Ernest Casey
Lawrence Prothro
Isabel Aguilar (Arrived on item 9)
Tamika Whitfield, Alternate

Commissioners Absent:

Jeremy Reed, Chair
Ty G. Jones, Vice-Chair

City Staff:

Bester Munyaradzi, Senior Planner
Emma Chetuya, Planner
Terry Welch, City Attorney

Call to order:

City Attorney Terry Welch called the meeting to order at 7:00 p.m. on May 7, 2019.

CONSENT AGENDA:

City Attorney Terry Welch read the consent agenda.

1. **Consider approval of minutes from the Planning and Zoning Commission Regular Meeting held on April 2, 2019.**
2. **PS 19-10 Consider a final plat for Houston School Road Industrial Park on two lots approximately 68.11 acres, located at the northwest corner of Houston School Road and Wintergreen Road. The property is more particularly described as a tract of land situated in the William Howerton Survey Abstract No. 559, City of Lancaster, Dallas County, Texas.**
3. **PS19-11 Consider a request for approval of a preliminary plat for Victron Addition, being Lot 1, Block A on approximately 2.6 acres, located on the southeast corner of I-35 East Service Road and Parkerville Road. The property is described as a tract of land situated in the Charles H. Bernard Survey, Abstract No. 128, in the City of Lancaster, Dallas County, Texas.**
4. **PS19-12 Consider a request for approval of a final plat for Carona Addition, being two (2) commercial lots on approximately 2.55 acres, located on the northeast corner of Interstate Highway 35E and Daniieldale Road. The property is described as a tract of land situated in the Silas B. Runyon Survey, Abstract No. 1199, City of Lancaster, Dallas County, Texas.**
5. **PS19-13 Consider a request for approval of a final plat for Global BTS, creating Lot 1 Block A on approximately 22.15 acres, addressed as 3130 North Longhorn Drive. The property is described as a tract of land situated in the William Howerton Survey, Abstract No. 559, in the City of Lancaster, Dallas County, Texas.**

6. **HLPC19-03 Discuss and consider a Certificate of Appropriateness to install railing, columns, and plywood to enclose the porch and replace the exterior window framings on the property located at 307 W. Main Street, Lancaster, Dallas County, Texas.**

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to approve consent items 1-6. The vote was cast 3 for, 0 against [Reed, Jones and Aguilar absent].

PUBLIC HEARING:

7. **PS19-09 Conduct a public hearing and consider a residential replat of Spring Valley Addition, subdividing Lot 2 Block B into two (2) lots (Lots 2A and 2B Block B), on approximately .352 acre, located on the northwest corner of Springcrest Circle and West Pleasant Run Road and is currently addressed as 2105 W. Pleasant Run Rd. The property is described as a tract of land recorded in volume 42, page 209, City of Lancaster, Dallas County, Texas.**

Planner Chetuya gave the staff report and stated the request is for approval of a residential replat to subdivide one (1) lot into two (2) lots for the purpose of building single family homes. Planner Chetuya explained that access to the properties will be provided from Springcrest Circle and that there are existing water and sewer lines on Springcrest Circle. The applicant will be responsible for all utilities and infrastructure necessary for development. The plat is in substantial conformance with the subdivision regulations and the Engineering division concurs with the approval of the replat.

City Attorney Terry Welch opened the public hearing.

There were no speakers.

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to close the public hearing. The vote was cast 3 for, 0 against [Reed, Jones and Aguilar absent].

Commissioner Prothro asked what is going to be done with the property after they are subdivided.

Eric Lockhart, 4041 W. Wheatland Rd., Suite 106, Dallas, TX 75237, the applicant, spoke in favor of the replat request stating the reasons for creating two lots for single-family homes as beneficial to the subdivision in relation to frontage along a major street.

MOTION: Commissioner Casey made a motion, seconded by Commissioner Prothro to approve item 7. The vote was cast for 3 for, 0 against [Reed, Jones and Aguilar absent].

8. **Z19-07 Conduct a public hearing and consider a rezoning request from Agricultural Open (AO) to SF-4 Single Family Residential. The property is located north of East Reindeer Road and east of Dasher Drive and is addressed as 3223 Prancer Street. It is further described as Lot 8, Block 2 in Abstract 1554 Survey Money Weatherford, Lancaster, Dallas County, Texas.**

Planner Chetuya gave the staff report and stated the request is to rezone the subject property from Agricultural Open (AO) to Single-Family Residential (SF-4) for the development of a single-family home on a 0.63 acre lot. Planner Chetuya stated that the current zoning only allows for agricultural uses and one single-family dwelling on five (5) acres or more. The proposed zoning change would allow up to four dwelling units per acre. The proposed change request will integrate appropriately as the area is envisioned for single-family home development. It is also consistent with the Comprehensive Plan.

Commissioner Prothro asked if the zoning change was in compliance with the current Comprehensive Plan or the previous Comprehensive Plan. Planner Chetuya confirmed the requested change is consistent with 2016 Comprehensive Plan.

City Attorney Terry Welch opened the public hearing.

There were no speakers.

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to close the public hearing. The vote was cast 3 for, 0 against [Reed, Jones and Aguilar absent].

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to approve item 8. The vote was cast 3 for, 0 against [Reed, Jones and Aguilar absent].

9. Discuss and consider amendments to Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts Subsection (a) General Residential District Standards – All residential districts (1) Residential Unit Diversity of the Lancaster Development Code amending Empty-Nester Units requirement in certain Single Family zoning districts.

Senior Planner Munyaradzi gave the staff report and stated the City Council requested this item be included on the agenda to discuss Article 14.500 District Development Regulations and Standards, Section 14.503 of the Lancaster Development Code (LDC), to amend the minimum 20 percent Empty-Nester Units requirement in single-family residential districts. Empty nesters requirement in the LDC is intended to ensure housing diversity types for young couples, empty-nesters and retirees. She noted that the proposed ordinance amendment will eliminate difficult requirements for developers to provide empty-nesters units and high quality housing types. It will also allow staff to work closely with developers with each single-family development proposal. Staff therefore recommends approval of item 9.

Commissioner Prothro asked staff to define empty-nesters units. Senior Planner Munyaradzi stated that they are homes designed for young couples or people without children and retirees.

Commissioner Aguilar opened the public hearing.

There were no speakers.

MOTION: Commissioner Aguilar made a motion, seconded by Commissioner Prothro to close the public hearing. The vote was cast 4 for, 0 against [Reed and Jones absent].

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to approve item 9. The vote was cast 4 for, 0 against [Reed and Jones absent].

10. Discuss and consider amendments to Article 14.500 District Development Regulations and Standards, Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts to add Single Family-2 (SF-2) to current residential districts; add SF-2 to various sections of the Lancaster Development Code (LDC) in addition to specifying the minimum number of dwelling units allowed per acre in the current residential districts.

Senior Planner Munyaradzi gave the staff report and stated the City Council requested this item be included on the agenda to discuss Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts to add Single-Family 2 (SF-2) to current residential districts in the Lancaster

Development Code (LDC). Senior Planner Munyaradzi stated the LDC currently has four (4) single-family residential districts: SF-E district, SF-4 district, SF-5 district and SF-6 district so the addition of SF-2 would

bridge the gap between SF-E and SF-4. The addition would promote a greater diversity of high quality housing choices with semi-rural living along with larger lots which enables the preservation of the assets of semi-rural living. Senior Planner Munyaradzi also noted that the SF-2 addition would fulfill the City Council goal and objectives for the Fiscal year 2018-2019 (FY 2018-2019) of Quality Development, which states "Consideration New Low Density Zoning Category (SF-2)". Staff therefore recommends approval of item 10.

Commissioner Prothro asked the reason for changing the residential districts. Senior Planner Munyaradzi explained that SF-2 would allow development of two (2) units per acre to close the gap between SF-E, which allows for one (1) unit per acre, and SF-4, which allows four (4) units per acre.

Commissioner Aguilar opened the public hearing.

There were no speakers.

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to close the public hearing. The vote was cast 4 for, 0 against [Reed and Jones absent].

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to approve item 10. The vote was cast 4 for, 0 against [Reed and Jones absent].

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to adjourn. The vote was cast 4 for, 0 against [Reed and Jones absent].

The meeting was adjourned at 7:25 p.m.

ATTEST:

Bester Munyaradzi, Senior Planner

APPROVED:

Jeremy Reed, Chair



CITY OF LANCASTER

SEVENING STAR OF TEXAS

Planning
Department Date:
4/12/2019

NOTICE OF PUBLIC HEARING

TO: Property Owner

RE: **Case No. Z19-07:** to conduct a public hearing and consider an ordinance for a rezoning request from Agricultural Open (AO) to Single Family Residential (SF-4). The property is located north of East Reindeer Road and east of Dasher Drive and is addressed as 3223 Prancer Street. It is further described as Lot 8 Block 2 in Abstract 1554 Survey Money Weatherford, Lancaster, Dallas County, Texas.

LOCATION: The property is located north of East Reindeer Road and east of Dasher Drive and is addressed as 3223 Prancer Street.

EXPLANATION OF REQUEST: The applicant is requesting a zoning change from AO to SF-4.

☒ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
☐ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

SIGNATURE: Jenni B...

ADDRESS: 3223 Prancer

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The Planning and Zoning Commission will hold a public hearing and take action on the above case at their meeting on **Tuesday, May 7, 2019 at 7:00 pm.** The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, June 24, 2019 at 7:00 pm.** Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Planning Division by 5 p.m. on **Wednesday, April 24, 2019** for your comments to be recorded for the Planning and Zoning Commission's meeting. Responses received after that time will be forwarded to the Commission at the public hearing.

If you have any questions concerning this request,
please contact the Planning Division
Phone 972-218-1315
FAX 972-218-3616

RETURN BY FAX OR MAIL

City of Lancaster
Planning Division
211 N Henry St
Lancaster, TX 75146-0940

13 Notices were mailed on 4/12/2019

P.O. Box 940 | Lancaster | Texas | 75146 | 972.218.1300 | www.lancaster-tx.com





CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department

Date: 4/10/2019

NOTICE OF PUBLIC HEARING

TO: Property Owner

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LOCATION: The property is located north of East Reindeer Road and east of Dasher Drive and is addressed as 3223 Prancer Street.

EXPLANATION OF REQUEST: The applicant is requesting a zoning change from AO to SF-4.

☒ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☐ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

SIGNATURE:

Efrain Zumbado

ADDRESS:

3316 Dasher Rd

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CITY OF LANCASTER

SHINING STAR OF TEXAS

Planning Department
Date: 4/10/2019

NOTICE OF PUBLIC HEARING

TO: Property Owner

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LOCATION: The property is located north of East Reindeer Road and east of Dasher Drive and is addressed as 3223 Prancer Street.

EXPLANATION OF REQUEST: The applicant is requesting a zoning change from AO to SF-4.

☐ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☒ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

We should leave our zoning the way it was originally intended.

SIGNATURE:

Shirley Martin / Richard Martin

ADDRESS:

3220 Dasher St. Lancaster, Tx 75146

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The Planning and Zoning Commission will hold a public hearing and take action on the above case at their meeting on **Tuesday, May 7, 2019 at 7:00 pm**. The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, June 10, 2019 at 7:00 pm**. Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

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CITY OF LANCASTER

SHINING STAR OF TEXAS

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Date: 4/10/2019

NOTICE OF PUBLIC HEARING

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LOCATION: The property is located north of East Reindeer Road and east of Dasher Drive and is addressed as 3223 Prancer Street.

EXPLANATION OF REQUEST: The applicant is requesting a zoning change from AO to SF-4.

☐ I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

☒ I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

lowers property value, home will not fit neighborhood, puts restrictions on property

SIGNATURE:

Lan Sam Tiffani Sam

ADDRESS:

3219 Prancer St. Lancaster, Tx 75146

Your written comments are being solicited in the above case. Additional information is available in the Department of Planning at 211 N. Henry Street. The Planning and Zoning Commission will hold a public hearing and take action on the above case at their meeting on **Tuesday, May 7, 2019 at 7:00 pm**. The City Council will hold a public hearing and take action on the above case at their meeting on **Monday, June 10, 2019 at 7:00 pm**. Meetings are held in the City Council Chambers, City of Lancaster Municipal Center, 211 N. Henry Street, Lancaster, Texas.

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LANCASTER CITY COUNCIL

City Council Regular Meeting

7.

Meeting Date: 06/10/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Healthy, Safe & Engaged Community
Quality Development

Submitted by: Bester Munyaradzi, Senior Planner

Agenda Caption:

Conduct a public hearing and consider an ordinance amending the Lancaster Development Code Ordinance 2006-04-13 and as amended; Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts Subsection (a) General Residential District Standards – All residential districts (1) Residential Unit Diversity of the Lancaster Development Code amending the Empty-Nester Unit requirement in certain Single Family zoning districts.

Background:

As prescribed in the City Council Rules and Procedures as amended September 2017, Section D. City Council Agenda Process, Section 1.b., Councilmember Marco Mejia requested that an item be included on the agenda for the purpose of discussing Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts Subsection (a) General Residential District Standards – All residential districts (1) Residential Unit Diversity of the Lancaster Development Code to amend the minimum of 20 percent Empty-Nester Units requirement in single family residential districts.

Article 14.500 District Development Regulations and Standards Section 14.503 Residential Districts Subsection (a) General Residential District Standards — All residential districts (1) Residential Unit Diversity of the Lancaster Development Code which currently states that:

Sec. 14.503 Residential Districts

(a) General Residential District Standards – All residential districts.

(1) Residential Unit Diversity

A. Requirement for Single Family Districts. In order to ensure a diversity of housing types for young couples, empty-nesters and retirees, a portion of the total number of lots and units in certain Single Family zoning districts shall meet the standards for Empty-Nester Units.

1. In residential subdivisions in SF-4, SF-5 and SF-6 zoning districts, developments of 20 or more acres in size which are being developed to within 20% of the maximum allowable density, shall contain a minimum of 20 percent Empty-Nester Units.

2. Such units shall fall under the district's overall density cap.

B. Empty-Nester Units may include single family lots or two-story townhouses and are characterized as:

1. Single family living units which are 1,000 to 1,400 s.f. in size; Townhouses must be at least 1,200 s.f. with no maximum size. An SUP shall be required for units down to 850 s.f.
2. Lots which are between 30 and 50 feet wide; Townhouses must be a minimum of 20 feet in width.
3. All such lots shall be within 300 feet of publicly accessible open space of at least 4,000 s.f. which has a minimum dimension of 50 feet. Single family or Townhouse lots must face or side onto this open space.
4. Notwithstanding the above, Empty-Nester units may also include homes designed and built to appear like a traditional large home, but which may include up to four living units meeting the size limitations above.

At the December 3, 2018 City Council Special Work Session Meeting, the Council discussed and expressed the desire for the City to have high end custom homes and discussions on empty nesters. Recognizing the City Council's goal for high end custom homes, staff prepared an ordinance that would amend empty nester requirements while complimenting the City Council's goal to promote luxury homes and housing diversity.

The attached 2016 Comprehensive Plan Implementation Strategy under Regulations 1.10 states that "Review zoning and other development regulations to streamline development of the full range of housing for seniors". To both streamline the development of senior housing while promoting greater diversity of high quality housing choices, in addition to accommodating a variety of life styles and needs, staff is proposing an ordinance that amends Article 14.500 District Development Regulations and Standards Section 14.503 Residential Districts Subsection (a) General Residential District Standards.

Operational Considerations:

The purpose of this request is to streamline the empty-nester requirements in order to promote the development of high quality housing choices that accommodate a variety of life styles and needs. The empty nester requirement in the LDC is intended to ensure a diversity of housing types for young couples, empty-nesters and retirees.

The City of Lancaster's survey cities such as Keller, Haltom City, Grand Prairie, Cedar Hill and DeSoto have no empty-nester requirements. The City of Frisco promotes housing type diversity by working closely with developers at the time of zoning to provide a mixture of product types within a development and regulates standards with a Planned Development (PD).

The proposed ordinance requires residential diversity to promote housing variety for differing life styles and needs as noted above. Furthermore, the proposed ordinance eliminates requirements from the current regulations that make it difficult for developers to provide high quality custom-built homes but rather supports high quality and diverse homes by removing and modifying elements as summarized below.

Below is a summary of what the ordinance proposes:

1. Require 20% Empty-Nester Units in SF-4, SF-5 and SF-6 zoning districts being developed within 20% of maximum allowable density or not.
2. Allow the portion not being developed as empty-nester units to be developed at the base zoning district densities and not fall under the overall density cap.
3. Remove empty-nester unit sizes and lot width specifications and allow for flexibility in development.
4. Remove design criteria for creativity in the design of empty-nester units.

Legal Considerations:

This item is being considered at a Regular Meeting of the City Council noticed in accordance with the Texas Open Meetings Act.

Public Information Considerations:

On April 14, 2019 a notice for this public hearing appeared in the Focus Daily Newspaper. There were no comments received in support or in opposition of this request.

Options/Alternatives:

1. City Council may approve the ordinance, as presented.
2. City Council may approve the ordinance with some changes and state those changes.
3. City Council may deny the ordinance.

Recommendation:

The Planning & Zoning Commission recommended approval of the proposed amendments at their May 7, 2019 meeting.

Staff concurs with the P&Z Commission and recommends approval of the ordinance, as presented.

Attachments

Ordinance
Current Empty Nester Standards
Proposed Empty-Nester Amendment
Clean Empty-Nester Version
Comprehensive Plan Except
P&Z Agenda Communication with attachments (May 7, 2019)
P&Z Draft Minutes

ORDINANCE NO.

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS AMENDING ORDINANCE 2006-04-13, (THE LANCASTER DEVELOPMENT CODE), ARTICLE 14.500 DISTRICT DEVELOPMENT REGULATIONS AND STANDARDS, SECTION 14.503 RESIDENTIAL DISTRICTS (A) GENERAL RESIDENTIAL DISTRICT STANDARDS AMENDING - ALL RESIDENTIAL DISTRICTS (1) RESIDENTIAL UNIT DIVERSITY OF LANCASTER DEVELOPMENT CODE; AMENDING EMPTY-NESTER UNIT REQUIREMENTS IN CERTAIN SINGLE FAMILY ZONING DISTRICTS; PROVIDING A REPEALING CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH AND EVERY OFFENSE, AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Lancaster, Texas has determined to amend Ordinance 2006-04-13, (the Lancaster Development Code) Article 14.500 District Development Regulations and Standards, Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts (a) General Residential District Standards – All residential districts (1) Residential Unit Diversity of the Lancaster Development Code and amend Empty-Nester Unit requirements in certain Single Family zoning districts; and

WHEREAS, the City Council has determined that high quality diverse custom homes promote and enhance the City as a desirable community in which to live and do business, and that a pleasing, visually attractive environment is of the foremost importance; and

WHEREAS, the City Council, has determined that greater diversity in high quality housing accomodates a variety of life styles and needs; and

WHEREAS, the City Council further has determined that Chapter 14 of the Lancaster Development Code should be amended, as provided herein:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the Lancaster Development Code Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts Subsection (a) General Residential District Standards – All residential districts (1) Residential Unit Diversity of the Lancaster Development Code be, and the same is, hereby amended as follows:

Sec. 14.503 Residential Districts

(a) General Residential District Standards – All residential districts.

(1) Residential Unit Diversity

A. Requirement for Single Family Districts. In order to ensure a diversity of housing types for young couples, empty-nesters and retirees, a portion of the total number of lots and units in certain Single Family zoning districts shall meet ~~the standards for~~ the following Empty-Nester Unit requirements:

1. In residential subdivisions in SF-4, SF-5 and SF-6 zoning districts, developments of 20 or more acres in size ~~which are being developed to within 20% of the maximum allowable density,~~ shall contain ~~a minimum of~~ 20 percent Empty-Nester Units.

2. ~~Such units shall fall under the district's overall density cap.~~ The portion of the development not being developed as Empty-Nester Units shall be developed at the densities specified in the base zoning district.

3. Empty-Nester Units shall include single family lots or two-story townhouses ~~and are~~ characterized as

~~4. Single family living units, which are 1,000 to 1,400 s.f. in size; Townhouses must be at least 1,200 s.f. with no maximum size. An SUP shall be required for units down to 850 s.f.~~

~~2. Lots which are between 30 and 50 feet wide; Townhouses must be a minimum of 20 feet in width.~~

~~3. All such lots shall be within 300 feet of publicly accessible open space of at least 4,000 s.f. which has a minimum dimension of 50 feet. Single family or Townhouse lots must face or side onto this open space.~~

4. ~~Notwithstanding the above,~~ Empty-Nester Units ~~may also~~ shall be designed and built to appear like any traditional large home. ~~but which may include up to four living units meeting the size limitations above.~~

SECTION 2. That all provisions of the Code of Ordinances in conflict with the provisions of this ordinance be, and the same are hereby, repealed, and all other provisions of the Code of Ordinances not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That should any word, sentence, paragraph, subdivision, clause, phrase or section of this ordinance, or of the Code of Ordinances, as amended hereby, be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said ordinance or the Code of Ordinances, as amended hereby, which shall remain in full force and effect.

SECTION 4. That any person, firm, or corporation violating any provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the City of Lancaster, as heretofore amended and upon conviction shall be punished by a fine not exceeding \$2,000.00. The penalty imposed for a violation of this ordinance shall not exceed or be less than the penalty prescribed by state law, and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 5. That this ordinance shall take effect immediately from and after its passage as the law and charter in such cases provide.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 10th of June, 2019.

ATTEST:

APPROVED:

Sorangel O. Arenas, City Secretary

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney

Sec. 14.503 Residential Districts

- (a) General Residential District Standards – All residential districts.

(1) Residential Unit Diversity

- A. Requirement for Single Family Districts. In order to ensure a diversity of housing types for young couples, empty-nesters and retirees, a portion of the total number of lots and units in certain Single Family zoning districts shall meet the standards for Empty-Nester Units.
1. In residential subdivisions in SF-4, SF-5 and SF-6 zoning districts, developments of 20 or more acres in size which are being developed to within 20% of the maximum allowable density, shall contain a minimum of 20 percent Empty-nester Units.
 2. Such units shall fall under the district's overall density cap.
- B. Empty-Nester Units may include single family lots or two-story townhouses and are characterized as
1. Single family living units which are 1,000 to 1,400 s.f. in size; Townhouses must be at least 1,200 s.f. with no maximum size. An SUP shall be required for units down to 850 s.f.
 2. Lots which are between 30 and 50 feet wide; Townhouses must be a minimum of 20 feet in width.
 3. All such lots shall be within 300 feet of publicly accessible open space of at least 4,000 s.f. which has a minimum dimension of 50 feet. Single family or Townhouse lots must face or side onto this open space.
 4. Notwithstanding the above, Empty-Nester units may also include homes designed and built to appear like a traditional large home, but which may include up to four living units meeting the size limitations above.

PROPOSED EMPTY-NESTER AMENENDMENTS

Sec. 14.503 Residential Districts

(a) General Residential District Standards – All residential districts.

(1) *Residential Unit Diversity*

A. **Requirement for Single Family Districts.** In order to ensure a diversity of housing types for young couples, empty-nesters and retirees, a portion of the total number of lots and units in certain Single Family zoning districts shall meet ~~the standards for the following~~ Empty-Nester Units requirements:

1. In residential subdivisions in SF-4, SF-5 and SF-6 zoning districts, developments of 20 or more acres in size ~~which are being developed to within 20% of the maximum allowable density~~, shall contain a minimum of 20 percent Empty-Nester Units.
2. ~~Such units shall fall under the district's overall density cap.~~ The portion of the development not being developed as Empty-Nester Units shall be developed at the densities specified in the base zoning district.

B 3. Empty-Nester Units shall include single family lots or two-story townhouses and are characterized as

- ~~1. Single family living units. which are 1,000 to 1,400 s.f. in size; Townhouses must be at least 1,200 s.f. with no maximum size. An SUP shall be required for units down to 850 s.f.~~
- ~~2. Lots which are between 30 and 50 feet wide; Townhouses must be a minimum of 20 feet in width.~~
- ~~3. All such lots shall be accessible open space of at least 4,000 s.f. which has a minimum dimension of 50 feet. Single family or Townhouse lots must face or side onto this open space.~~
4. ~~Notwithstanding the above,~~ Empty-Nester Units shall be ~~may also include homes designed and built to appear like any traditional large home. but which may include up to four living units meeting the size limitations above.~~

CLEAN EMPTY NESTER VERSION

Sec. 14.503 Residential Districts

(a) General Residential District Standards – All residential districts.

(1) *Residential Unit Diversity*

A. **Requirement for Single Family Districts.** In order to ensure a diversity of housing types for young couples, empty-nesters and retirees, a portion of the total number of lots and units in certain Single Family zoning districts shall meet the following Empty-Nester Unit requirements:

1. In residential subdivisions in SF-4, SF-5 and SF-6 zoning districts, developments of 20 or more acres in size shall contain 20 percent Empty-Nester Units.
2. The portion of the development not being developed as Empty-Nester Units shall be developed at the densities specified in the base zoning district.
3. Empty-Nester Units shall include single family lots or two-story townhouses characterized as single family living units.
4. Empty-Nester Units shall be designed and built to appear like any traditional large home.

#	Implementation Strategy	Primary Plan Strategy	Supportive of Additional Plan Strategies	Implementation Category	Timing	City Council Strategic Focus Areas	Intervention Level	Public Sector Cost
4.12	Encourage a full-service array of retail and service opportunities, thus limiting the necessity by residents and employees to leave the community to purchase goods and services.	ED		P	3	HS,QD		\$
5.11	Reevaluate potential funding sources and partnerships to help implement the new master plans.	OS&R		P	2	FS		\$
7.02	Create a downtown business owners' association, BID or other similar organization to take the lead on Town Square events, activities, marketing and other enhancements.	HP	ED, OS&R	P	1	CE		\$
7.06	Establish a partnership including the City, the Chamber, the downtown business owners' association and others to implement technology improvements to the Town Center area.	HP	ED	P	2	CE		\$
8.01	Evaluate and fill gaps in the services and amenities desired by seniors, from active seniors to those in care facilities.	PF	OS&R	P	2	HS		\$\$
8.02	Evaluate current synergies and partnerships between various departments and facilities and identify other areas where partnerships could be developed, such as a joint performance center shared between the city and the Lancaster Independent School District.	PF		P	2	FS		\$
8.05	Partner with LISD, neighborhood organizations and others to develop or expand healthy living programs and identify specific initiatives for Medical District leadership.	PF	OS&R	P	2	CE,HS		\$
Regulations								
1.03	Consider proactive, City-initiated rezonings for areas where such rezoning will remove an important barrier to development or revitalization.	LU	ED	R	2	QD		\$\$
1.04	Consider these specific areas for potential rezoning to support plan implementation. Areas identified to date include: Waters & Criswell and areas within Campus / Logistics that are zoned residential.	LU		R	2	QD		\$\$
1.05	Establish buffer requirements to minimize safety, visual and noise impacts of potential High Speed Rail.	LU	T, CCD	R	3	QD,SI		\$\$
1.06	Evaluate the City's Comprehensive Zoning Ordinance districts, procedures and application. Update these to effectively implement this plan – specifically focusing on regulations that permit the place types as described in this chapter to be created.	LU	All	R	1	QD		\$\$
1.07	Evaluate the City's Subdivision Ordinance and update the ordinance to effectively implement this plan as current standards and regulations may not be geared towards a dense, urban mixed use pattern as identified in several place type scenarios.	LU	All	R	1	QD,SI		\$\$
1.09	Review regulations and procedures and revise as necessary to streamline mixed use area development.	LU	CCD, HP	R	1	QD,SI		\$\$
1.10	Review zoning and other development regulations to streamline development of the full range of housing for seniors.	LU		R	2	QD		\$\$
1.11	Update the City's annexation plan to encourage annexation in areas expecting near-term development.	LU	I	R	2	FS,QD,SI		\$\$
2.05	Consider revising codes and ordinances to reflect the five types of street contexts that were developed in the comprehensive plan to provide more uniform standards for road construction and expansion in Lancaster.	T	I, CCD	R	1	QD,SI		\$\$

CITY OF LANCASTER'S BOARDS AND COMMISSIONS

Planning & Zoning Commission

9.

Meeting Date: 05/07/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Healthy, Safe & Engaged Community
Quality Development

Submitted by: Bester Munyaradzi, Senior Planner

Agenda Caption:

Discuss and consider amendments to Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts Subsection (a) General Residential District Standards – All residential districts (1) Residential Unit Diversity of the Lancaster Development Code amending Empty-Nester Units requirement in certain Single Family zoning districts.

Background:

The City Council requested that an item be included on the agenda for the purpose of discussing Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts Subsection (a) General Residential District Standards – All residential districts (1) Residential Unit Diversity of the Lancaster Development Code to amend the minimum of 20 percent Empty-Nester Units requirement in single family residential districts.

Article 14.500 District Development Regulations and Standards Section 14.503 Residential Districts Subsection (a) General Residential District Standards – All residential districts (1) Residential Unit Diversity of the Lancaster Development Code which currently states that:

Sec. 14.503 Residential Districts

(a) General Residential District Standards – All residential districts.

(1) Residential Unit Diversity

A. Requirement for Single Family Districts. In order to ensure a diversity of housing types for young couples, empty-nesters and retirees, a portion of the total number of lots and units in certain Single Family zoning districts shall meet the standards for Empty-Nester Units.

1. In residential subdivisions in SF-4, SF-5 and SF-6 zoning districts, developments of 20 or more acres in size which are being developed to within 20% of the maximum allowable density, shall contain a minimum of 20 percent Empty-nester Units.

2. Such units shall fall under the district's overall density cap.

B. Empty-Nester Units may include single family lots or two-story townhouses and are characterized as

1. Single family living units which are 1,000 to 1,400 s.f. in size; Townhouses must be at least 1,200 s.f. with no maximum size. An SUP shall be required for units down to 850 s.f.

2. Lots which are between 30 and 50 feet wide; Townhouses must be a minimum of 20 feet in width.
3. All such lots shall be within 300 feet of publicly accessible open space of at least 4,000 s.f. which has a minimum dimension of 50 feet. Single family or Townhouse lots must face or side onto this open space.
4. Notwithstanding the above, Empty-Nester units may also include homes designed and built to appear like a traditional large home, but which may include up to four living units meeting the size limitations above.

At the December 3, 2018 City Council meeting, the Council discussed and expressed the need for the City to have high end custom homes and did not get into much discussion on empty nesters. Recognizing the City Council's goal for high end custom homes, staff prepared an ordinance that would amend empty nester requirements while complimenting the City Council high customer homes goal's to promote housing diversity.

Operational Considerations:

The empty nesters requirement in the LDC is intended to ensure a diversity of housing types for young couples, empty-nesters and retirees. The City of Lancaster's survey cities such as Keller, Haltom City, Grand Prairie, Cedar Hill and DeSoto have no empty nester requirements. The City of Frisco promotes housing type diversity by working closely with developers at the time of zoning to provide a mixture of product types within a development and regulates standards with a Planned Development (PD).

The attached 2016 Comprehensive Plan Implementation Strategy under Regulations 1.10 states that "Review zoning and other development regulations to streamline development of the full range of housing for seniors". To both streamline the development of senior housing while promoting greater diversity of high quality housing choices, in addition to accommodating a variety of life styles and needs, staff is proposing an ordinance that amends Article 14.500 District Development Regulations and Standards Section 14.503 Residential Districts Subsection (a) General Residential District Standards.

The proposed ordinance requires residential diversity to promote housing variety for differing life styles and needs as noted above. However, the ordinance eliminates requirements that make it difficult for developers to provide high quality custom built homes but rather supports high quality and diverse homes. This allows staff to work closely with developers with each single family development proposal.

Legal Considerations:

This item is being considered at a Regular Meeting of the Planning & Zoning Commission noticed in accordance with the Texas Open Meetings Act.

Public Information Considerations:

On April 14, 2019 a notice for this public hearing appeared in the Focus Daily Newspaper. There were no letters received in support or in opposition of this request.

Options/Alternatives:

1. The Planning & Zoning Commission may recommend the proposed amendments, as presented.
2. The Planning & Zoning Commission may recommend the proposed amendments with some changes and state those changes.
3. The Planning & Zoning Commission may deny the proposed amendments.

Recommendation:

Staff recommends approval of the proposed amendments to the LDC, as presented.

Attachments

Current LDC Empty Nester Regulations

Proposed Empty Nester Amendments

Cleaned Up Empty-Nester Amendments

Proposed Empty Nester Ordinance

Comprehensive Plan Excerpt

CURRENT LANCASTER DEVELOPMENT CODE (LDC)

EMPTY-NESTER REGULATIONS

Sec. 14.503 Residential Districts

(a) General Residential District Standards – All residential districts.

(1) Residential Unit Diversity

A. *Requirement for Single Family Districts.* In order to ensure a diversity of housing types for young couples, empty-nesters and retirees, a portion of the total number of lots and units in certain Single Family zoning districts shall meet the standards for Empty-Nester Units.

1. In residential subdivisions in SF-4, SF-5 and SF-6 zoning districts, developments of 20 or more acres in size which are being developed to within 20% of the maximum allowable density, shall contain a minimum of 20 percent Empty-nester Units.

2. Such units shall fall under the district's overall density cap.

B. Empty-Nester Units may include single family lots or two-story townhouses and are characterized as

1. Single family living units which are 1,000 to 1,400 s.f. in size; Townhouses must be at least 1,200 s.f. with no maximum size. An SUP shall be required for units down to 850 s.f.

2. Lots which are between 30 and 50 feet wide; Townhouses must be a minimum of 20 feet in width.

3. All such lots shall be within 300 feet of publicly accessible open space of at least 4,000 s.f. which has a minimum dimension of 50 feet. Single family or Townhouse lots must face or side onto this open space.

4. Notwithstanding the above, Empty-Nester units may also include homes designed and built to appear like a traditional large home, but which may include up to four living units meeting the size limitations above.

PROPOSED EMPTY-NESTER AMENENDMENTS

Sec. 14.503 Residential Districts

(a) General Residential District Standards – All residential districts.

(1) Residential Unit Diversity

A. **Requirement for Single Family Districts.** In order to ensure a diversity of housing types for young couples, empty-nesters and retirees, a portion of the total number of lots and units in certain Single Family zoning districts shall meet the standards for Empty-Nester Units.

1. In residential subdivisions in SF-4, SF-5 and SF-6 zoning districts, developments of 20 or more acres in size which are being developed to within 20% of the maximum allowable density, shall contain a minimum of 20 percent Empty-nester Units.

2. Such units shall fall under the district's overall density cap.

~~B 3. Empty Nester Units may include single family lots or two-story townhouses and are characterized as~~

~~1. Single family living units, which are 1,000 to 1,400 s.f. in size; Townhouses must be at least 1,200 s.f. with no maximum size. An SUP shall be required for units down to 850 s.f.~~

~~2. Lots which are between 30 and 50 feet wide; Townhouses must be a minimum of 20 feet in width.~~

~~3. All such lots shall be accessible open space of at least 4,000 s.f. which has a minimum dimension of 50 feet. Single family or Townhouse lots must face or side onto this open space.~~

~~4. Notwithstanding the above, Empty Nester units may also include Homes designed and built to appear like a traditional large home, ,but which may include up to four living units meeting the size limitations above.~~

CLEANED UP AMENDMENTS

Sec. 14.503 Residential Districts

(a) General Residential District Standards – All residential districts.

(1) Residential Unit Diversity

A. **Requirement for Single Family Districts.** In order to ensure a diversity of housing types for young couples, empty-nesters and retirees, a portion of the total number of lots and units in certain Single Family zoning districts shall meet the standards for Empty-Nester Units.

1. In residential subdivisions in SF-4, SF-5 and SF-6 zoning districts, developments of 20 or more acres in size which are being developed to within 20% of the maximum allowable density, shall contain a minimum of 20 percent Empty-nester Units.
2. Empty-nester units shall fall under the district's overall density cap.
3. Empty-nesters shall include single family lots or two-story townhouses characterized as single family living units
4. Empty--nester units shall be designed and built to appear like a traditional large home.

ORDINANCE NO.

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS AMENDING ORDINANCE 2006-04-13, (THE LANCASTER DEVELOPMENT CODE), ARTICLE 14.500 DISTRICT DEVELOPMENT REGULATIONS AND STANDARDS, SECTION 14.503 RESIDENTIAL DISTRICTS (A) GENERAL RESIDENTIAL DISTRICT STANDARDS AMENDING - ALL RESIDENTIAL DISTRICTS (1) RESIDENTIAL UNIT DIVERSITY OF LANCASTER DEVELOPMENT CODE AMENDING EMPTY-NESTER UNITS REQUIREMENTS IN CERTAIN SINGLE FAMILY ZONING DISTRICT. PROVIDING A REPEALING CLAUSE; PROVIDING A SAVING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH AND EVERY OFFENSE; AND PROVIDING AND EFFECTIVE DATE.

WHEREAS, the City Council of the City of Lancaster, Texas has determined to amend Ordinance 2006-04-13, (the Lancaster Development Code) Article 14.500 District Development Regulations and Standards, Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts (a) General Residential District Standards – All residential districts (1) Residential Unit Diversity of the Lancaster Development Code amending Empty-Nester Units requirements in certain Single Family zoning districts.

WHEREAS, the City Council has determined that high quality diverse custom homes promote and enhance the City as a desirable community in which to live and do business, a pleasing, visually attractive environment is of the foremost importance; and

WHEREAS, the City Council, has determined that greater diversity of high quality housing accommodates a variety of life styles and needs.

WHEREAS, the City Council further has determined that Chapter 14 of the Lancaster Development Code should be amended, as provided herein

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the Lancaster Development Code be, and the same is, hereby amend Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts Subsection (a) General Residential District Standards – All residential districts (1) Residential Unit Diversity of the Lancaster Development Code by amending Empty-Nester Units requirement in certain Single Family zoning districts as follows:

Sec. 14.503 Residential Districts

(a) General Residential District Standards – All residential districts.

(1) Residential Unit Diversity

A. Requirement for Single Family Districts. In order to ensure a diversity of housing types for young couples, empty-nesters and retirees, a portion of the total number of lots and units in certain Single Family zoning districts shall ~~meet the standards for~~ be Empty-Nester Units.

1. In residential subdivisions in SF-4, SF-5 and SF-6 zoning districts, developments of 20 or more acres in size which are being developed to within 20% of the maximum allowable density, shall contain a minimum of 20 percent Empty-nester Units.

2. Such units shall fall under the district's overall density cap.

3. Empty-Nester Units may include single family lots or two-story townhouses characterized as single

family living units.

~~1. Single family living units which are 1,000 to 1,400 s.f. in size; Townhouses must be at least 1,200 s.f. with no maximum size. An SUP shall be required for units down to 850 s.f.~~

~~2. Lots which are between 30 and 50 feet wide; Townhouses must be a minimum of 20 feet in width.~~

~~3. All such lots shall be within 300 feet of publicly accessible open space of at least 4,000 s.f. which has a minimum dimension of 50 feet. Single family or Townhouse lots must face or side onto this open space.~~

~~4. Notwithstanding the above, Empty-Nester units may also shall be designed and built to appear like a traditional large home, but which may include up to four living units meeting the size limitations above.~~

SECTION 2. That all provisions of the Code of Ordinances in conflict with the provisions of this ordinance be, and the same are hereby, repealed, and all other provisions of the Code of Ordinances not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That should any word, sentence, paragraph, subdivision, clause, phrase or section of this ordinance, or of the Code of Ordinances, as amended hereby, be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said ordinance or the Code of Ordinances, as amended hereby, which shall remain in full force and effect.

SECTION 4. That any person, firm, or corporation violating any provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the City of Lancaster, as heretofore amended and upon conviction shall be punished by a fine not exceeding \$2,000.00. The penalty imposed for a violation of this ordinance shall not exceed or be less than the penalty prescribed by state law, and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 5. That this ordinance shall take effect immediately from and after its passage as the law and charter in such cases provide.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 25th of March, 2019.

ATTEST:

APPROVED:

Sorangel O. Arenas, City Secretary

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney

#	Implementation Strategy	Primary Plan Strategy	Supportive of Additional Plan Strategies	Implementation Category	Timing	City Council Strategic Focus Areas	Intervention Level	Public Sector Cost
4.12	Encourage a full-service array of retail and service opportunities, thus limiting the necessity by residents and employees to leave the community to purchase goods and services.	ED		P	3	HS,QD		\$
5.11	Reevaluate potential funding sources and partnerships to help implement the new master plans.	OS&R		P	2	FS		\$
7.02	Create a downtown business owners' association, BID or other similar organization to take the lead on Town Square events, activities, marketing and other enhancements.	HP	ED, OS&R	P	1	CE		\$
7.06	Establish a partnership including the City, the Chamber, the downtown business owners' association and others to implement technology improvements to the Town Center area.	HP	ED	P	2	CE		\$
8.01	Evaluate and fill gaps in the services and amenities desired by seniors, from active seniors to those in care facilities.	PF	OS&R	P	2	HS		\$\$
8.02	Evaluate current synergies and partnerships between various departments and facilities and identify othe areas where partnerships could be developed, such as a joint performance center shared between the city and the Lancaster Independent School District.	PF		P	2	FS		\$
8.05	Partner with LISD, neighborhood organizations and others to develop or expand healthy living programs and identify specific initiatives for Medical District leadership.	PF	OS&R	P	2	CE,HS		\$
Regulations								
1.03	Consider proactive, City-initiated rezonings for areas where such rezoning will remove an important barrier to development or revitalization.	LU	ED	R	2	QD		\$\$
1.04	Consider these specific areas for potential rezoning to support plan implementation. Areas identified to date include: Waters & Criswell and areas within Campus / Logistics that are zoned residential.	LU		R	2	QD		\$\$
1.05	Establish buffer requirements to minimize safety, visual and noise impacts of potential High Speed Rail.	LU	T, CCD	R	3	QD,SI		\$\$
1.06	Evaluate the City's Comprehensive Zoning Ordinance districts, procedures and application. Update these to effectively implement this plan – specifically focusing on regulations that permit the place types as described in this chapter to be created.	LU	All	R	1	QD		\$\$
1.07	Evaluate the City's Subdivision Ordinance and update the ordinance to effectively implement this plan as current standards and regulations may not be geared towards a dense, urban mixed use pattern as identified in several place type scenarios.	LU	All	R	1	QD,SI		\$\$
1.09	Review regulations and procedures and revise as necessary to streamline mixed use area development.	LU	CCD, HP	R	1	QD,SI		\$\$
1.10	Review zoning and other development regulations to streamline development of the full range of housing for seniors.	LU		R	2	QD		\$\$
1.11	Update the City's annexation plan to encourage annexation in areas expecting near-term development.	LU	I	R	2	FS,QD,SI		\$\$
2.05	Consider revising codes and ordinances to reflect the five types of street contexts that were developed in the comprehensive plan to provide more uniform standards for road construction and expansion in Lancaster.	T	I, CCD	R	1	QD,SI		\$\$

MINUTES

PLANNING & ZONING COMMISSION REGULAR MEETING OF MAY 7, 2019

The Planning and Zoning Commission of the City of Lancaster, Texas, met in a Regular Session in the Council Chambers of City Hall on May 7, 2019 at 7:00 p.m. with a quorum present to-wit:

Commissioners Present:

Ernest Casey
Lawrence Prothro
Isabel Aguilar (Arrived on item 9)
Tamika Whitfield, Alternate

Commissioners Absent:

Jeremy Reed, Chair
Ty G. Jones, Vice-Chair

City Staff:

Bester Munyaradzi, Senior Planner
Emma Chetuya, Planner
Terry Welch, City Attorney

Call to order:

City Attorney Terry Welch called the meeting to order at 7:00 p.m. on May 7, 2019.

CONSENT AGENDA:

City Attorney Terry Welch read the consent agenda.

1. **Consider approval of minutes from the Planning and Zoning Commission Regular Meeting held on April 2, 2019.**
2. **PS 19-10 Consider a final plat for Houston School Road Industrial Park on two lots approximately 68.11 acres, located at the northwest corner of Houston School Road and Wintergreen Road. The property is more particularly described as a tract of land situated in the William Howerton Survey Abstract No. 559, City of Lancaster, Dallas County, Texas.**
3. **PS19-11 Consider a request for approval of a preliminary plat for Victron Addition, being Lot 1, Block A on approximately 2.6 acres, located on the southeast corner of I-35 East Service Road and Parkerville Road. The property is described as a tract of land situated in the Charles H. Bernard Survey, Abstract No. 128, in the City of Lancaster, Dallas County, Texas.**
4. **PS19-12 Consider a request for approval of a final plat for Carona Addition, being two (2) commercial lots on approximately 2.55 acres, located on the northeast corner of Interstate Highway 35E and Daniieldale Road. The property is described as a tract of land situated in the Silas B. Runyon Survey, Abstract No. 1199, City of Lancaster, Dallas County, Texas.**
5. **PS19-13 Consider a request for approval of a final plat for Global BTS, creating Lot 1 Block A on approximately 22.15 acres, addressed as 3130 North Longhorn Drive. The property is described as a tract of land situated in the William Howerton Survey, Abstract No. 559, in the City of Lancaster, Dallas County, Texas.**

6. **HLPC19-03 Discuss and consider a Certificate of Appropriateness to install railing, columns, and plywood to enclose the porch and replace the exterior window framings on the property located at 307 W. Main Street, Lancaster, Dallas County, Texas.**

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to approve consent items 1-6. The vote was cast 3 for, 0 against [Reed, Jones and Aguilar absent].

PUBLIC HEARING:

7. **PS19-09 Conduct a public hearing and consider a residential replat of Spring Valley Addition, subdividing Lot 2 Block B into two (2) lots (Lots 2A and 2B Block B), on approximately .352 acre, located on the northwest corner of Springcrest Circle and West Pleasant Run Road and is currently addressed as 2105 W. Pleasant Run Rd. The property is described as a tract of land recorded in volume 42, page 209, City of Lancaster, Dallas County, Texas.**

Planner Chetuya gave the staff report and stated the request is for approval of a residential replat to subdivide one (1) lot into two (2) lots for the purpose of building single family homes. Planner Chetuya explained that access to the properties will be provided from Springcrest Circle and that there are existing water and sewer lines on Springcrest Circle. The applicant will be responsible for all utilities and infrastructure necessary for development. The plat is in substantial conformance with the subdivision regulations and the Engineering division concurs with the approval of the replat.

City Attorney Terry Welch opened the public hearing.

There were no speakers.

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to close the public hearing. The vote was cast 3 for, 0 against [Reed, Jones and Aguilar absent].

Commissioner Prothro asked what is going to be done with the property after they are subdivided.

Eric Lockhart, 4041 W. Wheatland Rd., Suite 106, Dallas, TX 75237, the applicant, spoke in favor of the replat request stating the reasons for creating two lots for single-family homes as beneficial to the subdivision in relation to frontage along a major street.

MOTION: Commissioner Casey made a motion, seconded by Commissioner Prothro to approve item 7. The vote was cast for 3 for, 0 against [Reed, Jones and Aguilar absent].

8. **Z19-07 Conduct a public hearing and consider a rezoning request from Agricultural Open (AO) to SF-4 Single Family Residential. The property is located north of East Reindeer Road and east of Dasher Drive and is addressed as 3223 Prancer Street. It is further described as Lot 8, Block 2 in Abstract 1554 Survey Money Weatherford, Lancaster, Dallas County, Texas.**

Planner Chetuya gave the staff report and stated the request is to rezone the subject property from Agricultural Open (AO) to Single-Family Residential (SF-4) for the development of a single-family home on a 0.63 acre lot. Planner Chetuya stated that the current zoning only allows for agricultural uses and one single-family dwelling on five (5) acres or more. The proposed zoning change would allow up to four dwelling units per acre. The proposed change request will integrate appropriately as the area is envisioned for single-family home development. It is also consistent with the Comprehensive Plan.

Commissioner Prothro asked if the zoning change was in compliance with the current Comprehensive Plan or the previous Comprehensive Plan. Planner Chetuya confirmed the requested change is consistent with 2016 Comprehensive Plan.

City Attorney Terry Welch opened the public hearing.

There were no speakers.

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to close the public hearing. The vote was cast 3 for, 0 against [Reed, Jones and Aguilar absent].

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to approve item 8. The vote was cast 3 for, 0 against [Reed, Jones and Aguilar absent].

9. Discuss and consider amendments to Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts Subsection (a) General Residential District Standards – All residential districts (1) Residential Unit Diversity of the Lancaster Development Code amending Empty-Nester Units requirement in certain Single Family zoning districts.

Senior Planner Munyaradzi gave the staff report and stated the City Council requested this item be included on the agenda to discuss Article 14.500 District Development Regulations and Standards, Section 14.503 of the Lancaster Development Code (LDC), to amend the minimum 20 percent Empty-Nester Units requirement in single-family residential districts. Empty nesters requirement in the LDC is intended to ensure housing diversity types for young couples, empty-nesters and retirees. She noted that the proposed ordinance amendment will eliminate difficult requirements for developers to provide empty-nesters units and high quality housing types. It will also allow staff to work closely with developers with each single-family development proposal. Staff therefore recommends approval of item 9.

Commissioner Prothro asked staff to define empty-nesters units. Senior Planner Munyaradzi stated that they are homes designed for young couples or people without children and retirees.

Commissioner Aguilar opened the public hearing.

There were no speakers.

MOTION: Commissioner Aguilar made a motion, seconded by Commissioner Prothro to close the public hearing. The vote was cast 4 for, 0 against [Reed and Jones absent].

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to approve item 9. The vote was cast 4 for, 0 against [Reed and Jones absent].

10. Discuss and consider amendments to Article 14.500 District Development Regulations and Standards, Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts to add Single Family-2 (SF-2) to current residential districts; add SF-2 to various sections of the Lancaster Development Code (LDC) in addition to specifying the minimum number of dwelling units allowed per acre in the current residential districts.

Senior Planner Munyaradzi gave the staff report and stated the City Council requested this item be included on the agenda to discuss Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts to add Single-Family 2 (SF-2) to current residential districts in the Lancaster

Development Code (LDC). Senior Planner Munyaradzi stated the LDC currently has four (4) single-family residential districts: SF-E district, SF-4 district, SF-5 district and SF-6 district so the addition of SF-2 would

bridge the gap between SF-E and SF-4. The addition would promote a greater diversity of high quality housing choices with semi-rural living along with larger lots which enables the preservation of the assets of semi-rural living. Senior Planner Munyaradzi also noted that the SF-2 addition would fulfill the City Council goal and objectives for the Fiscal year 2018-2019 (FY 2018-2019) of Quality Development, which states "Consideration New Low Density Zoning Category (SF-2)". Staff therefore recommends approval of item 10.

Commissioner Prothro asked the reason for changing the residential districts. Senior Planner Munyaradzi explained that SF-2 would allow development of two (2) units per acre to close the gap between SF-E, which allows for one (1) unit per acre, and SF-4, which allows four (4) units per acre.

Commissioner Aguilar opened the public hearing.

There were no speakers.

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to close the public hearing. The vote was cast 4 for, 0 against [Reed and Jones absent].

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to approve item 10. The vote was cast 4 for, 0 against [Reed and Jones absent].

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to adjourn. The vote was cast 4 for, 0 against [Reed and Jones absent].

The meeting was adjourned at 7:25 p.m.

ATTEST:

Bester Munyaradzi, Senior Planner

APPROVED:

Jeremy Reed, Chair

LANCASTER CITY COUNCIL

City Council Regular Meeting

8.

Meeting Date: 06/10/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Healthy, Safe & Engaged Community
Quality Development

Submitted by: Bester Munyaradzi, Senior Planner

Agenda Caption:

Conduct a public hearing and consider an ordinance amending the Lancaster Development Code Ordinance 2006-04-13 and as amended; Article 14.500 District Development Regulations and Standards, Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts to add Single Family-2 (SF-2) to current residential districts; add SF-2 to various sections of the Lancaster Development Code (LDC) in addition to specifying the minimum number of dwelling units allowed per acre in the current residential districts.

Background:

As prescribed in the City Council rules and procedures as amended September 2017, Section D. City Council Agenda Process, Section 1.b., Councilmember Marco Mejia requested that an item be included on the agenda for the purpose of discussing Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts to add SF-2 to current residential districts in the Lancaster Development Code (LDC).

Currently the Lancaster Development Code (LDC) has four (4) single family residential districts namely:

1. Single Family Estate (SF-E) District.
2. Single Family Residential (SF-4) District.
3. Single Family Residential (SF-5) District.
4. Single Family Residential (SF-6) District.

SF-E allows for one large single-family dwelling lot developments in a rural setting, while SF-4 allows for four (4) units per acre, SF-5 allows for five (5) units per acre and SF-6 allows six (6) units per acre. SF-2 will allow for two (2) units per acre.

At the December 3, 2018 City Council Special Work Session Meeting, the Council discussed and expressed the desire for the City to have higher quality custom-built homes. After staff presentation and Council deliberations, the City Council directed staff to prepare an ordinance for City Council's consideration. The intent of the ordinance is to add SF-2 to the current residential zoning districts as noted above in addition specifying the minimum number of dwelling units allowed per acre in the current residential districts.

Operational Considerations:

The purpose of this request is to add SF-2 to the current residential zoning districts. The addition of the SF-2 to the above stated residential districts would bridge the gap between SF-E and SF-4 and would promote a greater diversity of high quality housing choice with semi-rural living. Large lots enable the preservation of the asset of semi-rural living such as adequate space, low density and high quality homes.

Listed below is a summary of how the SF-2 will be added to the Lancaster Development Code (LDC)

1. Article V. Development Standards- District Development Table
2. Section 14.301 Official Zoning Map
3. Section 14.401 Land Use Schedule
4. Section 14.402 Land Use Standards
5. Section 14.403 Other Special Use Standards
6. Article 14.500 District Development Regulations and Standards

Additions to the LDC are shown in bold letters and/or underlined.

Legal Considerations:

This item is being considered at a Regular Meeting of the City Council noticed in accordance with the Texas Open Meetings Act.

Public Information Considerations:

On April 14, 2019 a notice for this public hearing appeared in the Focus Daily Newspaper. There were no comments received in support or in opposition of this request.

Options/Alternatives:

1. City Council may approve the ordinance, as presented.
2. City Council may approve the ordinance with some changes and state those changes.
3. City Council may deny the ordinance.

Recommendation:

The Planning & Zoning Commission recommended approval of the proposed amendments at their May 7, 2019 meeting.

Staff concurs with the Commission and recommends approval of the ordinance, as presented.

Attachments

Ordinance

District Development Table

Official Zoning Map

Land Use Schedule

Land Use Standards

Other Special Use Standards

District Development Regulations and Standards

P&Z Agenda Communication with Attachments

P&Z Draft Minutes

ORDINANCE NO.

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS AMENDING ORDINANCE 2006-04-13, (THE LANCASTER DEVELOPMENT CODE), ARTICLE 14.500 DISTRICT DEVELOPMENT REGULATIONS AND STANDARDS, SECTION 14.503 RESIDENTIAL DISTRICTS TO ADD A NEW SINGLE FAMILY-2 (SF-2) DISTRICT; TO ADD SF-2 TO THE VARIOUS ARTICLES AND SECTIONS OF THE LANCASTER DEVELOPMENT CODE (LDC) AND SPECIFY THE MINIMUM NUMBER OF DWELLING UNITS ALLOWED PER ACRE IN THE RESIDENTIAL DISTRICTS; PROVIDING A REPEALING CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH AND EVERY OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Lancaster, Texas has determined to amend Ordinance 2006-04-13, (the Lancaster Development Code) Section 14.503 Residential Districts to add a new Single Family-2 (SF-2) district to current residential districts; and to add SF-2 to various articles and sections of the Lancaster Development Code (LDC) in addition to specifying the minimum number of dwelling units allowed per acre in the residential districts; and

WHEREAS, the City Council has determined that in order to preserve and enhance the City as a desirable community in which to live and do business, a pleasing, visually attractive environment is of the foremost importance; and

WHEREAS, the City Council has determined that adding Single Family-2 (SF-2) as a residential district option would be in the best interest of the City of Lancaster and will fulfil the City Council's previously stated FY 2018-2019 goal of considering a new low density (SF-2) zoning category to further quality development in the City; and

WHEREAS, the City Council has determined that Chapter 14 of the Lancaster Development Code should be amended, as provided herein:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the following Articles and Sections of the LDC be amended as stated in the attached exhibits:

Article V. District Standards - District Development Table

Section 14.301 Official Zoning Map

Section 14.401 Land Use Shedule

Sec. 14.402 Use Standards

Sec. 14.403 Other Special Use Standards

Sec. 14.500 Dustrict Development Regulations and Standards

SECTION 2. That all provisions of the Lancaster Development Code in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other provisions of the Lancaster Development Code not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That should any word, sentence, paragraph, subdivision, clause, phrase or section of this ordinance, or of the Lancaster Development Code, as amended hereby, be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said ordinance or the Lancaster Development Code, as amended hereby, which shall remain in full force and effect.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance or the provisions of the Code of Ordinances of the City of Lancaster, Texas, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the municipal court of the City of Lancaster, Texas, shall be subject to a fine not to exceed the sum of Two Thousand (\$2,000.00) dollars for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. This Ordinance shall become effective from and after its passage and publication as required by law.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 10th of June, 2019.

ATTEST:

APPROVED:

Sorangel O. Arenas, City Secretary

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney

PROPOSED AMENDMENTS ADDING SF-2 TO DISTRICT DEVELOPMENT STANDARDS

Article V. District Standards

District Development Standards

<i>District</i>	<i>Old District Name</i>	<i>Maximum Density 43, 560</i>	<i>Dwellings Per Lot</i>	<i>Minimum Sq. Ft./Dwelling</i>	<i>Front Yard Setback</i>	<i>Rear Yard Set Back</i>	<i>Side Yard Setback</i>	<i>Max Building Height</i>
A-O	A-O	1 Unit/5 acres	1 Unit ₁	NA	40 ft.	25 ft.	10% of lot width, not to exceed 50 ft. _{2,3,5}	35 ft.
SF-E	SF-ED	1 Unit/acre	1 Unit ₁	2,100 sq. ft.	30 ft.	10 ft. _{2,3,5}	10 ft. _{2,3,5}	35 ft. and 2.5 stories ₄
<u>SF-2</u>	<u>NA</u>	<u>2 Unit/acre</u>	<u>1 Unit</u>	<u>2,100 sq. ft.</u>	<u>30 ft.</u>	<u>10 ft. _{2,3,5}</u>	<u>10 ft. _{2,3,5}</u>	<u>35 ft. and 2.5 stories ₄</u>
SF-4	SF-1A	4 Units/acre	1 Unit ₁	2,100 sq. ft.	30 ft.	10 ft. _{2,3,5}	10 ft. _{2,3,5}	35 ft. and 2.5 stories ₄
SF-5	SF-1	5 Units/acre	1 Unit ₁	1,750 sq. ft.	30 ft.	10 ft. _{2,3,5}	10 ft. _{2,3,5}	35 ft. and 2.5 stories ₄
SF-6	SF-2/SF-3	6 Units/acre	1 Unit	1,750 sq. ft.	30 ft.	10 ft. _{2,3,5}	5 ft. _{2,3,5}	35 ft. and 2.5 stories ₄
ZL-7	SF-ZL	7 Units/acre	1 Unit	1,750 sq. ft.	30 ft.	10 ft. _{2,3,5}	10 ft. _{2,3,5}	35 ft. and 2.5 stories ₄
2F-6	2F-1	6 Units/acre	2 Unit	1,200 sq. ft. / 1,000 sq. ft. ₇	30 ft.	10 ft. _{2,3,5}	7 ft. _{2,3,5}	35 ft. and 2.5 stories ₄
TH-16	SF-A	16 Units/acre	1 Unit	1,500 sq. ft.	25 ft.	10 ft. _{2,3,5}	0 or 10 ft. _{2,3,5}	35 ft. and 2.5 stories ₄
MH	MH-1	6.6 Units/acre	NA	1,3500 sq. ft.	30 ft./15 ft. ₈	10 ft. _{2,3,5}	5 ft. _{2,3,5}	35 ft. and 2.5 stories ₄
MF-16	MF	16 Units/acre	NA	800 sq. ft. plus 100 sq. ft./BR	30 ft.	10 ft. ₃	10 ft. _{2,3,5}	35 ft. and 2.5 stories ₄
NS	NS	0.5:1 FAR			25 ft.	0 ft./20 ft. ₉	0 or 10 ft. _{2,3,5}	35 ft. and 2.5 stories ₄
R	R	NA			25 ft.	0 ft./20 ft. ₉	0 or 10 ft. _{2,3,5}	35 ft. and 2.5 stories ₄
CH	CH/CT/CTH	1:1 FAR			25 ft.	0 ft./20 ft. ₉	0 or 20 ft. _{2,3,5}	140 ft./60 ft. ₁₁
CS	C	1:1 FAR			25 ft.	0 ft./20 ft. ₉	0 or 30 ft. _{2,3,5}	35 ft. and 2.5 stories ₄
TX	NA	[Place Holder]						
ORT	NA	1:1 FAR			25 ft.	0 ft./20 ft. ₉	0 or 20 ft. _{2,3,5}	35 ft.
LI	LI	1:1 FAR			25 ft.	0 ft./20 ft. ₉	0 or 20 ft. _{2,3,5}	35 ft.
MI	HI	1:1 FAR			25 ft.	0 ft./20 ft. ₉	0 or 20 ft. _{2,3,5}	35 ft.
TND	NA	NA						

Notes:

1. Guest Quarters/ Secondary Living Units are allowed but must meet the standards for such units in Article IV Permissible Uses.
2. For Residential Portable and Accessory Buildings Setbacks, see Sub-Section 3.1 General Residential Standards
3. Side yard setback adjacent to a side street must equal at least 85% of the minimum required front yard setback; 100% for MF and other non-residential uses.
4. Accessory buildings such as garages without guest quarters/secondary living unit, shall be a maximum of 20 feet in height; 15 ft. in MH.
5. Garages/Carports must be setback a minimum of 20 feet from side or rear property lines that they face.
6. Corner lots should be a minimum of 10% larger than the average internal lots.
7. 1,200 sf. for a 2-bedroom unit, 1,000 sf. for a 1 bedroom unit.
8. 30 ft. setback from a public roadway; 15 ft. from a private road.
9. If rear wall contains windows or doors then there shall be a 20 ft. setback from residentially zoned property.
10. If side yard is adjacent to residentially zoned property, then a 10 ft. side yard shall be required; 20 ft. in CH; 30 ft. in CS.
11. 140 ft. in height, but shall not exceed 60 ft. in height within 100 ft. of a property zoned as MF, 2F, or SF.
12. The minimum Dwelling size is modified for a certain percentage of units by the requirement for EmptyNester type homes.

February 25, 2019

PROPOSED AMENDMENTS ADDING SF-2 TO ZONING DISTRICTS AND MAPS

ARTICLE 14.300 ZONING DISTRICTS AND MAPS

Sec. 14.301 Official Zoning Map

- (a) The City of Lancaster is hereby divided into zones, or districts, as shown on the Official Zoning Map which, together with all explanatory matter thereon, is hereby adopted by reference and declared a part of this ordinance. The zones, or districts, hereby established are and shall be known and cited as:

Zoning Districts

ABBREVIATED DESIGNATIO	ZONING DISTRICT NAME
"AO"	Agricultural Open
"SF-E"	Single Family Estate
<u>"SF-2"</u>	<u>Single Family Residential-2</u>
"SF-4"	Single Family Residential- <u>4</u>
"SF-5"	Single Family Residential- <u>5</u>
"SF-6"	Single Family Residential- <u>6</u>
"2F-6"	Two-Family (or Duplex) Residential
"SFA-16"	Single Family Attached Residential- <u>16</u>
"TH-16"	Town House Residential- 16
"MH"	Mobile Home Residential
"MF-16"	Multi-Family Residential District- <u>16</u>
"NS"	Neighborhood Service
"R"	Retail
"CH"	Commercial Highway
"CS"	Commercial Service
"TC"	Town Center District (Reserved)
"ORT"	Office Research Technology
"LI"	Light Industrial
"MI"	Medium Industrial

SPECIAL DISTRICTS

"PD"	Planned Development
"HPO"	Historic Preservation Overlay
"NPO"	Neighborhood Preservation Overlay
	SEE VOLUME II

Table 1 Land Use Tables

P = Permitted **A** = Accessory Use **S** = SUP **+** = Permitted with Conditions

<i>Agric.</i>		<i>Residential</i>									<i>Permitted Uses</i>	<i>Commercial</i>					<i>Industrial</i>		
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Rural & Animal-Related	NS	R	CH	CS	TC	ORT	LI	MI
P											Agricultural Building								
P	P	P	P	P	P	P	P	P	P	P	Agricultural Uses on Un-Platted Land	P	P	P	P		P	P	P
S	S										Animal Boarding/Kennel <i>with</i> Outside Pens								
P	S										Animal Boarding/Kennel <i>without</i> Outside Pens	S	S	P	P			P	P
S											Animal Clinic for small animals, no outdoor pens +	S	P	P	P			P	S
S											Animal Hospital, Clinic		S	P	S			P	P
S											Animal Production								
S											Animal Shelter							P	P
P											Crop Production								
P	S										Horse Corral or Stable (Commercial)+								
P	P										Horse Corral or Stable (Private)								
S	S										Wholesale Nursery for Growing of Plants, No Retail Sale on Site							P	P

A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Residential & Lodging	NS	R	CH	CS	TC	ORT	LI	MI
P	P	<u>P</u>	P	P	P	P	P	P	P	P	Accessory Building +	P	P	P	P		P	P	P
S	S								P		Bed & Breakfast Operation +	S							
P											Caretakers Quarters/Domestic or Security Unit		P	P	P		P	P	P
A	A	<u>A</u>	A	A	A	A	A	A	A	A	Carport +								
P									P		Convent or Monastery		P		P				
							P	P	P		Duplex +								
A	A	<u>A</u>	A	A	A	A	A	A	A	A	Garage	A	A	A	A		A	A	A
A	A	<u>A</u>	A	A	S	S	S	S	P	S	Guest Quarters/ Secondary Living Unit +								
P	P	<u>A</u>	P	P	P	P	P	P	P	P	Home Occupation +								
											Hotel or Motel		S	P	P				
											Hotel, Residence		S		P				
								P	P		Loft	P	P	P	P				
									P		Multi-Family								
	P	<u>P</u>	P	P	P	P	P	P		P	Portable Building - Residential +								
									P		Residential Care Facility	S	S		S				
S											Single Family on less than the min. size lot +								
						P	P	P	P		Single Family, Attached +								
P	P	<u>P</u>	P	P	P	P	P	P	P	P	Single Family, Detached +								
						P	P	P	P		Single Family, Zero Lot Line +								
	S	<u>S</u>	S	S	S	S	S	S	S		Subdivision Screening Wall								
A	A	<u>A</u>	A	A	A	A	A	A	A	A	Swimming Pool, Private								
A	A	<u>S</u>	S	S	S	S	S	S	S	S	Tennis Court Private	S						P	S
								P	P		Townhouse +		P						
									S		Urban Residential +		S						

A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Institutional & Community Service	NS	R	CH	CS	TC	ORT	LI	MI
									P		Assisted Living Facility +	S	P		P				
											Blood Plasma Donor Center		P	P	P			P	P
											Child Care Facility		S	P	P				
											Church/House of Worship +	P	P	P	P			P	P
											College, University, or Seminary		p	P	S		P	P	P
											Convalescent Care Facility/Nursing Home +	P	P	P	P		S	S	
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Day Care (child or adult)	P	P	P	P		A		
											Emergency Ambulance Services, Ground		P	P	P			P	P
P	P	<u>P</u>	P	P	P	P	P	P	P	P	Group or Community Home+	P	P						
											Government Facility		P	P	P		P	P	P
									S		Hospice	P	P	P	P		S	S	S
											Hospital		P	P	P		P	P	S
											Library, Art Gallery or Museum (Public)	P	P	P	P		P	P	P
											Mortuary or Funeral Chapel		P	P	P		S	P	
											Penal Boarding Home							P	P
											Post Office, Local Service	P	P	P	P		P	P	P
											Post Office, Regional			P			S	P	P
											Prison/Custodial Institution							P	P
P	P	<u>P</u>	P	P	P	P	P	P	P	P	Public School Primary, Secondary, Senior (Includes a Charter School) +	P	P	P	P		P	P	P
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Private School Primary, Secondary, Senior +	S	S	S	S				
											Rescue Mission or Shelter for the Homeless			S				P	P
											Social Service Provider, not Rescue Mission or Shelter		S	P				P	P

P	P	<u>P</u>	P	P	P	P	P	P	P	P	Temporary Educational Building +	P	P	P	P		P	P	P
A-O	SF-E	<u>SF-2</u>	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Office & Professional	NS	R	CH	CS	TC	ORT	LI	MI
											Bank, Savings and Loan, Credit Union or similar Financial Institution with Drive-Through + (See Definitions)	S	P	P	P		P	P	P
											Bank, Savings and Loan, Credit Union or similar Financial Institution without Drive-Through (See Definitions)	P	P	P	P		P	P	P
											Check Cashing Business, Credit Agency or similar Financial Institution (See Definitions)				S				S
											Office, General		P	P	P		P	P	P
											Office Building, less than 5,000 s.f.	P	P	P	P		P	P	P
											Office Building, 5,000 s.f. or more	S	P	P	P		P	P	P
A-O	SF-E	<u>SF-2</u>	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Recreation, Entertainment & Amusement	NS	R	CH	CS	TC	ORT	LI	MI
											Billiard Parlor or Pool Hall +		S	S	P			P	P
											Carnival, Circus, or Amusement Ride, Temporary +	S	P	S	P		S	P	P
											Commercial Amusement/ Recreation (Inside) +		S	P	P			P	P
											Commercial Amusement/ Recreation (Outside)		S	S	S			S	P
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Community or Recreation Club, Public or Private (Accessory)	S	P	P	P		P	P	P
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Country Club, Private	S	P	P	P		S	P	P
											Golf Driving Range	S	S	S	P		S	P	P
P	P	<u>P</u>	P	P	P	P	P	P	P	P	Fund Raising Events by Non-Profit, Indoor or Outdoor, Temporary +	P	P	P	P		P	P	P
											Gun Club, Skeet or Target Range (Indoor)		S	P	P			P	P
S											Gun Club, Skeet or Target Range (Outdoor)								S

									A		Health Club	P	P	P	P		P	P	P
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Recreation, Entertainment & Amusement, continued	NS	R	CH	CS	TC	ORT	LI	MI
											Private Club, Lodge or Fraternal Organization	S	P	P	P			P	S
											Private Sports Arena, Stadium or Track		S	S	S			S	S
P	P	P	P	P	P	P	P	P	P	P	Public Park or Playground	P	P	P	P		P	P	P
S	S	S	S	S	S	S	S	S	S	S	Tennis Courts (Not accessory to a public or private club) +	S	P	P	P			P	P
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Retail & Personal Services	NS	R	CH	CS	TC	ORT	LI	MI
											Antique/Collectible Store	S	P	P	P				
											Astrologer, Hypnotist, or Psychic Art and Science	P	P	P	P				
											Banquet Facility		P	P	P				
											Business School		P	P	P		P	S	
											Catering Service	S	P	P	P		S	P	
											Christmas Tree Sales Lot & Similar Uses, Temporary +	S	P	P	P		S	P	P
											Copy Center	P	P	P	P		P	P	P
											Display, Incidental +	P	P	P	P				
											Garden Supply/Plant Nursery +	S	P	P	P			P	
											General Personal Service	P	P	P	P			S	
											Hair Salon, Manicurist	P	P	P	P				
											Laundry, Drop-off/Pickup	P	P	P	P			P	P
											Laundry, Self Service	P	P	P	P			P	P
											Massage Therapist	P	P	P	P				

											Museum or Art Gallery (Private)	S	P		P		P		
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Retail & Personal Services, Continued	NS	R	CH	CS	TC	ORT	LI	MI
											Night Club, Discoteque, or Dance Hall		S	P	P			S	S
											Paw n Shop								P
											Pet Shop	P	P	P	P				
P	P	P	P	P	P	P	P	P	P	P	Real Estate Sales Office, On-site, Temporary +	P	P	P	P		P	P	P
											Rental Store, w/o Outside Storage and Display		S	S	S			S	P
											Restaurant, Less than 2000 Sq. Ft., w/ Drive-Thru +	S	P	P	P			P	P
											Restaurant, Less than 2000 Sq. Ft., w/o Drive-Thru	P	P	P	P		P	P	P
											Restaurant, 2000 Sq. Ft. or more, w/ Drive-Thru +	S	P	P	P			P	P
											Restaurant, 2000 Sq. Ft. or more, w/o Drive-Thru	S	P	P	P		S	P	P
											Retail Store, 25,000 Sq. Ft. or more	S	S	P	P				
											Retail Store, Less than 25,000 Sq. Ft.	P	P	P	P			S	S
											Retail store w ith gasoline product sales limited to 2 fuel dispensers and 4 vehicles	S	P	P	P			P	P
											Retail store w ith more than 2 fuel dispensers		S	P	P			P	P
											Used Merchandise Store		S	P	P				
											Sexually Oriented Business +								P
											Studio - Art, Photography or Music	P	P	P	P			P	
											Tailor, Clothing or Apparel Shop	P	P	P	P				

A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Retail & Personal Services, Continued	NS	R	CH	CS	TC	ORT	LI	MI
											Tattoo, Body Piercing (does not include earlobe piercing)		S						
											Taxidermist Shop							P	P
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Commercial & Business Services	NS	R	CH	CS	TC	ORT	LI	MI
											Bail Bond Service			S	P			P	P
											Building & Landscape Material <i>with</i> Outside Storage +		P	P	P			P	P
											Building Maintenance, Service & Sales <i>with</i> Outside Storage +				S			P	P
											Building Maintenance, Service & Sales <i>without</i> Outside Storage			P	P			P	P
S											Cemetery/ Mausoleum/ Mortuary		P	P	P			P	P
											Crematorium							S	P
											Custom & Craft Work			P	S			P	P
											Electrical, Watch, Clock, Jew elry & Similar Repair	P	P	P	P				
											Feed Store, Ranch Supply			P	S			S	P
											Food Processing				S			P	P
											Furniture or Cabinet Repair			S	P			P	
											Furniture Upholstery, Refinishing or Resale			S	P			P	P
											Gunsmith Repair and Sales			S	P			P	P
											Heavy Machinery & Equipment (Rental, Sales & Service)			S	S			P	P
											Locksmith		P	P	P			P	P
											Machine Shop				S			P	P

A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Commercial & Business Services, continued	NS	R	CH	CS	TC	ORT	LI	MI
											Medical or Scientific Research Lab			P	P		P	P	P
											Mobile Home/Trailer Sales Lot				S			S	P
											Portable Buildings - Commercial +		S	S	S		S	S	S
											Research and Technology			P	P		P	P	P
											Shoe and Boot Repair and Sales	P	P	P	P				
											Trade School			S	S		P	P	P
P	P	P	P	P	P	P	P	P	P	P	Temporary On-site Construction Office +	P	P	P	P		P	P	P
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Auto & Marine-Related	NS	R	CH	CS	TC	ORT	LI	MI
											Auto Repair Garage, Major +							P	P
											Auto Repair Garage, Minor +		S	S	P			P	P
											Automobile Rental			S	P			P	P
											Boat & Trailer Dealership (New and Used) +			P	P			P	P
											Car Wash/Auto Detail +	S	S	S	P			P	P
											Car Wash, Self Service		S		P			P	P
											Motor Vehicle Dealership, New & Used (Cars and Light Trucks) +			P	S			P	P
											Parking, Commercial			P	P			P	P
											Parking Lot, non-commercial	S	P	P	P		P	P	P
											Recreational Vehicle (RV) Sales and Service			S	P			P	P
											Service Station +	S	P	P	P			P	P
											Towing & Impound Yard							S	P

											Towing Service, No Storage							S	P
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Auto & Marine-Related, continued	NS	R	CH	CS	TC	ORT	LI	MI
											Truck Rental				P			P	P
											Truck Stop with Fuel and Accessory Services +				S			S	P
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Industrial & Manufacturing	NS	R	CH	CS	TC	ORT	LI	MI
S											Asphalt or Concrete Batch Plant +							S	S
P	P	<u>P</u>	P	P	P	P	P	P	P	P	Asphalt or Concrete Batch Plant, Temporary +	P	P	P	P		P	P	P
											Bottle Works, Milk or Soft Drinks							P	P
											Brew ery, Distillery or Winery (Excluding Brew Pub)				S			P	P
											Carpet and Rug Cleaning				S			P	P
											Environmentally Hazardous Materials +							S	P
											Food Processing (No Slaughtering)				S			P	P
											Light Assembly & Fabrication			S	P		P	P	P
											Manufacturing, Heavy							S	P
											Manufacturing, Light			S	P		S	P	P
											Metal Plating, Electro Plating							S	P
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Mining and Extraction (Sand, Gravel Oil & other) +	S	S	S	S		S	S	S
											Monument Works, Stone and Metal				S			S	P
											Portable Building				S			S	S
											Printing & Publishing				P			P	P
											Salvage or Reclamation of Products (Indoors)				S			P	P

A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Industrial & Manufacturing, continued	NS	R	CH	CS	TC	ORT	LI	MI
											Salvage or Reclamation of Products (Outdoors)							S	P
											Sheet Metal Shop				S			P	P
											Tool, Dye, Guage and Machine Shop							S	P
											Welding Repair				S			P	P
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Wholesale, Distribution & Storage	NS	R	CH	CS	TC	ORT	LI	MI
											Cold Storage Plant			P				P	P
											Heavy Construction Trade Yard			S				P	P
S											Landfill, Sanitary								
											Mini-w arehouse +			S	S			P	P
											Outside Storage +			P				P	P
											Recycling Collection Center			S				P	P
											Warehouse/ Distribution Center			P			S	P	P
											Wholesale Show room Facility			P	S			P	P
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Utilities, Communications & Transportation	NS	R	CH	CS	TC	ORT	LI	MI
											Airport, Heliport or Landing Field			S				S	S
P	S	<u>S</u>	S	S	S	S	S	S	P	S	Antenna, Accessory +	P	P	P	P		P	P	P
											Antenna, Commercial +		S	S	S		S	S	P
A	A	<u>A</u>	A	A	A	A	A	A	A	A	Antenna, Dish +	A	P	P	P		P	P	P
S											Antenna, Commercial, Free-Standing +		S	S	S		S	P	P
											Antenna, Commercial, Mounted +		S	S	S		P	P	P
											Bus Charter Service & Service Facility			P				P	P
											Helipad		S	S	S		S	S	S

A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Utilities, Communications & Transportation, continued	NS	R	CH	CS	TC	ORT	LI	MI
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Utilities (Non-Municipally owned or Controlled), including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	S	S	S	S		S	S	S
P	P	<u>P</u>	P	P	P	P	P	P	P	P	Municipally Owned or Controlled Facilities, Utilities and Uses	P	P	P	P		P	P	P
S											Portable Building	S	S	S	S		S	S	S
	S	<u>S</u>	S	S	S	S	S	S	S	S	Private Streets	S	S	S	S		S	S	S
											Radio Broadcasting		P	P	P		P	P	P
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Railroad Yard or Shop	S	S	S	S		S	S	S
											Recording Studio		S	P	P		P	P	P
P	P	<u>P</u>	P	P	P	P	P	P	P	P	Satellite Dish +	P	P	P	P		P	P	P
											Transit Passenger Facility	S	S	S	S		S	S	S
											Trucking Company								P
											TV Broadcasting & Other Communication Service		S	P	S		S	P	P
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Utilities Holding a Franchise from City of Lancaster	S	S	P	S		S	P	P
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Utility Installation, Other than Listed	S	S	S	S		S	S	S
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Utility/ Transmission Lines +	S	S	S	S		S	S	S
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Wireless Communication Tower	S	S	S	S		S	S	S

PROPOSED AMENDMENTS ADDING SF-2 TO USE STANDARDS

Sec. 14.402 Use Standards

Conditions. The following uses as provided by this Code shall meet the standards established in this section, which are as follows:

(a) Rural and Animal-Related

(1) Animal Clinic for Small Animals

- A. A place where animals or pets are given medical or surgical treatment and are cared for during the time of such treatment.
- B. Use as a kennel shall be limited to short-time boarding and shall be only incidental to such clinic use.

(2) Horse Corral or Stable (Commercial).

- A. Ground accumulations of manure shall be collected and properly disposed of so as not to create offensive odors, fly breeding, or in any way pose a health hazard or nuisance to human beings and animals; and
- B. Fences or pens, corrals or similar enclosures shall be of sufficient height and strength to properly retain the animal, and be properly maintained.
- C. Farm animals shall be regulated by Animal Control Ordinance as to acreage and how close they come to residences.

(b) Residential and Lodging Use Conditions:

(1) Accessory Building (Accessory to Residential Use)

- A. The accessory building shall be accessory to a residential use and located on the same lot.
- B. In all residential districts, one (1) detached garage shall be allowed provided that:
 - 1. It does not exceed 900 square feet in area;
 - 2. It is located on the same lot as the residential use;
 - 3. If located partially or totally in front of the rear façade of the main structure, the exterior cladding must contain the same materials, as found on the main structure and is generally in the same proportion; and
 - 4. Detached garages shall not exceed the height limit in the district.
- C. In SF-E **and SF-2** no more than two (2) accessory buildings shall be allowed totaling up to 600 square feet (each) in area, and 15 feet or less in height.
- D. In SF-4, SF-5, SF-6, no more than two (2) accessory buildings shall be allowed which are up to 225 square feet (each) in area and 15 feet or less in height. (Greenhouses are exempt from the materials requirement.)
- E. In 2F, no more than two (2) accessory buildings shall be allowed which is up to 100 square feet (each) in area and 10 feet or less in height. (Greenhouses are exempt from the materials requirement.)
- F. These standards shall not apply to residential buildings in AO Districts where such building is associated with a residential or agricultural use.
- G. See below for "portable building" standards which include prefabricated storage sheds.

PROPOSED AMENDMENTS ADDING SF-2 TO OTHER SPECIAL USE STANDARDS

Sec. 14.403 Other Special Use Standards

(a) Farm Animals and Horses

- (1) **Grazing Animals.** In non-agricultural districts, grazing animals 500 pounds or greater, including horses and cattle must have a minimum fenced or enclosed area of 15,000 s.f. per animal. Grazing animals of less than 500 pounds, including sheep and goats, must have a minimum fenced or enclosed area of 3,000 s.f. per animal, and a minimum lot size of 10,000 s.f.
- (2) **Other Animals.** An SUP is required for other farm animals, including chickens and swine, and for a reduction in the land area required for grazing farm animals. The City shall not grant an SUP for any farm animal unless it is convinced that the presence of such animals will not injure the use and enjoyment of neighboring properties, including the impact of dust, flies and odor.
- (3) **General Conditions.** Notwithstanding the conditions above,
 - A. Ground accumulations of manure shall be collected and properly disposed of so as not to create offensive odors, fly breeding, or in any way pose a health hazard or nuisance to human beings and animals;
 - B. Fences or pens, corrals or similar enclosures shall be of sufficient height and strength to properly retain the animal; and
 - C. All enclosures for grazing animals shall be placed a minimum of 25 feet from the boundary of any adjoining lot or tract which is zoned for residential use.
 - D. In SF-E **and SF-2** no swine, goats, or fowl are permitted.
 - E. Nothing contained herein shall conflict with any State law or applicable ordinance

(b) Temporary Accommodation for Employees, Customers and Visitors

- (1) **Temporary Accommodations.** Temporary accommodation for employees, customers and visitors may be provided as an ancillary use in commercial zoning districts provided that:
 - A. Such accommodation is clearly in support of the business operation,
 - B. No rental of such facilities to the general transient public occurs,
 - C. Accommodation is for temporary stays, not to exceed 30 days, and
 - D. No more than 5% of the building area is utilized for this ancillary use.

PROPOSED AMENDMENTS ADDING SF-2 TO DISTRICT DEVELOPMENT REGULATION STANDARDS

ARTICLE 14.500. DISTRICT DEVELOPMENT REGULATIONS AND STANDARDS

Sec. 14.503 Residential Districts

~~(c)~~ **(d)** Single Family Estate (SF-E) District.

(1) Purpose.

- A. This district is considered to be the proper zoning classification for large lot developments for single-family dwelling use in a rural setting with **one (1) unit per acre.**
 - B. Areas that are zoned for this use shall have or provide for water, wastewater, drainage and access to paved streets.
 - C. It is intended for areas that are properly buffered from non-residential uses, and protected from pollution and/or environmental hazards or from high volume of non- single family traffic.
- (2) Permitted Uses. In general, large lot single family uses shall be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in *Article 14.400 Permissible Uses*.
- (3) Special Standards. No building or land may be used, unless in accordance with the development standards in this *Article 14.500 General* and *Article 14.500 Residential Districts* of this ordinance.

~~(d)~~ **(e)** Single Family Residential-**2** (SF-2) District.

(1) Purpose.

- A. This district is considered to be the proper zoning classification for large lot developments for single-family dwelling use. It is intended to be composed of **two (2) units per acre** single family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units.
 - B. Areas that are zoned for this use shall have or provide for water, wastewater, drainage and access to paved streets based on single-family use required by the allowed density.
 - C. It is intended for areas that are properly buffered from non-residential uses, and protected from pollution and/or environmental hazards or from high volume of non- single family traffic.
- (b) Permitted Uses. In general, single-family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in

Article 14.400 Permissible Uses.

- (c) Special Standards. No building or land may be used, unless in accordance with the development standards in this *Article 14.500 General* and *Article 14.500 Residential Districts* of this ordinance.

~~(e)~~ **(f)** Single Family Residential-**4** (SF-4) District.

(2) Purpose.

- A. This district is considered to be the proper zoning classification for large lot developments for single-family dwelling use. It is intended to be composed of **four (4) units per acre** single-family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units.
- B. Areas that are zoned for this use shall have or provide for water, wastewater, drainage and access to paved streets based on single-family use required by the allowed density.
- C. It is intended for areas that are properly buffered from non-residential uses, and protected from pollution and/or environmental hazards or from high volume of non-single family traffic.
- (d) Permitted Uses. In general, single-family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in *Article 14.400 Permissible Uses*.
- (e) Special Standards. No building or land may be used, unless in accordance with the development standards in this *Article 14.500 General* and *Article 14.500 Residential Districts* of this ordinance.

~~(f)~~ **(g)** Single Family Residential-**5** (SF-5) District.

(3) Purpose.

- A. This district comprises a major portion of the existing single-family dwelling development of the City. It is intended to be composed of **five (5) units per acre** single-family dwellings together with public, denominational and private schools and public parks essential to create basic neighborhood units.
- B. Areas that are zoned for this use shall have or provide for water, wastewater, drainage and transportation capacities based on single-family use required by the allowed density.
- C. It is intended for areas that properly transition to retail and service uses, and are protected from pollution and/or environmental hazards or from high

volume of non- single family traffic.

- (4) Permitted Uses. In general, single-family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in *Article 14.400 Permissible Uses*.
- (5) Special Standards. No building or land may be used, unless in accordance with the development standards in this *Article 14.500 General and Residential Districts* of this ordinance.

~~(g)~~ **(h)** Single Family Residential-6 (SF-6) District.

(6) Purpose.

- A. This district is considered to be the proper zoning classification for areas of the undeveloped land remaining in the City appropriate for single-family dwelling use. It is intended to be composed of **six (6) units per acre** single-family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units.
 - B. Areas that are zoned for this use shall have or provide for water, wastewater, drainage and transportation capacities based on single-family use required by the allowed density.
 - C. It is intended for areas that properly transition to retail and service uses, and are protected from pollution and/or environmental hazards or from high volume of non- single family traffic.
- (7) Permitted Uses. In general, single-family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in *Article 14.400 Permissible Uses*.
 - (8) Special Standards. No building or land may be used, unless in accordance with the development standards in this *Article 14.500 General and Article 14.500 Residential Districts* of this ordinance.

~~(h)~~ **(i)** Two-Family (or Duplex) Residential (2F-6) District.

(9) Purpose.

- A. The **Two-Family**/Duplex Residential District is established to provide adequate space and site diversification for medium-density, duplex type residential development with **two dwelling units per lot and 6 units per acre**, and at almost twice the density of a typical single-family development and to adjust the development standards accordingly.
- B. Duplex type development is a low to medium density use, and additional

requirements for streets, water and fire protection, wastewater, drainage, and adequate open space shall be met before development to such use.

- C. Duplex developments are not necessarily a buffer between single-family and commercial uses, and should properly transition to from non-residential uses like retail and service, and be protected from high volumes of non-residential traffic, or from pollution and/or environmental hazards.

- (10) Permitted Uses. In general, single-family and duplex dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in *Article 14.400 Permissible Uses*.
- (11) Special Standards. No building or land may be used, unless in accordance with the development standards in this *Article 14.500 General* and *Article 14.500 Residential Districts* of this ordinance.

⌘ **(j)** Zero Lot Line Residential (ZL-7) District.

(12) Purpose.

- A. The Zero Lot Line Residential District is established to provide adequate space and site diversification for medium-density residential development that is single-family, on separate lots, and typically owner occupied.
- B. Zero Lot Line development is a medium density use **with seven (7) units per acre**. The increased requirements for street, water and fire protection, wastewater, drainage, and adequate open space should be met or provided for before zoning to this district.
- C. Zero Lot Line developments must properly transition to retail and service uses, and be protected from high volumes of non-single family traffic, or from pollution and/or environmental hazards.

- (13) Permitted Uses. In general, single-family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in *Article 14.400 Permissible Uses*.
- (14) Special Standards. No building or land may be used, unless in accordance with the development standards in this *Article 14.500 General* and *Article 14.500 Residential Districts* of this ordinance.

⌘ **(k)** Town House Residential **-16** (TH-16) District.

(1) Purpose.

- A. The Town House Residential District is established to provide adequate

space and site diversification for high-density residential development that is single-family, on separate lots, and typically owner occupied.

- B. Town house type development is a high density use **with sixteen (16) units per acre**, and additional requirements for streets, water and fire protection, wastewater, drainage, and adequate open space shall be met before development of such use.
 - C. Town house developments can provide a buffer or transition between single family and commercial uses like retail and service, but should be properly protected from pollution and/or environmental hazards.
- (2) **Permitted Uses.** In general, single-family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in *Article 14.400 Permissible Uses*.
- (3) **Special Standards.**
- A. No more than six dwelling units should be attached in any continuous row or group of units; however this may be varied if specifically addressed and approved as part of the Site Plan.
 - B. No required parking shall be allowed in the required front yard.
 - C. No building or land may be used, unless in accordance with the development standards in this *Article 14.500 General* and *Article 14.500 Residential Districts* of this ordinance.
 - D. Articulation Requirements. Individual units should be articulated to distinguish them from each other. Facades shall meet the following minimum standards for articulation:
 - 1. Horizontal Articulation. No building wall shall extend for a distance equal to 2 times the wall's height without having an off-set of 20% of the wall's height, and that new plane shall extend for a distance equal to at least 25% of the maximum length of the first plane.
 - 2. Vertical Articulation. Each must include at least one of the following which varies from the adjacent unit: a varied eave line elevation, a gable, articulated stoop, entry feature or other approved variation which may be approved by the Director.
 - 3. The Director or the Planning and Zoning Commission may vary these standards through approval of a particular design elevation, upon determining a "finding" that the composite elevation of townhomes will be improved and made more attractive by varying such standards.

~~(k)~~ **(l)** Multi-Family Residential-**16** (MF-16) District.

(1) **Purpose.**

- A. The Multi-Family Residential District is established to provide adequate space and site diversification for medium density areas **with sixteen**

(16) units per acre.

- B. All Multi-family districts should be located within 1,200 feet of retail and other services; and no more than 500 units should be located within one mile of each other. These standards will help support a strong market for the units, and consequently on- going reinvestment, while helping to make sure that inappropriate concentrations of multi-family units are not created. The Downtown area is exempted from the spacing standard.
- C. This zone allows medium density developments, and should be located where additional requirements for streets, water and fire protection, wastewater, drainage, and adequate open spaces are met. MF-16 uses should not run traffic through single- family neighborhoods, and should be located close to arterial or collectors capable of carrying the additional traffic.
- D. Multi-Family developments are not necessarily a buffer between single-family and commercial uses, and should be property buffered from pollution and/or environmental hazards.

CITY OF LANCASTER'S BOARDS AND COMMISSIONS

Planning & Zoning Commission

Item 10.

Meeting Date: 05/07/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Financially Sound City Government
Quality Development

Submitted by: Bester Munyaradzi, Senior Planner

Agenda Caption:

Discuss and consider amendments to Article 14.500 District Development Regulations and Standards, Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts to add Single Family-2 (SF-2) to current residential districts; add SF-2 to various sections of the Lancaster Development Code (LDC) in addition to specifying the minimum number of dwelling units allowed per acre in the current residential districts.

Background:

The City Council requested that an item be included on the agenda for the purpose of discussing Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts to add SF-2 to current residential districts in the Lancaster Development Code (LDC).

Currently the Lancaster Development Code (LDC) has four (4) single family residential districts namely:

- Single Family Estate (SF-E) District.
- Single Family Residential (SF-4) District.
- Single Family Residential (SF-5) District.
- Single Family Residential (SF-6) District.

SF-E allows for a large single-family dwelling lot developments in a rural setting, while SF-4 allows for four (4) units per acre, SF-5 allow for five (5) units per acre and SF-6 allow six (6) units per acre. SF-2 will allow for two (2) units per acre.

Operational Considerations:

The addition of the SF-2 to the above stated residential districts would bridge the gap between SF-E and SF-4 and would certainly promote a greater diversity of high quality housing choice with semi-rural living. Large lots enables the preservation of the assets of semi-rural living such as adequate space, low density and high quality homes. The SF-2 addition would also fulfill the City Council goal and objective for the Fiscal Year 2018 -2019 (FY 2018-2019) Quality Development goal which states "Consideration New Low Density Zoning Category (SF-2)".

Attached are the proposed Lancaster Development Code (LDC) amendments adding SF-2 to the LDC; Development Standards; Other Special Use Standards; Land Use Chart and specifications on the minimum number of dwelling units allowed per acre in the current residential districts. Giving more information to the current residential districts for example that SF-5 stands and means five (5) units per acre. Since in other Communities SF-5 means and stands for 5,000 square feet lot, specifying what (SF-5) among other residential districts stands for makes it clear to anyone looking into residential

development in the City of Lancaster.

Public Information Considerations:

On April 14, 2019 a notice for this public hearing appeared in the Focus Daily Newspaper. There were no letters received in support or in opposition of this request.

This item is being considered at a Regular Meeting of the Planning & Zoning Commission noticed in accordance with the Texas Open Meetings Act.

Options/Alternatives:

1. The Planning & Zoning Commission may recommend the proposed amendments, as presented.
2. The Planning & Zoning Commission may recommend the proposed amendments with some changes and state those changes.
3. The Planning & Zoning Commission may deny the proposed amendments.

Recommendation:

Staff recommends approval of the proposed amendments to the LDC, as presented.

Attachments

Article V. Development Standards - District Development Table
Section 14:301 Official Zoning Map
Section 14.401 Land Use Schedule
Article 14.402 Use Standards
Article 14.403 Other Special Use Standards
Sec. 14.503 Residential Districts
Proposed Ordinance

District Development Standards

<i>District</i>	<i>Old District Name</i>	<i>Maximum Density 43,560</i>	<i>Dwellings Per Lot</i>	<i>Minimum Sq. Ft./Dwelling</i>	<i>Front Yard Setback</i>	<i>Rear Yard Set Back</i>	<i>Side Yard Setback</i>	<i>Max Building Height</i>
A-O	A-O	1 Unit/5 acres	1 Unit	NA	40 ft.	25 ft.	10% of lot width, not to exceed 50 ft. ^{2,3,5}	35 ft.
SF-E	SF-ED	1 Unit/acre	1 Unit	2,100 sq. ft.	30 ft.	10 ft. ^{2,3,5}	10 ft. ^{2,3,5}	35 ft. and 2.5 stories ⁴
SF-2	NA	2 Unit/acre	1 Unit	2,100 sq. ft.	30 ft.	10 ft. ^{2,3,5}	10 ft. ^{2,3,5}	35 ft. and 2.5 stories ⁴
SF-4	SF-1A	4 Units/acre	1 Unit	2,100 sq. ft.	30 ft.	10 ft. ^{2,3,5}	10 ft. ^{2,3,5}	35 ft. and 2.5 stories ⁴
SF-5	SF-1	5 Units/acre	1 Unit	1,750 sq. ft.	30 ft.	10 ft. ^{2,3,5}	10 ft. ^{2,3,5}	35 ft. and 2.5 stories ⁴
SF-6	SF-2/SF-3	6 Units/acre	1 Unit	1,750 sq. ft.	30 ft.	10 ft. ^{2,3,5}	5 ft. ^{2,3,5}	35 ft. and 2.5 stories ⁴
ZL-7	SF-ZL	7 Units/acre	1 Unit	1,750 sq. ft.	30 ft.	10 ft. ^{2,3,5}	10 ft. ^{2,3,5}	35 ft. and 2.5 stories ⁴
2F-6	2F-1	6 Units/acre	2 Unit	1,200 sq. ft. / 1,000 sq. ft. ⁷	30 ft.	10 ft. ^{2,3,5}	7 ft. ^{2,3,5}	35 ft. and 2.5 stories ⁴
TH-16	SF-A	16 Units/acre	1 Unit	1,500 sq. ft.	25 ft.	10 ft. ^{2,3,5}	0 or 10 ft. ^{2,3,5}	35 ft. and 2.5 stories ⁴
MH	MH-1	6.6 Units/acre	NA	1,3500 sq. ft.	30 ft./15 ft. ⁸	10 ft. ^{2,3,5}	5 ft. ^{2,3,5}	35 ft. and 2.5 stories ⁴
MF-16	MF	16 Units/acre	NA	800 sq. ft. plus 100 sq. ft./BR	30 ft.	10 ft. ⁹	10 ft. ^{2,3,5}	35 ft. and 2.5 stories ⁴
NS	NS	0.5:1 FAR			25 ft.	0 ft./20 ft. ⁹	0 or 10 ft. ^{2,3,5}	35 ft. and 2.5 stories ⁴
R	R	NA			25 ft.	0 ft./20 ft. ⁹	0 or 10 ft. ^{2,3,5}	35 ft. and 2.5 stories ⁴
CH	CH/CT/CTH	1:1 FAR			25 ft.	0 ft./20 ft. ⁹	0 or 20 ft. ^{2,3,5}	140 ft./60 ft. ¹¹
CS	C	1:1 FAR			25 ft.	0 ft./20 ft. ⁹	0 or 30 ft. ^{2,3,5}	35 ft. and 2.5 stories ⁴
TX	NA	[Place Holder]						
ORT	NA	1:1 FAR			25 ft.	0 ft./20 ft. ⁹	0 or 20 ft. ^{2,3,5}	35 ft.
LI	LI	1:1 FAR			25 ft.	0 ft./20 ft. ⁹	0 or 20 ft. ^{2,3,5}	35 ft.
MI	HI	1:1 FAR			25 ft.	0 ft./20 ft. ⁹	0 or 20 ft. ^{2,3,5}	35 ft.
TND	NA	NA						

Notes:

- Guest Quarters/ Secondary Living Units are allowed but must meet the standards for such units in Article IV Permissible Uses.
- For Residential Portable and Accessory Buildings Setbacks, see Sub-Section 3.1 General Residential Standards
- Side yard setback adjacent to a side street must equal at least 85% of the minimum required front yard setback; 100% for MF and other non-residential uses.
- Accessory buildings such as garages without guest quarters/secondary living unit, shall be a maximum of 20 feet in height; 15 ft. in MH.
- Garages/Carports must be setback a minimum of 20 feet from side or rear property lines that they face.
- Corner lots should be a minimum of 10% larger than the average internal lots.
- 1,200 sf. for a 2-bedroom unit, 1,000 sf. for a 1 bedroom unit.
- 30 ft. setback from a public roadway; 15 ft. from a private road.
- If rear wall contains windows or doors then there shall be a 20 ft. setback from residentially zoned property.
- If side yard is adjacent to residentially zoned property, then a 10 ft. side yard shall be required; 20 ft. in CH; 30 ft. in CS.
- 140 ft. in height, but shall not exceed 60 ft. in height within 100 ft. of a property zoned as MF, 2F, or SF.
- The minimum Dwelling size is modified for a certain percentage of units by the requirement for Empty Nester type homes.

February 25, 2019

PROPOSED AMENDMENTS ADDING SF-2 TO ZONING DISTRICTS AND MAPS

ARTICLE 14.300 ZONING DISTRICTS AND MAPS

Sec. 14.301 Official Zoning Map

- (a) The City of Lancaster is hereby divided into zones, or districts, as shown on the Official Zoning Map which, together with all explanatory matter thereon, is hereby adopted by reference and declared a part of this ordinance. The zones, or districts, hereby established are and shall be known and cited as:

Zoning Districts

ABBREVIATED DESIGNATIO	ZONING DISTRICT NAME
"AO"	Agricultural Open
"SF-E"	Single Family Estate
<u>"SF-2"</u>	<u>Single Family Residential-2</u>
"SF-4"	Single Family Residential- <u>4</u>
"SF-5"	Single Family Residential- <u>5</u>
"SF-6"	Single Family Residential- <u>6</u>
"2F-6"	Two-Family (or Duplex) Residential
"SFA-16"	Single Family Attached Residential- <u>16</u>
"TH-16"	Town House Residential- 16
"MH"	Mobile Home Residential
"MF-16"	Multi-Family Residential District- <u>16</u>
"NS"	Neighborhood Service
"R"	Retail
"CH"	Commercial Highway
"CS"	Commercial Service
"TC"	Town Center District (Reserved)
"ORT"	Office Research Technology
"LI"	Light Industrial
"MI"	Medium Industrial

SPECIAL DISTRICTS

"PD"	Planned Development
"HPO"	Historic Preservation Overlay
"NPO"	Neighborhood Preservation Overlay
	SEE VOLUME II

P = Permitted **A** = Accessory Use **S** = SUP "+" = Permitted with Conditions

Agric.		Residential									Permitted Uses	Commercial					Industrial	
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Rural & Animal-Related	NS	R	CH	CS	TC	ORT	LI
P											Agricultural Building							
P	P	P	P	P	P	P	P	P	P	P	Agricultural Uses on Un-Platted Land	P	P	P	P		P	P
S	S										Animal Boarding/Kennel <i>with</i> Outside Pens							
P	S										Animal Boarding/Kennel <i>without</i> Outside Pens	S	S	P	P			P
S											Animal Clinic for small animals, no outdoor pens +	S	P	P	P			P
S											Animal Hospital, Clinic		S	P	S			P
S											Animal Production							
S											Animal Shelter							P
P											Crop Production							
P	S										Horse Corral or Stable (Commercial)+							
P	P										Horse Corral or Stable (Private)							
S	S										Wholesale Nursery for Growing of Plants, No Retail Sale on Site							P

A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Residential & Lodging	NS	R	CH	CS	TC	ORT	LI	P
P	P	P	P	P	P	P	P	P	P	P	Accessory Building +	P	P	P	P		P	P	P
S	S								P		Bed & Breakfast Operation +	S							
P											Caretakers Quarters/Domestic or Security Unit		P	P	P		P	P	P
A	A	A	A	A	A	A	A	A	A	A	Carport +								
P									P		Convent or Monastery		P		P				
							P	P	P		Duplex +								
A	A	A	A	A	A	A	A	A	A	A	Garage	A	A	A	A		A	A	A
A	A	A	A	A	S	S	S	S	P	S	Guest Quarters/ Secondary Living Unit +								
P	P	A	P	P	P	P	P	P	P	P	Home Occupation +								
											Hotel or Motel		S	P	P				
											Hotel, Residence		S		P				
								P	P		Loft	P	P	P	P				
									P		Multi-Family								
	P	P	P	P	P	P	P	P		P	Portable Building - Residential +								
									P		Residential Care Facility	S	S		S				
S											Single Family on less than the min. size lot +								
						P	P	P	P		Single Family, Attached +								
P	P	P	P	P	P	P	P	P	P	P	Single Family, Detached +								
						P	P	P	P		Single Family, Zero Lot Line +								
	S	S	S	S	S	S	S	S	S		Subdivision Screening Wall								
A	A	A	A	A	A	A	A	A	A	A	Swimming Pool, Private								
A	A	S	S	S	S	S	S	S	S	S	Tennis Court Private	S						P	S
								P	P		Townhouse +		P						
									S		Urban Residential +		S						

A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Institutional & Community Service	NS	R	CH	CS	TC	ORT	LI	F
									P		Assisted Living Facility +	S	P		P				
											Blood Plasma Donor Center		P	P	P			P	F
											Child Care Facility		S	P	P				
											Church/House of Worship +	P	P	P	P			P	F
											College, University, or Seminary		p	P	S		P	P	F
											Convalescent Care Facility/Nursing Home +	P	P	P	P		S	S	
S	S	S	S	S	S	S	S	S	S	S	Day Care (child or adult)	P	P	P	P		A		
											Emergency Ambulance Services, Ground		P	P	P			P	F
P	P	P	P	P	P	P	P	P	P	P	Group or Community Home+	P	P						
											Government Facility		P	P	P		P	P	I
									S		Hospice	P	P	P	P		S	S	S
											Hospital		P	P	P		P	P	S
											Library, Art Gallery or Museum (Public)	P	P	P	P		P	P	F
											Mortuary or Funeral Chapel		P	P	P		S	P	
											Penal Boarding Home							P	F
											Post Office, Local Service	P	P	P	P		P	P	F
											Post Office, Regional			P			S	P	F
											Prison/Custodial Institution							P	F
P	P	P	P	P	P	P	P	P	P	P	Public School Primary, Secondary, Senior (Includes a Charter School) +	P	P	P	P		P	P	F
S	S	S	S	S	S	S	S	S	S	S	Private School Primary, Secondary, Senior +	S	S	S	S				
											Rescue Mission or Shelter for the Homeless			S				P	F
											Social Service Provider, not Rescue Mission or Shelter		S	P				P	F

P	P	P	P	P	P	P	P	P	P	P	Temporary Educational Building +	P	P	P	P		P	P	
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Office & Professional	NS	R	CH	CS	TC	ORT	LI	
											Bank, Savings and Loan, Credit Union or similar Financial Institution with Drive-Through + (See Definitions)	S	P	P	P		P	P	
											Bank, Savings and Loan, Credit Union or similar Financial Institution without Drive-Through (See Definitions)	P	P	P	P		P	P	
											Check Cashing Business, Credit Agency or similar Financial Institution (See Definitions)				S				
											Office, General		P	P	P		P	P	
											Office Building, less than 5,000 s.f.	P	P	P	P		P	P	
											Office Building, 5,000 s.f. or more	S	P	P	P		P	P	
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Recreation, Entertainment & Amusement	NS	R	CH	CS	TC	ORT	LI	
											Billiard Parlor or Pool Hall +		S	S	P			P	
											Carnival, Circus, or Amusement Ride, Temporary +	S	P	S	P		S	P	
											Commercial Amusement/ Recreation (Inside) +		S	P	P			P	
											Commercial Amusement/ Recreation (Outside)		S	S	S			S	
S	S	S	S	S	S	S	S	S	S	S	Community or Recreation Club, Public or Private (Accessory)	S	P	P	P		P	P	
S	S	S	S	S	S	S	S	S	S	S	Country Club, Private	S	P	P	P		S	P	
											Golf Driving Range	S	S	S	P		S	P	
P	P	P	P	P	P	P	P	P	P	P	Fund Raising Events by Non-Profit, Indoor or Outdoor, Temporary +	P	P	P	P		P	P	
											Gun Club, Skeet or Target Range (Indoor)		S	P	P			P	
S											Gun Club, Skeet or Target Range (Outdoor)								

									A		Health Club	P	P	P	P		P	P	P
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Recreation, Entertainment & Amusement, continued	NS	R	CH	CS	TC	ORT	LI	I
											Private Club, Lodge or Fraternal Organization	S	P	P	P			P	S
											Private Sports Arena, Stadium or Track		S	S	S			S	S
P	P	P	P	P	P	P	P	P	P	P	Public Park or Playground	P	P	P	P		P	P	P
S	S	S	S	S	S	S	S	S	S	S	Tennis Courts (Not accessory to a public or private club) +	S	P	P	P			P	P
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Retail & Personal Services	NS	R	CH	CS	TC	ORT	LI	I
											Antique/Collectible Store	S	P	P	P				
											Astrologer, Hypnotist, or Psychic Art and Science	P	P	P	P				
											Banquet Facility		P	P	P				
											Business School		P	P	P		P	S	
											Catering Service	S	P	P	P		S	P	
											Christmas Tree Sales Lot & Similar Uses, Temporary +	S	P	P	P		S	P	I
											Copy Center	P	P	P	P		P	P	
											Display, Incidental +	P	P	P	P				
											Garden Supply/Plant Nursery +	S	P	P	P			P	
											General Personal Service	P	P	P	P			S	
											Hair Salon, Manicurist	P	P	P	P				
											Laundry, Drop-off/Pickup	P	P	P	P			P	I
											Laundry, Self Service	P	P	P	P			P	I
											Massage Therapist	P	P	P	P				

											Museum or Art Gallery (Private)	S	P		P		P		
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Retail & Personal Services, Continued	NS	R	CH	CS	TC	ORT	LI	M
											Night Club, Discoteque, or Dance Hall		S	P	P			S	S
											Pawn Shop								P
											Pet Shop	P	P	P	P				
P	P	P	P	P	P	P	P	P	P	P	Real Estate Sales Office, On-site, Temporary +	P	P	P	P		P	P	P
											Rental Store, w/o Outside Storage and Display		S	S	S			S	P
											Restaurant, Less than 2000 Sq. Ft., w/ Drive-Thru +	S	P	P	P			P	P
											Restaurant, Less than 2000 Sq. Ft., w/o Drive-Thru	P	P	P	P		P	P	P
											Restaurant, 2000 Sq. Ft. or more, w/ Drive-Thru +	S	P	P	P			P	P
											Restaurant, 2000 Sq. Ft. or more, w/o Drive-Thru	S	P	P	P		S	P	P
											Retail Store, 25,000 Sq. Ft. or more	S	S	P	P				
											Retail Store, Less than 25,000 Sq. Ft.	P	P	P	P			S	S
											Retail store with gasoline product sales limited to 2 fuel dispensers and 4 vehicles	S	P	P	P			P	P
											Retail store with more than 2 fuel dispensers		S	P	P			P	P
											Used Merchandise Store		S	P	P				
											Sexually Oriented Business +								P
											Studio - Art, Photography or Music	P	P	P	P			P	
											Tailor, Clothing or Apparel Shop	P	P	P	P				

A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Retail & Personal Services, Continued	NS	R	CH	CS	TC	ORT	LI	M
											Tattoo, Body Piercing (does not include earlobe piercing)		S						
											Taxidermist Shop							P	P
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Commercial & Business Services	NS	R	CH	CS	TC	ORT	LI	M
											Bail Bond Service			S	P			P	P
											Building & Landscape Material <i>with</i> Outside Storage +		P	P	P			P	P
											Building Maintenance, Service & Sales <i>with</i> Outside Storage +				S			P	P
											Building Maintenance, Service & Sales <i>without</i> Outside Storage			P	P			P	P
S											Cemetery/ Mausoleum/ Mortuary		P	P	P			P	F
											Crematorium							S	P
											Custom & Craft Work			P	S			P	P
											Electrical, Watch, Clock, Jewelry & Similar Repair	P	P	P	P				
											Feed Store, Ranch Supply			P	S			S	F
											Food Processing				S			P	P
											Furniture or Cabinet Repair			S	P			P	
											Furniture Upholstery, Refinishing or Resale			S	P			P	P
											Gunsmith Repair and Sales			S	P			P	P
											Heavy Machinery & Equipment (Rental, Sales & Service)			S	S			P	P
											Locksmith		P	P	P			P	P
											Machine Shop				S			P	P

A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Commercial & Business Services, continued	NS	R	CH	CS	TC	ORT	LI
											Medical or Scientific Research Lab			P	P		P	P
											Mobile Home/Trailer Sales Lot				S			S
											Portable Buildings - Commercial +		S	S	S		S	S
											Research and Technology			P	P		P	P
											Shoe and Boot Repair and Sales	P	P	P	P			
											Trade School			S	S		P	P
P	P	P	P	P	P	P	P	P	P	P	Temporary On-site Construction Office +	P	P	P	P		P	P
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Auto & Marine-Related	NS	R	CH	CS	TC	ORT	LI
											Auto Repair Garage, Major +							P
											Auto Repair Garage, Minor +		S	S	P			P
											Automobile Rental			S	P			P
											Boat & Trailer Dealership (New and Used) +			P	P			P
											Car Wash/Auto Detail +	S	S	S	P			P
											Car Wash, Self Service		S		P			P
											Motor Vehicle Dealership, New & Used (Cars and Light Trucks) +			P	S			P
											Parking, Commercial			P	P			P
											Parking Lot, non-commercial	S	P	P	P		P	P
											Recreational Vehicle (RV) Sales and Service			S	P			P
											Service Station +	S	P	P	P			P
											Towing & Impound Yard							S

											Towing Service, No Storage							S	P
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Auto & Marine-Related, continued	NS	R	CH	CS	TC	ORT	LI	N
											Truck Rental				P			P	P
											Truck Stop w ith Fuel and Accessory Services +				S			S	P
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Industrial & Manufacturing	NS	R	CH	CS	TC	ORT	LI	N
S											Asphalt or Concrete Batch Plant +							S	S
P	P	P	P	P	P	P	P	P	P	P	Asphalt or Concrete Batch Plant, Temporary +	P	P	P	P		P	P	F
											Bottle Works, Milk or Soft Drinks							P	P
											Brew ery, Distillery or Winery (Excluding Brew Pub)				S			P	F
											Carpet and Rug Cleaning				S			P	F
											Environmentally Hazardous Materials +							S	F
											Food Processing (No Slaughtering)				S			P	F
											Light Assembly & Fabrication			S	P		P	P	F
											Manufacturing, Heavy							S	F
											Manufacturing, Light			S	P		S	P	F
											Metal Plating, Electro Plating							S	F
S	S	S	S	S	S	S	S	S	S	S	Mining and Extraction (Sand, Gravel Oil & other) +	S	S	S	S		S	S	S
											Monument Works, Stone and Metal				S			S	F
											Portable Building				S			S	S
											Printing & Publishing				P			P	F
											Salvage or Reclamation of Products (Indoors)				S			P	F

A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Industrial & Manufacturing, continued	NS	R	CH	CS	TC	ORT	LI	F
											Salvage or Reclamation of Products (Outdoors)							S	F
											Sheet Metal Shop				S			P	F
											Tool, Dye, Guage and Machine Shop							S	F
											Welding Repair				S			P	F
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Wholesale, Distribution & Storage	NS	R	CH	CS	TC	ORT	LI	F
											Cold Storage Plant			P				P	F
											Heavy Construction Trade Yard			S				P	F
S											Landfill, Sanitary								
											Mini-w arehouse +			S	S			P	F
											Outside Storage +			P				P	F
											Recycling Collection Center			S				P	F
											Warehouse/ Distribution Center			P			S	P	F
											Wholesale Show room Facility			P	S			P	F
A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Utilities, Communications & Transportation	NS	R	CH	CS	TC	ORT	LI	F
											Airport, Heliport or Landing Field			S				S	S
P	S	S	S	S	S	S	S	S	P	S	Antenna, Accessory +	P	P	P	P		P	P	F
											Antenna, Commercial +		S	S	S		S	S	F
A	A	A	A	A	A	A	A	A	A	A	Antenna, Dish +	A	P	P	P		P	P	F
S											Antenna, Commercial, Free-Standing +		S	S	S		S	P	F
											Antenna, Commercial, Mounted +		S	S	S		P	P	F
											Bus Charter Service & Service Facility			P				P	P
											Helipad		S	S	S		S	S	S

A-O	SF-E	SF-2	SF-4	SF-5	SF-6	ZL-7	2F-6	TH-16	MF-16	MH	Utilities, Communications & Transportation, continued	NS	R	CH	CS	TC	ORT	LI	M
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Utilities (Non-Municipally owned or Controlled), including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	S	S	S	S		S	S	S
P	P	<u>P</u>	P	P	P	P	P	P	P	P	Municipally Owned or Controlled Facilities, Utilities and Uses	P	P	P	P		P	P	P
S											Portable Building	S	S	S	S		S	S	S
	S	<u>S</u>	S	S	S	S	S	S	S	S	Private Streets	S	S	S	S		S	S	S
											Radio Broadcasting		P	P	P		P	P	P
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Railroad Yard or Shop	S	S	S	S		S	S	S
											Recording Studio		S	P	P		P	P	P
P	P	<u>P</u>	P	P	P	P	P	P	P	P	Satellite Dish +	P	P	P	P		P	P	P
											Transit Passenger Facility	S	S	S	S		S	S	S
											Trucking Company								P
											TV Broadcasting & Other Communication Service		S	P	S		S	P	P
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Utilities Holding a Franchise from City of Lancaster	S	S	P	S		S	P	P
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Utility Installation, Other than Listed	S	S	S	S		S	S	S
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Utility/ Transmission Lines +	S	S	S	S		S	S	S
S	S	<u>S</u>	S	S	S	S	S	S	S	S	Wireless Communication Tower	S	S	S	S		S	S	S

Sec. 14.402 Use Standards

Conditions. The following uses as provided by this Code shall meet the standards established in this section, which are as follows:

(a) Rural and Animal-Related

(1) Animal Clinic for Small Animals

- A. A place where animals or pets are given medical or surgical treatment and are cared for during the time of such treatment.
- B. Use as a kennel shall be limited to short-time boarding and shall be only incidental to such clinic use.

(2) Horse Corral or Stable (Commercial).

- A. Ground accumulations of manure shall be collected and properly disposed of so as not to create offensive odors, fly breeding, or in any way pose a health hazard or nuisance to human beings and animals; and
- B. Fences or pens, corrals or similar enclosures shall be of sufficient height and strength to properly retain the animal, and be properly maintained.
- C. Farm animals shall be regulated by Animal Control Ordinance as to acreage and how close they come to residences.

(b) Residential and Lodging Use Conditions:

(1) Accessory Building (Accessory to Residential Use)

- A. The accessory building shall be accessory to a residential use and located on the same lot.
- B. In all residential districts, one (1) detached garage shall be allowed provided that:
 - 1. It does not exceed 900 square feet in area;
 - 2. It is located on the same lot as the residential use;
 - 3. If located partially or totally in front of the rear façade of the main structure, the exterior cladding must contain the same materials, as found on the main structure and is generally in the same proportion; and
 - 4. Detached garages shall not exceed the height limit in the district.
- C. In SF-E and SF-2 no more than two (2) accessory buildings shall be allowed totaling up to 600 square feet (each) in area, and 15 feet or less in height.
- D. In SF-4, SF-5, SF-6, no more than two (2) accessory buildings shall be allowed which are up to 225 square feet (each) in area and 15 feet or less in height. (Greenhouses are exempt from the materials requirement.)
- E. In 2F, no more than two (2) accessory buildings shall be allowed which is up to 100 square feet (each) in area and 10 feet or less in height. (Greenhouses are exempt from the materials requirement.)
- F. These standards shall not apply to residential buildings in AO Districts where such building is associated with a residential or agricultural use.
- G. See below for “portable building” standards which include prefabricated storage sheds.

Sec. 14.403 Other Special Use Standards

(a) Farm Animals and Horses

- (1) **Grazing Animals.** In non-agricultural districts, grazing animals 500 pounds or greater, including horses and cattle must have a minimum fenced or enclosed area of 15,000 s.f. per animal. Grazing animals of less than 500 pounds, including sheep and goats, must have a minimum fenced or enclosed area of 3,000 s.f. per animal, and a minimum lot size of 10,000 s.f.
- (2) **Other Animals.** An SUP is required for other farm animals, including chickens and swine, and for a reduction in the land area required for grazing farm animals. The City shall not grant an SUP for any farm animal unless it is convinced that the presence of such animals will not injure the use and enjoyment of neighboring properties, including the impact of dust, flies and odor.
- (3) **General Conditions.** Notwithstanding the conditions above,
 - A. Ground accumulations of manure shall be collected and properly disposed of so as not to create offensive odors, fly breeding, or in any way pose a health hazard or nuisance to human beings and animals;
 - B. Fences or pens, corrals or similar enclosures shall be of sufficient height and strength to properly retain the animal; and
 - C. All enclosures for grazing animals shall be placed a minimum of 25 feet from the boundary of any adjoining lot or tract which is zoned for residential use.
 - D. In SF-E **and SF-2** no swine, goats, or fowl are permitted.
 - E. Nothing contained herein shall conflict with any State law or applicable ordinance

(b) Temporary Accommodation for Employees, Customers and Visitors

- (1) **Temporary Accommodations.** Temporary accommodation for employees, customers and visitors may be provided as an ancillary use in commercial zoning districts provided that:
 - A. Such accommodation is clearly in support of the business operation,
 - B. No rental of such facilities to the general transient public occurs,
 - C. Accommodation is for temporary stays, not to exceed 30 days, and
 - D. No more than 5% of the building area is utilized for this ancillary use.

ARTICLE 14.500. DISTRICT DEVELOPMENT REGULATIONS AND STANDARDS

Sec. 14.503 Residential Districts

~~(e)~~ (d) Single Family Estate (SF-E) District.

(1) Purpose.

- A. This district is considered to be the proper zoning classification for large lot developments for single-family dwelling use in a rural setting with one (1) unit per acre.
 - B. Areas that are zoned for this use shall have or provide for water, wastewater, drainage and access to paved streets.
 - C. It is intended for areas that are properly buffered from non-residential uses, and protected from pollution and/or environmental hazards or from high volume of non- single family traffic.
- (2) Permitted Uses. In general, large lot single family uses shall be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in *Article 14.400 Permissible Uses.*
- (3) Special Standards. No building or land may be used, unless in accordance with the development standards in this *Article 14.500 General* and *Article 14.500 Residential Districts* of this ordinance.

~~(d)~~ (e) Single Family Residential-2 (SF-2) District.

(1) Purpose.

- A. This district is considered to be the proper zoning classification for large lot developments for single-family dwelling use. It is intended to be composed of two (2) units per acre single family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units.
 - B. Areas that are zoned for this use shall have or provide for water, wastewater, drainage and access to paved streets based on single-family use required by the allowed density.
 - C. It is intended for areas that are properly buffered from non-residential uses, and protected from pollution and/or environmental hazards or from high volume of non- single family traffic.
- (b) Permitted Uses. In general, single-family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in *Article 14.400 Permissible Uses.*
- (c) Special Standards. No building or land may be used, unless in accordance with the development standards in this *Article 14.500 General* and *Article 14.500 Residential Districts* of this ordinance.

~~(e)~~ (f) Single Family Residential-4 (Sf-4) District.

(2) Purpose.

- A. This district is considered to be the proper zoning classification for large lot developments for single-family dwelling use. It is intended to be composed of **four (4) units per acre** single-family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units.
- B. Areas that are zoned for this use shall have or provide for water, wastewater, drainage and access to paved streets based on single-family use required by the allowed density.
- C. It is intended for areas that are properly buffered from non-residential uses, and protected from pollution and/or environmental hazards or from high volume of non-single family traffic.
- (d) Permitted Uses. In general, single-family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in *Article 14.400 Permissible Uses*.
- (e) Special Standards. No building or land may be used, unless in accordance with the development standards in this *Article 14.500 General* and *Article 14.500 Residential Districts* of this ordinance.

~~(f)~~ **(g)** Single Family Residential-5 (SF-5) District.

(3) Purpose.

- A. This district comprises a major portion of the existing single-family dwelling development of the City. It is intended to be composed of **five (5) units per acre** single-family dwellings together with public, denominational and private schools and public parks essential to create basic neighborhood units.
- B. Areas that are zoned for this use shall have or provide for water, wastewater, drainage and transportation capacities based on single-family use required by the allowed density.
- C. It is intended for areas that properly transition to retail and service uses, and are protected from pollution and/or environmental hazards or from high volume of non-single family traffic.
- (4) Permitted Uses In general, single-family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in *Article 14.400 Permissible Uses*.
- (5) Special Standards. No building or land may be used, unless in accordance with the development standards in this *Article 14.500 General* and *Residential Districts* of this ordinance.

~~(g)~~ **(h)** Single Family Residential-6 (SF-6) District.

(6) Purpose.

- A. This district is considered to be the proper zoning classification for areas of the undeveloped land remaining in the City appropriate for single-family dwelling use. It is intended to be composed of **six (6) units per acre** single-family dwellings together with

public, denominational and private schools, and public parks essential to create basic neighborhood units.

B. Areas that are zoned for this use shall have or provide for water, wastewater, drainage and transportation capacities based on single-family use required by the allowed density.

C. It is intended for areas that properly transition to retail and service uses, and are protected from pollution and/or environmental hazards or from high volume of non- single family traffic.

(7) Permitted Uses. In general, single-family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in *Article 14.400 Permissible Uses*.

(8) Special Standards. No building or land may be used, unless in accordance with the development standards in this *Article 14.500 General* and *Article 14.500 Residential Districts* of this ordinance.

~~(h)~~ (i) Two-Family (or Duplex) Residential-6 (2F-6) District.

(9) Purpose.

A. The Two-Family/Duplex Residential District is established to provide adequate space and site diversification for medium-density, duplex type residential development with **two dwelling units per lot and 6 units per acre**, and at almost twice the density of a typical single-family development and to adjust the development standards accordingly.

B. Duplex type development is a low to medium density use, and additional requirements for streets, water and fire protection, wastewater, drainage, and adequate open space shall be met before development to such use.

C. Duplex developments are not necessarily a buffer between single-family and commercial uses, and should properly transition to from non-residential uses like retail and service, and be protected from high volumes of non-residential traffic, or from pollution and/or environmental hazards.

(10) Permitted Uses. In general, single-family and duplex dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in *Article 14.400 Permissible Uses*.

(11) Special Standards. No building or land may be used, unless in accordance with the development standards in this *Article 14.500 General* and *Article 14.500 Residential Districts* of this ordinance.

~~(i)~~ (j) Zero Lot Line Residential-7 (ZL-7) District.

(12) Purpose.

A. The Zero Lot Line Residential District is established to provide adequate space and site diversification for medium-density residential development that is single-family, on separate lots, and typically owner occupied.

- B. Zero Lot Line development is a medium density use **with seven (7) units per acre**. The increased requirements for street, water and fire protection, wastewater, drainage, and adequate open space should be met or provided for before zoning to this district.
 - C. Zero Lot Line developments must properly transition to retail and service uses, and be protected from high volumes of non-single family traffic, or from pollution and/or environmental hazards.
- (13) **Permitted Uses**. In general, single-family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in *Article 14.400 Permissible Uses*.
- (14) **Special Standards**. No building or land may be used, unless in accordance with the development standards in this *Article 14.500 General* and *Article 14.500 Residential Districts* of this ordinance.

(k) Town House Residential -16 (TH-16) District.

- (1) **Purpose**.
 - A. The Town House Residential District is established to provide adequate space and site diversification for high-density residential development that is single-family, on separate lots, and typically owner occupied.
 - B. Town house type development is a high density use **with sixteen (16) units per acre**, and additional requirements for streets, water and fire protection, wastewater, drainage, and adequate open space shall be met before development of such use.
 - C. Town house developments can provide a buffer or transition between single family and commercial uses like retail and service, but should be properly protected from pollution and/or environmental hazards.
- (2) **Permitted Uses**. In general, single-family dwellings together with public, denominational and private schools, and public parks essential to create basic neighborhood units, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in *Article 14.400 Permissible Uses*.
- (3) **Special Standards**.
 - A. No more than six dwelling units should be attached in any continuous row or group of units; however this may be varied if specifically addressed and approved as part of the Site Plan.
 - B. No required parking shall be allowed in the required front yard.
 - C. No building or land may be used, unless in accordance with the development standards in this *Article 14.500 General* and *Article 14.500 Residential Districts* of this ordinance.
 - D. Articulation Requirements. Individual units should be articulated to distinguish them from each other. Facades shall meet the following minimum standards for articulation:
 - 1. Horizontal Articulation. No building wall shall extend for a distance equal to 2 times the wall's height without having an off-set of 20% of the wall's height, and that new plane shall extend for a distance equal to at least 25% of the maximum length of the first plane.
 - 2. Vertical Articulation. Each must include at least one of the following which varies

from the adjacent unit: a varied eave line elevation, a gable, articulated stoop, entry feature or other approved variation which may be approved by the Director.

3. The Director or the Planning and Zoning Commission may vary these standards through approval of a particular design elevation, upon determining a "finding" that the composite elevation of townhomes will be improved and made more attractive by varying such standards.

~~(4)~~ **(1)** Multi-Family Residential-**16** (MF-16) District.

(1) Purpose.

- A. The Multi-Family Residential District is established to provide adequate space and site diversification for medium density areas **with sixteen (16) units per acre.**
- B. All Multi-family districts should be located within 1,200 feet of retail and other services; and no more than 500 units should be located within one mile of each other. These standards will help support a strong market for the units, and consequently on- going reinvestment, while helping to make sure that inappropriate concentrations of multi-family units are not created. The Downtown area is exempted from the spacing standard.
- C. This zone allows medium density developments, and should be located where additional requirements for streets, water and fire protection, wastewater, drainage, and adequate open spaces are met. MF-16 uses should not run traffic through single- family neighborhoods, and should be located close to arterial or collectors capable of carrying the additional traffic.
- D. Multi-Family developments are not necessarily a buffer between single-family and commercial uses, and should be property buffered from pollution and/or environmental hazards.

ORDINANCE NO.

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS AMENDING ORDINANCE 2006-04-13, (THE LANCASTER DEVELOPMENT CODE), ARTICLE 14.500 DISTRICT DEVELOPMENT REGULATIONS AND STANDARDS, SECTION 14.503 RESIDENTIAL DISTRICTS TO ADD A NEW SINGLE FAMILY-2 (SF-2) DISTRICT; TO ADD SF-2 TO THE VARIOUS ARTICLES AND SECTIONS OF THE LANCASTER DEVELOPMENT CODE (LDC) IN ADDITION TO SPECIFYING THE MINIMUM NUMBER OF DWELLING UNITS ALLOWED PER ACRE IN THE CURRENT RESIDENTIAL DISTRICTS; PROVIDING A REPEALING CLAUSE; PROVIDING A SAVING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH AND EVERY OFFENSE; AND PROVIDING AND EFFECTIVE DATE.

WHEREAS, the City Council of the City of Lancaster, Texas has determined to amend Ordinance 2006-04-13, (the Lancaster Development Code) Section 14.503 Residential Districts to add a new Single Family-2 (SF-2) district to current residential districts; and to add SF-2 to various articles and sections of the Lancaster Development Code (LDC) in addition to specifying the minimum number of dwelling units allowed per acre in the current residential districts.

WHEREAS, the City Council has determined that in order to preserve and enhance the City as a desirable community in which to live and do business, a pleasing, visually attractive environment is of the foremost importance; and

WHEREAS, the City Council, has determined that adding Single Family-2 (SF-2) as a residential district option would be in the best interest of the City of Lancaster and will fulfil the City Council's previous stated FY 2018-2019 goal of considering a new low density (SF-2) zoning category to further quality development in the City; and

WHEREAS, the City Council further has determined that Chapter 14 of the Lancaster Development Code should be amended, as provided herein;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1.

That the following Articles and Sections of the LDC be amended as stated in the attached exhibits:

Article V. District Standards - District Development Table

Section 14.301 Official Zoning Map

Section 14.401 Land Use Shedule

Sec. 14.402 Use Standards

Sec. 14.403 Other Special Use Standards

Section 14.503 Residential Districts

SECTION 2. That all provisions of the Lancaster Development Code in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other provisions of the Lancaster Development Code not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That should any word, sentence, paragraph, subdivision, clause, phrase or section of this ordinance, or of the Lancaster Development Code, as amended hereby, be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said ordinance or the Lancaster Development Code, as amended hereby, which shall remain in full force and effect.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance or the provisions of the Code of Ordinances of the City of Lancaster, Texas, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the municipal court of the City of Lancaster, Texas, shall be subject to a fine not to exceed the sum of Two Thousand (\$2,000.00) dollars for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. This Ordinance shall become effective from and after its passage and publication as required by law.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 25th of March, 2019

ATTEST:

APPROVED:

Sorangel O. Arenas, City Secretary

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney

MINUTES

PLANNING & ZONING COMMISSION REGULAR MEETING OF MAY 7, 2019

The Planning and Zoning Commission of the City of Lancaster, Texas, met in a Regular Session in the Council Chambers of City Hall on May 7, 2019 at 7:00 p.m. with a quorum present to-wit:

Commissioners Present:

Ernest Casey
Lawrence Prothro
Isabel Aguilar (Arrived on item 9)
Tamika Whitfield, Alternate

Commissioners Absent:

Jeremy Reed, Chair
Ty G. Jones, Vice-Chair

City Staff:

Bester Munyaradzi, Senior Planner
Emma Chetuya, Planner
Terry Welch, City Attorney

Call to order:

City Attorney Terry Welch called the meeting to order at 7:00 p.m. on May 7, 2019.

CONSENT AGENDA:

City Attorney Terry Welch read the consent agenda.

1. **Consider approval of minutes from the Planning and Zoning Commission Regular Meeting held on April 2, 2019.**
2. **PS 19-10 Consider a final plat for Houston School Road Industrial Park on two lots approximately 68.11 acres, located at the northwest corner of Houston School Road and Wintergreen Road. The property is more particularly described as a tract of land situated in the William Howerton Survey Abstract No. 559, City of Lancaster, Dallas County, Texas.**
3. **PS19-11 Consider a request for approval of a preliminary plat for Victron Addition, being Lot 1, Block A on approximately 2.6 acres, located on the southeast corner of I-35 East Service Road and Parkerville Road. The property is described as a tract of land situated in the Charles H. Bernard Survey, Abstract No. 128, in the City of Lancaster, Dallas County, Texas.**
4. **PS19-12 Consider a request for approval of a final plat for Carona Addition, being two (2) commercial lots on approximately 2.55 acres, located on the northeast corner of Interstate Highway 35E and Daniieldale Road. The property is described as a tract of land situated in the Silas B. Runyon Survey, Abstract No. 1199, City of Lancaster, Dallas County, Texas.**
5. **PS19-13 Consider a request for approval of a final plat for Global BTS, creating Lot 1 Block A on approximately 22.15 acres, addressed as 3130 North Longhorn Drive. The property is described as a tract of land situated in the William Howerton Survey, Abstract No. 559, in the City of Lancaster, Dallas County, Texas.**

6. **HLPC19-03 Discuss and consider a Certificate of Appropriateness to install railing, columns, and plywood to enclose the porch and replace the exterior window framings on the property located at 307 W. Main Street, Lancaster, Dallas County, Texas.**

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to approve consent items 1-6. The vote was cast 3 for, 0 against [Reed, Jones and Aguilar absent].

PUBLIC HEARING:

7. **PS19-09 Conduct a public hearing and consider a residential replat of Spring Valley Addition, subdividing Lot 2 Block B into two (2) lots (Lots 2A and 2B Block B), on approximately .352 acre, located on the northwest corner of Springcrest Circle and West Pleasant Run Road and is currently addressed as 2105 W. Pleasant Run Rd. The property is described as a tract of land recorded in volume 42, page 209, City of Lancaster, Dallas County, Texas.**

Planner Chetuya gave the staff report and stated the request is for approval of a residential replat to subdivide one (1) lot into two (2) lots for the purpose of building single family homes. Planner Chetuya explained that access to the properties will be provided from Springcrest Circle and that there are existing water and sewer lines on Springcrest Circle. The applicant will be responsible for all utilities and infrastructure necessary for development. The plat is in substantial conformance with the subdivision regulations and the Engineering division concurs with the approval of the replat.

City Attorney Terry Welch opened the public hearing.

There were no speakers.

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to close the public hearing. The vote was cast 3 for, 0 against [Reed, Jones and Aguilar absent].

Commissioner Prothro asked what is going to be done with the property after they are subdivided.

Eric Lockhart, 4041 W. Wheatland Rd., Suite 106, Dallas, TX 75237, the applicant, spoke in favor of the replat request stating the reasons for creating two lots for single-family homes as beneficial to the subdivision in relation to frontage along a major street.

MOTION: Commissioner Casey made a motion, seconded by Commissioner Prothro to approve item 7. The vote was cast for 3 for, 0 against [Reed, Jones and Aguilar absent].

8. **Z19-07 Conduct a public hearing and consider a rezoning request from Agricultural Open (AO) to SF-4 Single Family Residential. The property is located north of East Reindeer Road and east of Dasher Drive and is addressed as 3223 Prancer Street. It is further described as Lot 8, Block 2 in Abstract 1554 Survey Money Weatherford, Lancaster, Dallas County, Texas.**

Planner Chetuya gave the staff report and stated the request is to rezone the subject property from Agricultural Open (AO) to Single-Family Residential (SF-4) for the development of a single-family home on a 0.63 acre lot. Planner Chetuya stated that the current zoning only allows for agricultural uses and one single-family dwelling on five (5) acres or more. The proposed zoning change would allow up to four dwelling units per acre. The proposed change request will integrate appropriately as the area is envisioned for single-family home development. It is also consistent with the Comprehensive Plan.

Commissioner Prothro asked if the zoning change was in compliance with the current Comprehensive Plan or the previous Comprehensive Plan. Planner Chetuya confirmed the requested change is consistent with 2016 Comprehensive Plan.

City Attorney Terry Welch opened the public hearing.

There were no speakers.

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to close the public hearing. The vote was cast 3 for, 0 against [Reed, Jones and Aguilar absent].

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to approve item 8. The vote was cast 3 for, 0 against [Reed, Jones and Aguilar absent].

9. Discuss and consider amendments to Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts Subsection (a) General Residential District Standards – All residential districts (1) Residential Unit Diversity of the Lancaster Development Code amending Empty-Nester Units requirement in certain Single Family zoning districts.

Senior Planner Munyaradzi gave the staff report and stated the City Council requested this item be included on the agenda to discuss Article 14.500 District Development Regulations and Standards, Section 14.503 of the Lancaster Development Code (LDC), to amend the minimum 20 percent Empty-Nester Units requirement in single-family residential districts. Empty nesters requirement in the LDC is intended to ensure housing diversity types for young couples, empty-nesters and retirees. She noted that the proposed ordinance amendment will eliminate difficult requirements for developers to provide empty-nesters units and high quality housing types. It will also allow staff to work closely with developers with each single-family development proposal. Staff therefore recommends approval of item 9.

Commissioner Prothro asked staff to define empty-nesters units. Senior Planner Munyaradzi stated that they are homes designed for young couples or people without children and retirees.

Commissioner Aguilar opened the public hearing.

There were no speakers.

MOTION: Commissioner Aguilar made a motion, seconded by Commissioner Prothro to close the public hearing. The vote was cast 4 for, 0 against [Reed and Jones absent].

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to approve item 9. The vote was cast 4 for, 0 against [Reed and Jones absent].

10. Discuss and consider amendments to Article 14.500 District Development Regulations and Standards, Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts to add Single Family-2 (SF-2) to current residential districts; add SF-2 to various sections of the Lancaster Development Code (LDC) in addition to specifying the minimum number of dwelling units allowed per acre in the current residential districts.

Senior Planner Munyaradzi gave the staff report and stated the City Council requested this item be included on the agenda to discuss Article 14.500 District Development Regulations and Standards, Section 14.503 Residential Districts to add Single-Family 2 (SF-2) to current residential districts in the Lancaster

Development Code (LDC). Senior Planner Munyaradzi stated the LDC currently has four (4) single-family residential districts: SF-E district, SF-4 district, SF-5 district and SF-6 district so the addition of SF-2 would

bridge the gap between SF-E and SF-4. The addition would promote a greater diversity of high quality housing choices with semi-rural living along with larger lots which enables the preservation of the assets of semi-rural living. Senior Planner Munyaradzi also noted that the SF-2 addition would fulfill the City Council goal and objectives for the Fiscal year 2018-2019 (FY 2018-2019) of Quality Development, which states "Consideration New Low Density Zoning Category (SF-2)". Staff therefore recommends approval of item 10.

Commissioner Prothro asked the reason for changing the residential districts. Senior Planner Munyaradzi explained that SF-2 would allow development of two (2) units per acre to close the gap between SF-E, which allows for one (1) unit per acre, and SF-4, which allows four (4) units per acre.

Commissioner Aguilar opened the public hearing.

There were no speakers.

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to close the public hearing. The vote was cast 4 for, 0 against [Reed and Jones absent].

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to approve item 10. The vote was cast 4 for, 0 against [Reed and Jones absent].

MOTION: Commissioner Prothro made a motion, seconded by Commissioner Casey to adjourn. The vote was cast 4 for, 0 against [Reed and Jones absent].

The meeting was adjourned at 7:25 p.m.

ATTEST:

Bester Munyaradzi, Senior Planner

APPROVED:

Jeremy Reed, Chair

LANCASTER CITY COUNCIL

City Council Regular Meeting

9.

Meeting Date: 06/10/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Quality Development

Submitted by: Bester Munyaradzi, Senior Planner

Agenda Caption:

M19-09 Discuss and consider a resolution accepting two (2) 15 foot wide water line easements (a 330 square feet or .008 acre water easement and a 50,105 square feet or 1.15 acre water easement) from Global Longhorn Center, L.P., Grantor, to the City of Lancaster for the installation, construction, operation, maintenance, replacement, repair, upgrade and/or removal of a waterline and all necessary or desirable structures, facilities and appurtenances necessary to provide a secondary and separate connection to the City water system; establishing conditions, providing for the furnishing of certified copy of this resolution for recording in the property records of Dallas County, Texas as a deed.

Background:

This is a request for two (2) 15 foot water easements to serve Lot 1, Block A for Global Longhorn Center, L.P. on a 22.15 acres property located on the northeast corner of West Drive and North Longhorn Drive.

The Water and Waste Water Superintendent verified that the proposed location of the water easements are acceptable. Having identified the location of these facilities, an easement must be granted by the owner which must be considered for approval by City Council.

Operational Considerations:

The City Council must consider accepting the two (2) water easements as the easements have been determined to serve a public purpose and is of use to the City.

Legal Considerations:

The resolution has been reviewed and approved as to form by the City Attorney.

Public Information Considerations:

This item is being considered at a Regular Meeting of the City Council noticed in accordance with the Texas Open Meetings Act.

Fiscal Impact:

The easement dedicated is at no cost to the City.

Options/Alternatives:

1. City Council may approve the resolution, as presented.
2. City Council may deny the resolution.

Recommendation:

Staff recommends approval of the resolution, as presented.

Attachments

Resolution

Exhibit "1"

Exhibit "2"

Final Plat

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS, ACCEPTING THE DEDICATION OF A 50,105 SQUARE FEET OR 1.15 ACRE WATER EASEMENT AND A 330 SQUARE FEET OR 0.008 ACRE WATER EASEMENT FROM GLOBAL LONGHORN CENTER L.P., TO THE CITY OF LANCASTER FOR THE CONSTRUCTION, MAINTENANCE, OPERATION, REPAIR AND UPGRADING OF WATERLINES AND ALL NECESSARY OR DESIRABLE STRUCTURES, FACILITIES AND APPURTENANCES NECESSARY TO PROVIDE A CONNECTION TO THE CITY WATER SYSTEM; ESTABLISHING CONDITIONS, PROVIDING FOR THE FURNISHING OF A CERTIFIED COPY OF THIS RESOLUTION FOR RECORDING IN THE REAL PROPERTY RECORDS OF DALLAS COUNTY, TEXAS AS A DEED; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Global Longhorn Center L.P., ("Grantor") is the owner of the property located within the City of Lancaster; and,

WHEREAS, the City of Lancaster ("City") requires an easement for the construction, repair, maintenance, operation and upgrade of waterlines and all incidental improvements and for making of connections to the city's water system; and

WHEREAS, the Grantor desires to dedicate to the City such Water Easements ("Easements") as provided in Exhibit "1" and Exhibit "2" and the attachments thereto; and

WHEREAS, the City finds that such easements, as depicted on the attached Exhibit "1" and Exhibit "2" and the attachments thereto, are for a public purpose and hereby accepts the Easement from the Grantor under the terms and condition provided in Exhibit "1" and Exhibit "2".

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the City of Lancaster hereby finds and determines that it is in the best interest of the public health, safety and welfare to accept the public utility easements from Global Longhorn Center L.P., which is described in Exhibit "1" and Exhibit "2" attached hereto and incorporated herein.

SECTION 2. That the City Secretary is directed to file said easement for recording in the real property records of Dallas County, Texas, as a deed.

SECTION 3. That this Resolution shall take effect immediately from and after its adoption and execution.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 10th day of June, 2019.

ATTEST:

APPROVED:

Sorangel O. Arenas, City Secretary

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney

After recording, return to:
Global Longhorn Center, L.P.
5950 Berkshire Lane, Suite 900
Dallas, Texas 75225
Attention: Douglas A. Lueders

NON-EXCLUSIVE WATER EASEMENT

This Non-Exclusive Water Easement (this "Easement") is made as of _____, 2019, by and between **GLOBAL LONGHORN CENTER, L.P.**, a Texas limited partnership ("Grantor"), whose address is 5950 Berkshire Lane, Suite 900, and the **CITY OF LANCASTER, TEXAS**, a municipality in the State of Texas ("Grantee"), whose address is 211 N. Henry Street, Lancaster, Texas 75146.

RECITALS

Whereas, Grantor is the fee simple owner of that certain parcel of real property located in the City of Lancaster, Dallas County, Texas, containing approximately 22.14 acres, more or less, being more particularly described on **Exhibit A** attached hereto (the "Property"); and

Whereas, Grantee has requested Grantor to grant to Grantee a specific-use nonexclusive easement for the installation and maintenance of underground water lines and appurtenances related thereto in, over and across that certain portion of the Property more particularly described and depicted on attached hereto (the "Easement Property"), and Grantor has agreed to grant to Grantee such easement.

Now, therefore, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor and Grantee hereby agree as follows:

1. Easement. Grantor hereby grants and conveys to Grantee, its successors and assigns, a non-exclusive easement in, over and across the Easement Property for the sole purposes of construction, maintenance and operation of water lines and any appurtenances related thereto (collectively, the "Water Facilities"). The Easement granted herein shall include the right to access the Easement Property for the purposes of constructing, maintaining and operating the Water Facilities. Except for the addition of the Water Facilities, Grantee agrees to restore the Easement Property to its pre-existing condition following any such construction, reconstruction or maintenance of the Water Facilities. Furthermore, Grantee shall promptly repair any damage to the Easement Property or any other property owned by Grantor adjacent to the Easement Property while exercising such access rights, provided Grantor gives written notice thereof to Grantee within ninety (90) days after such damage occurs.

2. Grantor's Use of Easement Property. Grantor hereby reserves the right to use and enjoy the Easement Property for any and all purposes Grantor desires, including the right to construct, install and maintain utilities, driveways, parking areas, lighting, landscaping and other

improvements on the Easement Property, subject only to the limitation that such use and enjoyment will not damage or unreasonably interfere with Grantee's permitted uses as described herein.

3. **Attorneys' Fees and Costs.** If any legal or other proceeding is instituted to enforce any term of this Easement, the party prevailing in any such proceeding shall be paid all of the legal costs, expenses and fees, including reasonable attorneys' fees, incurred by the other party, and if any judgment is secured by such prevailing party, all such legal costs, expenses and fees shall be included in any such judgment.

4. **Authority.** Grantor and Grantee each hereby represents that it has the legal authority to enter into and execute this Easement and to perform all of the obligations and duties herein.

5. **Governing Law.** This Easement shall be governed and interpreted in accordance with the laws of the State of Texas, and any action regarding this Easement shall be brought in a court of competent jurisdiction in Dallas County, Texas.

6. **Reversion.** The easement granted by this Easement is intended to be a permanent easement unless abandoned and permanently ceased to be used for the purposes granted herein, in which event all rights herein granted shall cease and revert to Grantor, or Grantor's heirs, successors or assigns.

7. **Counterparts.** This Easement may be executed in one or more counterparts. When this Easement has been properly executed by each of Grantor and Grantee, it shall constitute a valid agreement though each of the signatories may have executed separate counterparts hereof.

8. **Headings.** The headings contained in this Easement are for reference purposes only and will not in any way affect the meaning or interpretation hereof.

[SIGNATURES APPEAR ON THE FOLLOWING PAGES]

IN WITNESS WHEREOF, the parties have executed this Easement on the respective dates set forth in the respective acknowledgement below, to be effective as of the date appearing in the acknowledgement below of the last party to sign this Easement.

GRANTOR

GLOBAL LONGHORN CENTER, L.P.,
a Texas limited partnership

By: Global Longhorn GP Series,
a series of FE Investment Series, LLC,
a Texas series limited liability company,
its general partner

By : _____
Name: R. Holt Lunsford
Title: President

STATE OF TEXAS §
 §
COUNTY OF DALLAS §

This instrument was acknowledged before me on the _____ day of _____, 2019, by R. Holt Lunsford, President of Global Longhorn GP Series, a series of FE Investment Series, LLC, a Texas series limited liability company, general partner of Global Longhorn Center, L.P., a Texas limited partnership, on behalf of said entities.

NOTARY PUBLIC, STATE OF TEXAS

GRANTEE

CITY OF LANCASTER, TEXAS

By: _____
Name: OPAL MAULDIN-JONES
Title: CITY MANAGER

STATE OF TEXAS §
 §
COUNTY OF DALLAS §

 This instrument was acknowledged before me on the _____ day of _____, 2019,
by _____ (personally known to me or proved to me through
identification), _____ of the City of Lancaster, Texas, a municipality in the State
of Texas, in the capacity therein stated, for and on behalf of said municipality.

 Given under my hand and seal of office this _____ day of _____, 2019.

NOTARY PUBLIC, STATE OF TEXAS

Printed/Typed Name

EXHIBIT A

Legal Description of the Property

Being a 22.14 acre (964,613 square feet) tract of land situated in the William Howerton Survey, Abstract Number 559, City of Lancaster, Dallas County, Texas, and being part of a called 44.298 acre tract, described in deed to Denton Town Center Partners, LP, as recorded in Instrument Number 201400139842, of the Official Public Records of Dallas County, Texas (O.P.R.D.C.T.), and being more particularly described as follows:

BEGINNING at a 1/2-inch set iron rod with yellow plastic cap stamped "HALFF" (hereinafter referred to as "with cap") for the northwest corner of said 44.298 acre tract, said corner being on the northeast corner of a called 1.334 acre tract of land described in deed to the City of Lancaster, Texas, as recorded in Instrument Number 200302670541, O.P.R.D.C.T., said corner being on south line of a called 24.075 acre tract of land described in deed to Swift Transportation, Inc., as recorded in Instrument Number 201100074981, O.P.R.D.C.T., and on the east right-of-way line of Houston School Road (a variable width right-of-way);

THENCE North 88 degrees 40 minutes 34 seconds East, with the north line of said 44.298 acre tract and the south line of said 24.075 acre tract, a distance of 1,334.92 feet to a 1/2-inch found iron rod with cap for the northwest corner of Lot 2, Block A of Park 20 Addition, an addition to the City of Lancaster, Texas, as recorded in Instrument Number 201600131565, O.P.R.D.C.T.;

THENCE South 01 degree 19 minutes 26 seconds East, departing the north line of said 44.298 acre tract and the south line of said 24.075 acre tract and with the west line of said Lot 2, a distance of 719.59 feet to a found "X" cut for an "ell" corner of said Lot 2, said corner being on the south line of said 44.298 acre tract;

THENCE South 88 degrees 29 minutes 11 seconds West, with the north line of said 44.298 acre tract and the westerly north line of said Lot 2, a distance of 586.64 feet to a 3/8-inch found iron rod for the westerly northwest corner of said Lot 2 and the northeast corner of a called 62.8104 acre tract of land described in deed to Houston School/Wintergreen Partners, LTD., as recorded in Instrument Number 20080403503, O.P.R.D.C.T.;

THENCE South 88 degrees 19 minutes 44 seconds West, continuing with a southerly line of said 44.298 acre tract and the north line of said 62.8104 acre tract, a distance of 749.11 feet to a 1/2-inch found iron rod with cap for the southwest corner of said 44.298 acre tract, the southeast corner of said 1.334 acre tract and the northeast corner of a called 0.981 acre tract of land described in deed to the City of Lancaster, Texas, as recorded in Volume 2004073, Page 2349 of the Deed Records of Dallas County, Texas (D.R.D.C.T.), said corner being on the east right-of-way line of said Houston School Road;

THENCE North 01 degree 15 minutes 35 seconds West, with the west line of said 44.298 acre tract and the east line of said 1.334 acre tract, a distance of 726.07 feet to the POINT OF BEGINNING AND CONTAINING 22.14 acres (964,613 square feet) of land, more or less.

EXHIBIT A

Description and Depiction of the Easement Property

WATER EASEMENT

Part of Global Longhorn Center, L.P.
William Howerton Survey, Abstract No. 559
City of Lancaster, Dallas County, Texas

DESCRIPTION, of a 330 square foot (0.008 acre) tract of land situated in the William Howerton Survey, Abstract No. 559, City of Lancaster, Dallas County, Texas; said tract being part of that certain tract of land described as "Tract 1" in Special Warranty Deed to Global Longhorn Center, L.P. recorded in Instrument No. 201800054436 of the Official Public Records of Dallas County, Texas; said 330 square foot (0.008 acre) tract being more particularly described as follows (bearing system for this survey is based on the State Plane Coordinate System, North American Datum of 1983 (2011), Texas North Central Zone 4202. Distances reported have been scaled by applying the Dallas County TxDOT surface adjustment factor of 1.000136506).

COMMENCING, at a 1/2-inch iron rod with "HALFF" cap found at the northeast corner of said Global Longhorn Center, L.P. tract and the northernmost northwest corner of Lot 2, Block A, Park 20, an addition to the City of Lancaster, Texas according to the plat recorded in Instrument No. 201600131565 of the said Official Public Records and being in the south line of that certain tract of land described in Special Warranty Deed to Swift Transportation, Inc. recorded in Volume 2000055, Page 1714 of the Deed Records of Dallas County, Texas;

THENCE, South 01 degrees, 19 minutes, 14 seconds East, departing the said south line of Swift Transportation tract and along the east line of said Global Longhorn Center, L.P. tract and the west line of said Lot 2, a distance of 405.36 feet to the **POINT OF BEGINNING**;

THENCE, South 01 degrees, 19 minutes, 14 seconds East, continuing along the said east line of Global Longhorn Center, L.P. tract and the said west line of Lot 2, a distance of 15.00 feet to a point for corner,

THENCE, departing the said east line of Global Longhorn Center, L.P. tract and the said west line of Lot 2 into and across said Global Longhorn Center, L.P. tract the following three (3) calls:

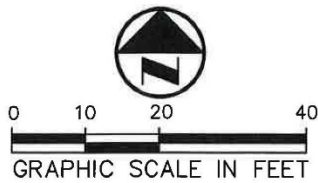
South 88 degrees, 40 minutes, 46 seconds West, a distance of 22.00 feet to a point for corner;

North 01 degrees, 19 minutes, 14 seconds West, a distance of 15.00 feet to a point for corner;

(continued)

The undersigned, Registered Professional Land Surveyor, hereby certifies that the foregoing description accurately sets out the metes and bounds of the easement tract described.

Sheet 2 of 3



SWIFT TRANSPORTATION, INC.
(VOL. 2000055 PG. 1714)

LEGEND	
	PROPERTY LINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	POINT FOR CORNER (UNLESS OTHERWISE NOTED)
	(C.M.) - CONTROLLING MONUMENT
	P.O.C. - POINT OF COMMENCING
	P.O.B. - POINT OF BEGINNING

LINE TABLE		
LINE	BEARING	LENGTH
L1	S 01°19'14" E	15.00'
L2	S 88°40'46" W	22.00'
L3	N 01°19'14" W	15.00'
L4	N 88°40'46" E	22.00'

WATER EASEMENT
330 SF
(0.008 ACRE)

GLOBAL LONGHORN CENTER, L.P.
"TRACT 1"
(INST. NO. 201800054436)

LOT 2, BLOCK A,
PARK 20
(INST. NO. 201600131565)

APPROXIMATE LOCATION
OF 20' WIDE SANITARY SEWER EASEMENT
(VOL. 70222, PG. 674)

LOT 2, BLOCK A,
PARK 20
(INST. NO. 201600131565)

NOTES:

1. A metes and bounds description of even survey date herewith accompanies this plat of survey.
2. Bearing system for this survey is based on the State Plane Coordinate System, North American Datum of 1983 (2011), Texas North Central Zone 4202. Distances reported have been scaled by applying the Dallas County TxDOT surface adjustment factor of 1.000136506.

The undersigned, Registered Professional Land Surveyor, hereby certifies that this plat of survey accurately sets out the metes and bounds of the easement tract described.

Kyle Coleman Harris
Registered Professional
Land Surveyor No. 6266
Date 3/28/19



Pacheco Koch

7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

DRAWN BY	CHECKED BY	SCALE	DATE	JOB NUMBER
JAN	LMG	1"=20'	MARCH 2019	3011-18.046

WATER EASEMENT

PART OF
GLOBAL LONGHORN CENTER, L.P.
WILLIAM HOWERTON SURVEY, ABSTRACT NO. 559,
CITY OF LANCASTER, DALLAS COUNTY, TEXAS
SHEET 3 OF 3

M:\DWG-30\3011-18.046\DWG\SURVEY C3D 2015\3011-18.046EX8.DWG

L Gonzalez 3/28/2019 6:50 AM

North: 6916139.6719' East: 2495516.6695'

Segment #1 : Line

Course: S1° 19' 14"E Length: 15.00'
North: 6916124.6758' East: 2495517.0152'

Segment #2 : Line

Course: S88° 40' 46"W Length: 22.00'
North: 6916124.1688' East: 2495495.0211'

Segment #3 : Line

Course: N1° 19' 14"W Length: 15.00'
North: 6916139.1648' East: 2495494.6754'

Segment #4 : Line

Course: N88° 40' 46"E Length: 22.00'
North: 6916139.6719' East: 2495516.6695'

Perimeter: 74.00' Area: 330.00 Sq. Ft.
Error Closure: 0.0000 Course: N0° 00' 00"E
Error North: 0.00000 East: 0.00000

Precision 1: 74000000.00

After recording, return to:
Global Longhorn Center, L.P.
5950 Berkshire Lane, Suite 900
Dallas, Texas 75225
Attention: Douglas A. Lueders

NON-EXCLUSIVE 15-FOOT WATER EASEMENT

This Non-Exclusive 15-Foot Water Easement (this "Easement") is made as of _____, 2019, by and between **GLOBAL LONGHORN CENTER, L.P.**, a Texas limited partnership ("Grantor"), whose address is 5950 Berkshire Lane, Suite 900, and the **CITY OF LANCASTER, TEXAS**, a municipality in the State of Texas ("Grantee"), whose address is 211 N. Henry Street, Lancaster, Texas 75146.

RECITALS

Whereas, Grantor is the fee simple owner of that certain parcel of real property located in the City of Lancaster, Dallas County, Texas, containing approximately 22.14 acres, more or less, being more particularly described on **Exhibit B** attached hereto (the "Property"); and

Whereas, Grantee has requested Grantor to grant to Grantee a specific-use nonexclusive easement fifteen (15) foot in width for the installation and maintenance of underground water lines and appurtenances related thereto in, over and across that certain portion of the Property more particularly described and depicted attached hereto (the "Easement Property"), and Grantor has agreed to grant to Grantee such easement.

Now, therefore, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor and Grantee hereby agree as follows:

1. Easement. Grantor hereby grants and conveys to Grantee, its successors and assigns, a non-exclusive easement in, over and across the Easement Property for the sole purposes of construction, maintenance and operation of water lines and any appurtenances related thereto (collectively, the "Water Facilities"). The Easement granted herein shall include the right to access the Easement Property for the purposes of constructing, maintaining and operating the Water Facilities. Except for the addition of the Water Facilities, Grantee agrees to restore the Easement Property to its pre-existing condition following any such construction, reconstruction or maintenance of the Water Facilities. Furthermore, Grantee shall promptly repair any damage to the Easement Property or any other property owned by Grantor adjacent to the Easement Property while exercising such access rights, provided Grantor gives written notice thereof to Grantee within ninety (90) days after such damage occurs.

2. Grantor's Use of Easement Property. Grantor hereby reserves the right to use and enjoy the Easement Property for any and all purposes Grantor desires, including the right to construct, install and maintain utilities, driveways, parking areas, lighting, landscaping and other

improvements on the Easement Property, subject only to the limitation that such use and enjoyment will not damage or unreasonably interfere with Grantee's permitted uses as described herein.

3. **Attorneys' Fees and Costs.** If any legal or other proceeding is instituted to enforce any term of this Easement, the party prevailing in any such proceeding shall be paid all of the legal costs, expenses and fees, including reasonable attorneys' fees, incurred by the other party, and if any judgment is secured by such prevailing party, all such legal costs, expenses and fees shall be included in any such judgment.

4. **Authority.** Grantor and Grantee each hereby represents that it has the legal authority to enter into and execute this Easement and to perform all of the obligations and duties herein.

5. **Governing Law.** This Easement shall be governed and interpreted in accordance with the laws of the State of Texas, and any action regarding this Easement shall be brought in a court of competent jurisdiction in Dallas County, Texas.

6. **Reversion.** The easement granted by this Easement is intended to be a permanent easement unless abandoned and permanently ceased to be used for the purposes granted herein, in which event all rights herein granted shall cease and revert to Grantor, or Grantor's heirs, successors or assigns.

7. **Counterparts.** This Easement may be executed in one or more counterparts. When this Easement has been properly executed by each of Grantor and Grantee, it shall constitute a valid agreement though each of the signatories may have executed separate counterparts hereof.

8. **Headings.** The headings contained in this Easement are for reference purposes only and will not in any way affect the meaning or interpretation hereof.

[SIGNATURES APPEAR ON THE FOLLOWING PAGES]

IN WITNESS WHEREOF, the parties have executed this Easement on the respective dates set forth in the respective acknowledgement below, to be effective as of the date appearing in the acknowledgement below of the last party to sign this Easement.

GRANTOR

GLOBAL LONGHORN CENTER, L.P.,
a Texas limited partnership

By: Global Longhorn GP Series,
a series of FE Investment Series, LLC,
a Texas series limited liability company,
its general partner

By : _____
Name: R. Holt Lunsford
Title: President

STATE OF TEXAS §
 §
COUNTY OF DALLAS §

This instrument was acknowledged before me on the _____ day of _____, 2019, by R. Holt Lunsford, President of Global Longhorn GP Series, a series of FE Investment Series, LLC, a Texas series limited liability company, general partner of Global Longhorn Center, L.P., a Texas limited partnership, on behalf of said entities.

NOTARY PUBLIC, STATE OF TEXAS

GRANTEE

CITY OF LANCASTER, TEXAS

By: _____

Name: OPAL MAULDIN-JONES

Title: CITY MANAGER

STATE OF TEXAS §

§

COUNTY OF DALLAS §

This instrument was acknowledged before me on the _____ day of _____, 2019, by _____ (personally known to me or proved to me through identification), _____ of the City of Lancaster, Texas, a municipality in the State of Texas, in the capacity therein stated, for and on behalf of said municipality.

Given under my hand and seal of office this _____ day of _____, 2019.

NOTARY PUBLIC, STATE OF TEXAS

Printed/Typed Name

EXHIBIT B

Legal Description of the Property

Being a 22.14 acre (964,613 square feet) tract of land situated in the William Howerton Survey, Abstract Number 559, City of Lancaster, Dallas County, Texas, and being part of a called 44.298 acre tract, described in deed to Denton Town Center Partners, LP, as recorded in Instrument Number 201400139842, of the Official Public Records of Dallas County, Texas (O.P.R.D.C.T.), and being more particularly described as follows:

BEGINNING at a 1/2-inch set iron rod with yellow plastic cap stamped "HALFF" (hereinafter referred to as "with cap") for the northwest corner of said 44.298 acre tract, said corner being on the northeast corner of a called 1.334 acre tract of land described in deed to the City of Lancaster, Texas, as recorded in Instrument Number 200302670541, O.P.R.D.C.T., said corner being on south line of a called 24.075 acre tract of land described in deed to Swift Transportation, Inc., as recorded in Instrument Number 201100074981, O.P.R.D.C.T., and on the east right-of-way line of Houston School Road (a variable width right-of-way);

THENCE North 88 degrees 40 minutes 34 seconds East, with the north line of said 44.298 acre tract and the south line of said 24.075 acre tract, a distance of 1,334.92 feet to a 1/2-inch found iron rod with cap for the northwest corner of Lot 2, Block A of Park 20 Addition, an addition to the City of Lancaster, Texas, as recorded in Instrument Number 201600131565, O.P.R.D.C.T.;

THENCE South 01 degree 19 minutes 26 seconds East, departing the north line of said 44.298 acre tract and the south line of said 24.075 acre tract and with the west line of said Lot 2, a distance of 719.59 feet to a found "X" cut for an "ell" corner of said Lot 2, said corner being on the south line of said 44.298 acre tract;

THENCE South 88 degrees 29 minutes 11 seconds West, with the north line of said 44.298 acre tract and the westerly north line of said Lot 2, a distance of 586.64 feet to a 3/8-inch found iron rod for the westerly northwest corner of said Lot 2 and the northeast corner of a called 62.8104 acre tract of land described in deed to Houston School/Wintergreen Partners, LTD., as recorded in Instrument Number 20080403503, O.P.R.D.C.T.;

THENCE South 88 degrees 19 minutes 44 seconds West, continuing with a southerly line of said 44.298 acre tract and the north line of said 62.8104 acre tract, a distance of 749.11 feet to a 1/2-inch found iron rod with cap for the southwest corner of said 44.298 acre tract, the southeast corner of said 1.334 acre tract and the northeast corner of a called 0.981 acre tract of land described in deed to the City of Lancaster, Texas, as recorded in Volume 2004073, Page 2349 of the Deed Records of Dallas County, Texas (D.R.D.C.T.), said corner being on the east right-of-way line of said Houston School Road;

THENCE North 01 degree 15 minutes 35 seconds West, with the west line of said 44.298 acre tract and the east line of said 1.334 acre tract, a distance of 726.07 feet to the POINT OF BEGINNING AND CONTAINING 22.14 acres (964,613 square feet) of land, more or less.

EXHIBIT B

Description and Depiction of the Easement Property

15-FOOT WATER EASEMENT

Part of Global Longhorn Center, L.P.
William Howerton Survey, Abstract No. 559
City of Lancaster, Dallas County, Texas

DESCRIPTION, of a 1.150 acre (50,105 square feet) tract of land situated in the William Howerton Survey, Abstract No. 559, City of Lancaster, Dallas County, Texas; said tract being part of that certain tract of land described as "Tract 1" in Special Warranty Deed to Global Longhorn Center, L.P. recorded in Instrument No. 201800054436 of the Official Public Records of Dallas County, Texas; said 1.150 acre (50,105 square feet) tract being more particularly described as follows (bearing system for this survey is based on the State Plane Coordinate System, North American Datum of 1983 (2011), Texas North Central Zone 4202. Distances reported have been scaled by applying the Dallas County TxDOT surface adjustment factor of 1.000136506).

COMMENCING, at a 1/2-inch iron rod with "HALFF" cap found at the northeast corner of said Global Longhorn Center, L.P. tract and the northernmost northwest corner of Lot 2, Block A, Park 20, an addition to the City of Lancaster, Texas according to the plat recorded in Instrument No. 201600131565 of the said Official Public Records and being in the south line of that certain tract of land described in Special Warranty Deed to Swift Transportation, Inc. recorded in Volume 2000055, Page 1714 of the Deed Records of Dallas County, Texas;

THENCE, South 01 degrees, 19 minutes, 14 seconds East, departing the said south line of Swift Transportation tract and along the east line of said Global Longhorn Center, L.P. tract and the west line of said Lot 2, a distance of 39.75 feet to the **POINT OF BEGINNING**;

THENCE, South 01 degrees, 19 minutes, 14 seconds East, continuing along the said east line of Global Longhorn Center, L.P. tract and the said west line of Lot 2, a distance of 15.00 feet to a point for corner,

THENCE, departing the said east line of Global Longhorn Center, L.P. tract and the said west line of Lot 2 into and across said Global Longhorn Center, L.P. tract the following fifteen (15) calls:

South 88 degrees, 41 minutes, 16 seconds West, a distance of 38.86 feet to a point for corner;

South 43 degrees, 41 minutes, 16 seconds West, a distance of 9.79 feet to a point for corner;

South 88 degrees, 40 minutes, 45 seconds West, a distance of 1,196.74 feet to a point for corner;

South 43 degrees, 40 minutes, 45 seconds West, a distance of 29.14 feet to a point for corner;

South 01 degrees, 19 minutes, 15 seconds East, a distance of 41.40 feet to a point for corner;

North 88 degrees, 40 minutes, 45 seconds East, a distance of 15.00 feet to a point for corner;

South 01 degrees, 19 minutes, 15 seconds East, a distance of 15.00 feet to a point for corner;

South 88 degrees, 40 minutes, 45 seconds West, a distance of 15.00 feet to a point for corner;

15-FOOT WATER EASEMENT

(continued)

South 01 degrees, 19 minutes, 15 seconds East, a distance of 399.25 feet to a point for corner;

South 57 degrees, 04 minutes, 15 seconds East, a distance of 185.63 feet to a point for corner;

North 88 degrees, 40 minutes, 45 seconds East, a distance of 414.93 feet to a point for corner;

North 01 degrees, 19 minutes, 15 seconds West, a distance of 95.00 feet to a point for corner;

North 88 degrees, 40 minutes, 45 seconds East, a distance of 15.00 feet to a point for corner;

South 01 degrees, 19 minutes, 15 seconds East, a distance of 95.00 feet to a point for corner;

North 88 degrees, 40 minutes, 45 seconds East, a distance of 679.76 feet to a point for corner; in the said east line of Global Longhorn Center, L.P. tract and the said west line of Lot 2;

THENCE, South 01 degrees, 19 minutes, 14 seconds East, along and the said east line of Global Longhorn Center, L.P. tract and the west line of Lot 2, a distance of 15.00 feet to a point for corner;

THENCE, departing the said east line of Global Longhorn Center, L.P. tract and the said west line of Lot 2 and into and across said Global Longhorn Center, L.P. tract the following forty-five (45) calls:

South 88 degrees, 40 minutes, 45 seconds West, a distance of 175.72 feet to a point for corner;

South 01 degrees, 19 minutes, 15 seconds East, a distance of 15.00 feet to a point for corner;

South 88 degrees, 40 minutes, 45 seconds West, a distance of 15.00 feet to a point for corner;

North 01 degrees, 19 minutes, 15 seconds West, a distance of 15.00 feet to a point for corner;

South 88 degrees, 40 minutes, 45 seconds West, a distance of 316.89 feet to a point for corner;

South 01 degrees, 19 minutes, 15 seconds East, a distance of 15.00 feet to a point for corner;

South 88 degrees, 40 minutes, 45 seconds West, a distance of 15.00 feet to a point for corner;

North 01 degrees, 19 minutes, 15 seconds West, a distance of 15.00 feet to a point for corner;

15-FOOT WATER EASEMENT

(continued)

South 88 degrees, 40 minutes, 45 seconds West, a distance of 170.37 feet to a point for corner;

South 01 degrees, 19 minutes, 15 seconds East, a distance of 64.81 feet to a point for corner;

South 88 degrees, 19 minutes, 05 seconds West, a distance of 15.00 feet to a point for corner;

North 01 degrees, 19 minutes, 15 seconds West, a distance of 64.90 feet to a point for corner;

South 88 degrees, 40 minutes, 45 seconds West, a distance of 44.54 feet to a point for corner;

South 01 degrees, 19 minutes, 15 seconds East, a distance of 15.00 feet to a point for corner;

South 88 degrees, 40 minutes, 45 seconds West, a distance of 15.00 feet to a point for corner;

North 01 degrees, 19 minutes, 15 seconds West, a distance of 15.00 feet to a point for corner;

South 88 degrees, 40 minutes, 45 seconds West, a distance of 327.35 feet to point for corner;

South 01 degrees, 19 minutes, 15 seconds East, a distance of 15.00 feet to a point for corner;

South 01 degrees, 19 minutes, 15 seconds East, a distance of 15.00 feet to a point for corner;

South 88 degrees, 40 minutes, 45 seconds West, a distance of 15.00 feet to a point for corner;

North 01 degrees, 19 minutes, 15 seconds West, a distance of 15.00 feet to a point for corner;

South 88 degrees, 40 minutes, 45 seconds West, a distance of 4.44 feet to a point for corner;

North 57 degrees, 04 minutes, 15 seconds West, a distance of 198.18 feet to point for corner;

North 01 degrees, 19 minutes, 15 seconds West, a distance of 125.64 feet to point for corner;

South 88 degrees, 40 minutes, 45 seconds West, a distance of 20.00 feet to a point for corner;

North 01 degrees, 19 minutes, 15 seconds West, a distance of 15.00 feet to a point for corner;

15-FOOT WATER EASEMENT

(continued)

North 88 degrees, 40 minutes, 45 seconds East, a distance of 20.00 feet to a point for corner;

North 01 degrees, 19 minutes, 15 seconds West, a distance of 329.16 feet to point for corner;

North 43 degrees, 40 minutes, 45 seconds East, a distance of 41.57 feet to a point for corner;

North 88 degrees, 40 minutes, 45 seconds East, a distance of 296.39 feet to a point for corner;

North 01 degrees, 19 minutes, 15 seconds West, a distance of 10.00 feet to a point for corner;

North 88 degrees, 40 minutes, 45 seconds East, a distance of 15.00 feet to a point for corner;

South 01 degrees, 19 minutes, 15 seconds East, a distance of 10.00 feet to a point for corner;

North 88 degrees, 40 minutes, 45 seconds East, a distance of 285.22 feet to a point for corner;

North 01 degrees, 19 minutes, 15 seconds West, a distance of 10.00 feet to a point for corner;

North 88 degrees, 40 minutes, 45 seconds East, a distance of 15.00 feet to a point for corner;

South 01 degrees, 19 minutes, 15 seconds East, a distance of 10.00 feet to a point for corner;

North 88 degrees, 40 minutes, 45 seconds East, a distance of 279.15 feet to a point for corner;

North 01 degrees, 19 minutes, 15 seconds West, a distance of 10.00 feet to a point for corner;

North 88 degrees, 40 minutes, 45 seconds East, a distance of 15.00 feet to a point for corner;

South 01 degrees, 19 minutes, 15 seconds East, a distance of 10.00 feet to a point for corner;

North 88 degrees, 40 minutes, 45 seconds East, a distance of 270.53 feet to a point for corner;

North 01 degrees, 19 minutes, 15 seconds West, a distance of 5.00 feet to a point for corner;

North 88 degrees, 40 minutes, 45 seconds East, a distance of 15.00 feet to a point for corner;

South 01 degrees, 19 minutes, 15 seconds East, a distance of 5.00 feet to a point for corner;

North 88 degrees, 40 minutes, 45 seconds East, a distance of 5.46 feet to a point for corner;

North 43 degrees, 41 minutes, 16 seconds East, a distance of 9.79 feet to a point for corner;

(continued)

CONTAINING: 50,105 square feet or 1.150 acres of land, more or less.

The undersigned, Registered Professional Land Surveyor, hereby certifies that the foregoing description accurately sets out the metes and bounds of the easement tract described.

3/7/19



3011-18.046EX2.doc
3011-18.046EX2.dwg

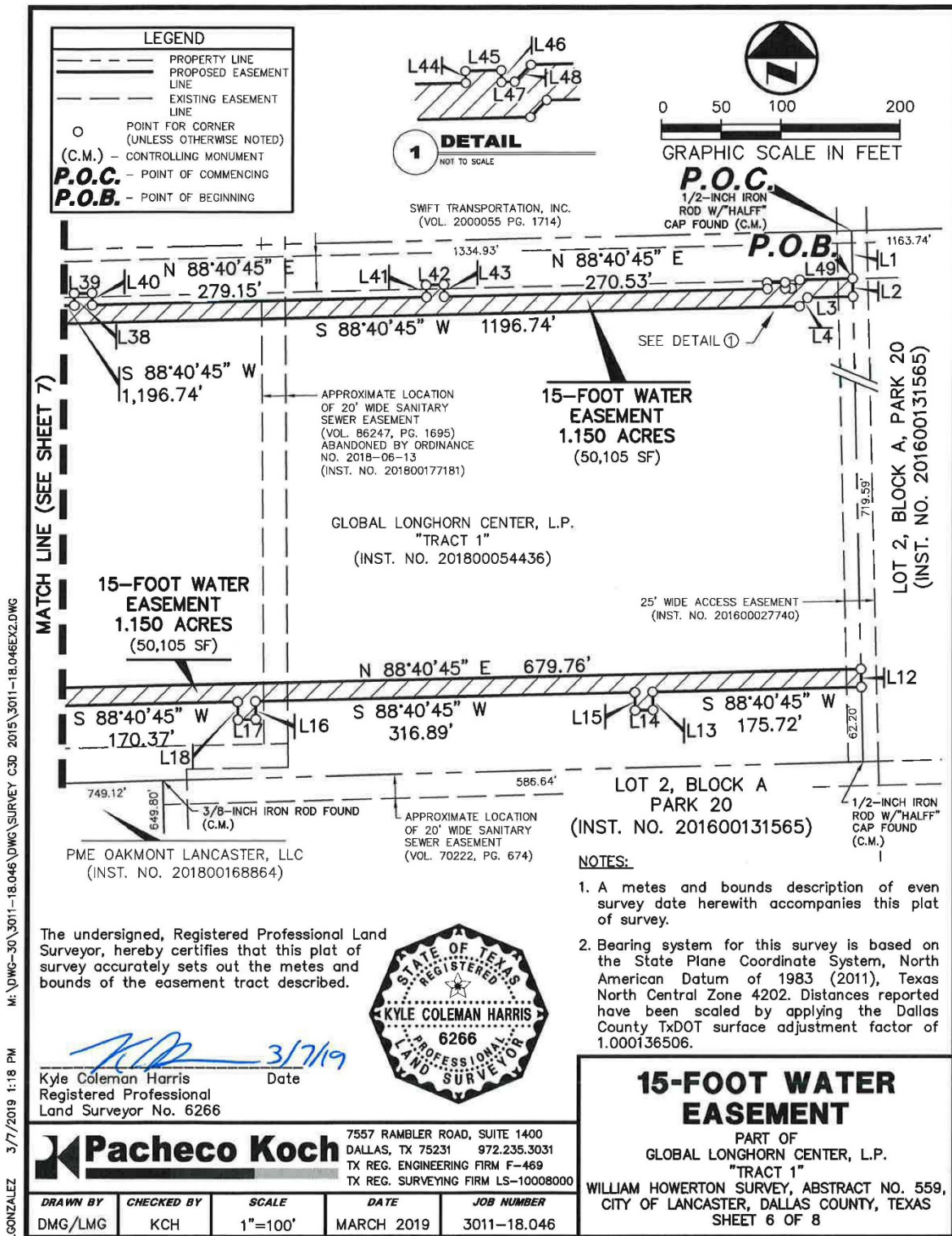


Exhibit B to
Non-Exclusive 15-Foot Water Easement

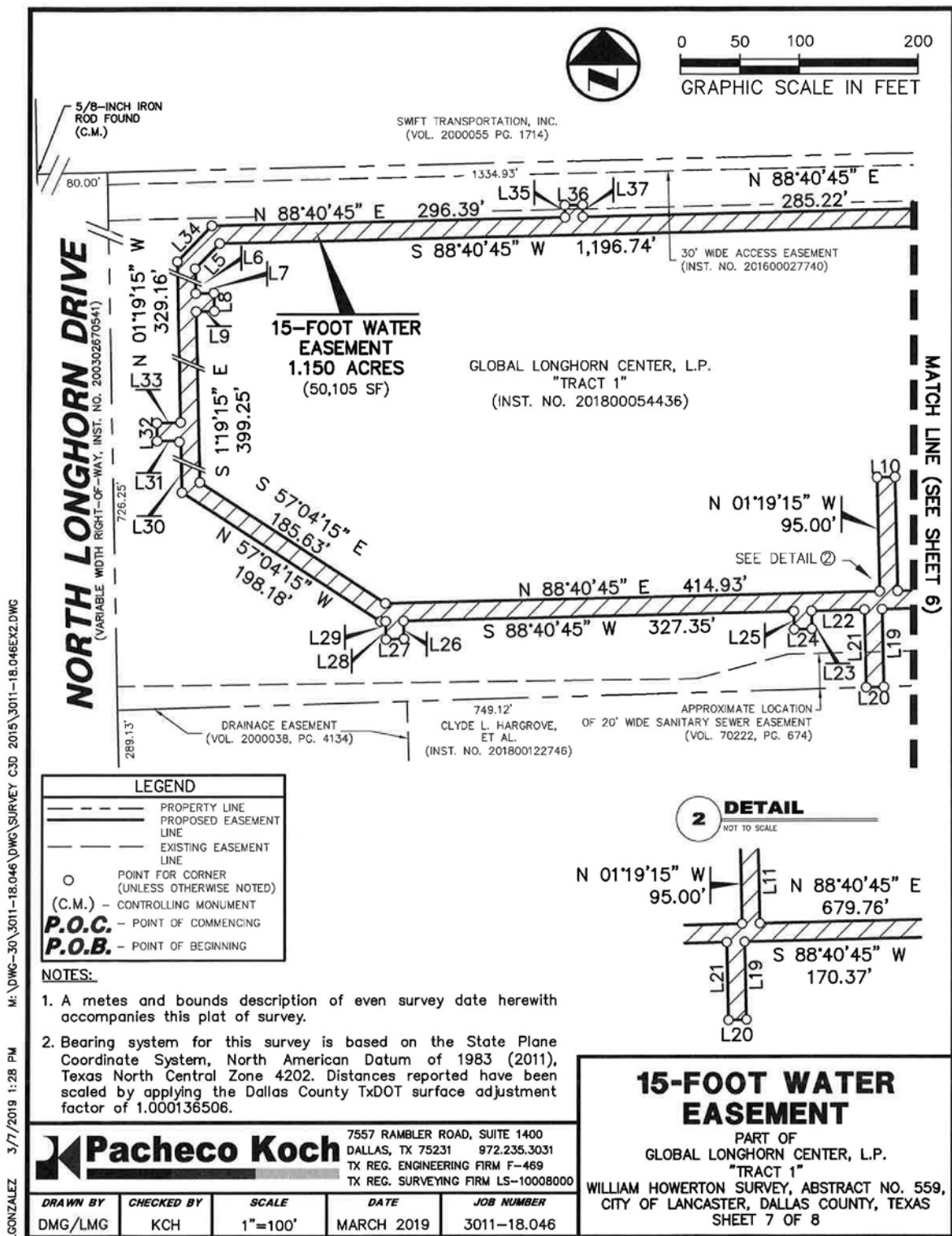


Exhibit B to
Non-Exclusive 15-Foot Water Easement

LGONZALEZ 3/7/2019 1:18 PM M:\DWG-30\3011-18.046\DWG\SURVEY C3D 2015\3011-18.046EX2.DWG

<i>LINE TABLE</i>		
<i>LINE</i>	<i>BEARING</i>	<i>LENGTH</i>
L1	S 01°19'14" E	39.75'
L2	S 01°19'14" E	15.00'
L3	S 88°41'16" W	38.86'
L4	S 43°41'16" W	9.79'
L5	S 43°40'45" W	29.14'
L6	S 01°19'15" E	41.40'
L7	N 88°40'45" E	15.00'
L8	S 01°19'15" E	15.00'
L9	S 88°40'45" W	15.00'
L10	N 88°40'45" E	15.00'
L11	S 01°19'15" E	95.00'
L12	S 01°19'14" E	15.00'
L13	S 01°19'15" E	15.00'
L14	S 88°40'45" W	15.00'
L15	N 01°19'15" W	15.00'
L16	S 01°19'15" E	15.00'
L17	S 88°40'45" W	15.00'
L18	N 01°19'15" W	15.00'
L19	S 01°19'15" E	64.81'
L20	S 88°19'05" W	15.00'
L21	N 01°19'15" W	64.90'
L22	S 88°40'45" W	44.54'
L23	S 01°19'15" E	15.00'
L24	S 88°40'45" W	15.00'
L25	N 01°19'15" W	15.00'

<i>LINE TABLE</i>		
<i>LINE</i>	<i>BEARING</i>	<i>LENGTH</i>
L26	S 01°19'15" E	15.00'
L27	S 88°40'45" W	15.00'
L28	N 01°19'15" W	15.00'
L29	S 88°40'45" W	4.44'
L30	N 01°19'15" W	125.64'
L31	S 88°40'45" W	20.00'
L32	N 01°19'15" W	15.00'
L33	N 88°40'45" E	20.00'
L34	N 43°40'45" E	41.57'
L35	N 01°19'15" W	10.00'
L36	N 88°40'45" E	15.00'
L37	S 01°19'15" E	10.00'
L38	N 01°19'15" W	10.00'
L39	N 88°40'45" E	15.00'
L40	S 01°19'15" E	10.00'
L41	N 01°19'15" W	10.00'
L42	N 88°40'45" E	15.00'
L43	S 01°19'15" E	10.00'
L44	N 01°19'15" W	5.00'
L45	N 88°40'45" E	15.00'
L46	S 01°19'15" E	5.00'
L47	N 88°40'45" E	5.46'
L48	N 43°41'16" E	9.79'
L49	N 88°41'16" E	45.07'

NOTES:

1. A metes and bounds description of even survey date herewith accompanies this plat of survey.
2. Bearing system for this survey is based on the State Plane Coordinate System, North American Datum of 1983 (2011), Texas North Central Zone 4202. Distances reported have been scaled by applying the Dallas County TxDOT surface adjustment factor of 1.000136506.

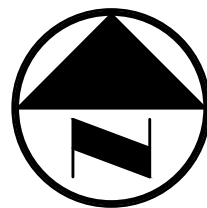


7557 RAMBLER ROAD, SUITE 1400
 DALLAS, TX 75231 972.235.3031
 TX REG. ENGINEERING FIRM F-469
 TX REG. SURVEYING FIRM LS-10008000

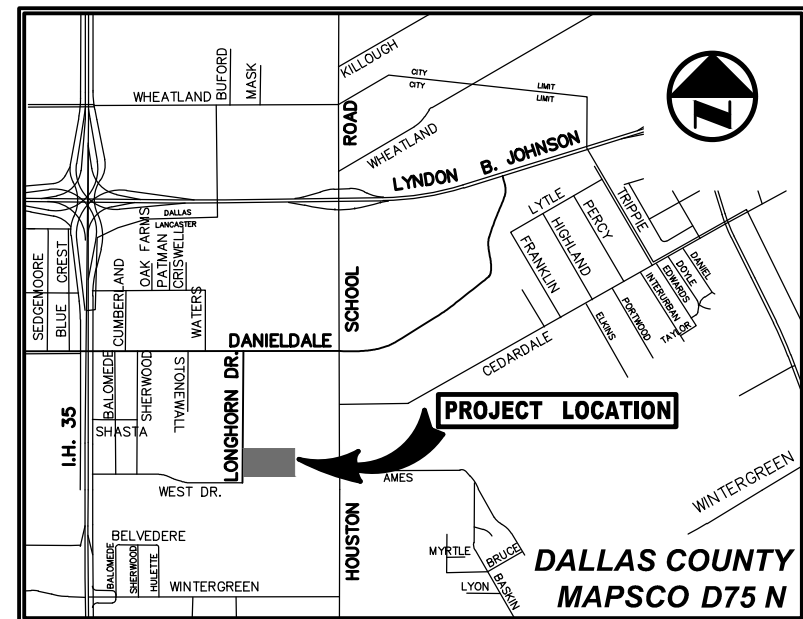
<i>DRAWN BY</i>	<i>CHECKED BY</i>	<i>SCALE</i>	<i>DATE</i>	<i>JOB NUMBER</i>
DMG/LMG	KCH	NONE	MARCH 2019	3011-18.046

15-FOOT WATER EASEMENT

PART OF
 GLOBAL LONGHORN CENTER, L.P.
 "TRACT 1"
 WILLIAM HOWERTON SURVEY, ABSTRACT NO. 559,
 CITY OF LANCASTER, DALLAS COUNTY, TEXAS
 SHEET 8 OF 8



0 30 60 120 180
GRAPHIC SCALE IN FEET
1" = 60'



VICINITY MAP
(NOT TO SCALE)

LOT 3, BLOCK A
FFE ADDITION
(VOL. 92135,
PG. 2700)
INVESTMENTS
TRANSPORTATION
SERVICES, LLC
(INST. NO.
201400125248)

SWIFT TRANSPORTATION, INC.
"TRACT 2"
(VOL. 2000055 PG. 1714)

LEGEND
--- SUBJECT PROPERTY LINE
--- ADJOINER PROPERTY LINE
--- RIGHT-OF-WAY LINE
--- EXISTING EASEMENT LINE
--- PROPOSED EASEMENT LINE

POINT OF
BEGINNING

1/2-INCH IRON ROD
W/"HALF" CAP
FOUND
ACCESS EASEMENT
(INST. NO. 201600027740)

ACCESS EASEMENT
(INST. NO. 201600027740)

20' SANITARY SEWER EASEMENT
(INST. NO.)

LOT 2, BLOCK A
PARK 20
(INST. NO. 201600131565)
ARTEMIS HIP PARK 20, LLC
(INST. NO. 201600027737)

15' WATER EASEMENT

20' SANITARY SEWER EASEMENT

20' SANITARY SEWER EASEMENT
(INST. NO.)

15' WATER EASEMENT

15' WATER EASEMENT
(INST. NO.)

1/2-INCH IRON ROD
W/"HALF" CAP
FOUND (C.M.)

APPROXIMATE LOCATION
OF 20' WIDE SANITARY
SEWER EASEMENT
(VOL. 70222, PG. 674)

LOT 2, BLOCK A
PARK 20
(INST. NO. 201600131565)
ARTEMIS HIP PARK 20, LLC
(INST. NO. 201600027737)

APPROXIMATE LOCATION
OF 20' WIDE SANITARY
SEWER EASEMENT
(VOL. 70222, PG. 674)

APPROXIMATE LOCATION
OF 20' WIDE SANITARY
SEWER EASEMENT
(VOL. 86247, PG. 1695)

PME OAKMONT LANCASTER, LLC
(INST. NO. 201800168864)

DRAINAGE EASEMENT
(VOL. 2000038, PG. 4134)

DRAINAGE EASEMENT
(VOL. 2004073, PG. 2356)

HOUSTON SCHOOL/WINTERGREEN
PARTNERS, LTD.
(INST. NO. 20080403503)

25' X 25' SANITARY
SEWER EASEMENT
(VOL. 70222, PG. 667)

20' SANITARY
SEWER EASEMENT
(VOL. 70222, PG. 667)

LOT 2, BLOCK A
FFE ADDITION
(VOL. 92135, PG. 2700)
INVESTMENTS TRANSPORTATION
SERVICES, LLC
(INST. NO. 201400125248)

WEST DRIVE
(VARIABLE WIDTH RIGHT-OF-WAY)
CITY OF LANCASTER
(VOL. 2004073, PG. 2349)
(VOL. 2004073, PG. 2343)

CITY OF LANCASTER, TEXAS
(VOL. 2004073, PG. 2349)

GLOBAL BTS
FINAL PLAT
LOT 1, BLOCK A

22.146 ACRE TRACT OUT OF THE
WILLIAM HOWERTON SURVEY, ABSTRACT NO. 559
CITY OF LANCASTER, DALLAS COUNTY, TEXAS
SHEET 1 OF 2

SURVEYOR/ENGINEER
PACHECO KOCH, LLC
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75001
PH: (972) 235-3031
CONTACT: KYLE HARRIS

OWNER/DEVELOPER
GLOBAL LONGHORN CENTER, L.P.
5055 KELLER SPRINGS ROAD, SUITE 300
ADDISON, TEXAS
PH: (972) 380-3640
CONTACT: KEN NEWMAN

		7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 972.235.3031 TX REG. ENGINEERING FIRM F-469 TX REG. SURVEYING FIRM LS-10008000	
DRAWN BY LMG/JAN	CHECKED BY KCH	SCALE 1"=60'	DATE APRIL 2019
		JOB NUMBER 3011-18.046	

FINAL PLAT - GLOBAL BTS LOT 1, BLOCK A

LANCASTER CITY COUNCIL

City Council Regular Meeting

10.

Meeting Date: 06/10/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Quality Development

Submitted by: Bester Munyaradzi, Senior Planner

Agenda Caption:

M19-09 Discuss and consider a resolution accepting one (1) 20 foot wide sewer line easement (a 29,131 square feet or 0.67 acre sewer easement) from Global Longhorn Center, L.P., Grantor, to the City of Lancaster for the installation, construction, operation, maintenance, replacement, repair, upgrade and/or removal of a sewer line and all necessary or desirable structures, facilities and appurtenances necessary to provide a secondary and separate connection to the City sewer system; establishing conditions, providing for the furnishing of certified copy of this resolution for recording in the property records of Dallas County, Texas as a deed.

Background:

This is a request for one (1) 20 foot wide sanitary sewer easement to serve Lot 1, Block A for Global Longhorn Center, L.P. on 22.115 acres property located on the northeast corner of West Drive and North Longhorn Drive.

The Water and Waste Water Superintendent verified that the proposed location of the sanitary sewer easement is acceptable. Having identified the location of this facility, an easement must be granted by the property owner which must be considered for approval by City Council.

Operational Considerations:

The City Council must consider accepting the sanitary sewer easement as the easement has been determined to serve a public purpose and is of use to the City.

Legal Considerations:

The resolution has been reviewed and approved as to form by the City Attorney.

Public Information Considerations:

This item is being considered at a Regular Meeting of the City Council noticed in accordance with the Texas Open Meetings Act.

Fiscal Impact:

The easement dedicated is at no cost to the City.

Options/Alternatives:

1. City Council may approve the resolution, as presented.
2. City Council may deny the resolution.

Recommendation:

Staff recommends approval of the resolution, as presented.

Attachments

Resolution

Exhibit "1"

Final Plat

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS, ACCEPTING THE DEDICATION OF A 29,131 SQUARE FEET OR 0.67 ACRE SEWER EASEMENT FROM GLOBAL LONGHORN CENTER, L.P., GRANTOR, TO THE CITY OF LANCASTER FOR THE CONSTRUCTION, MAINTENANCE, OPERATION, REPAIR AND UPGRADING OF A WATERLINE AND ALL NECESSARY OR DESIRABLE STRUCTURES, FACILITIES AND APPURTENANCES NECESSARY TO PROVIDE A CONNECTION TO THE CITY SEWER SYSTEM; ESTABLISHING CONDITIONS, PROVIDING FOR THE FURNISHING OF A CERTIFIED COPY OF THIS RESOLUTION FOR RECORDING IN THE REAL PROPERTY RECORDS OF DALLAS COUNTY, TEXAS AS A DEED; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Global Longhorn Center L.P., ("Grantor") is the owner of the property located within the City of Lancaster; and,

WHEREAS, the City of Lancaster ("City") requires an easement for the construction, repair, maintenance, operation and upgrade of a sewerline and all incidental improvements and for making of connections to the city's sewer system; and

WHEREAS, the Grantor desires to dedicate to the City such Sewer Easements ("Easements") as provided in Exhibit "1" and the attachments thereto; and

WHEREAS, the City finds that such easement, as depicted on the attached Exhibit "1" and the attachments thereto, is for a public purpose and hereby accepts the Easement from the Grantor under the terms and condition provided in Exhibit "1".

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the City of Lancaster hereby finds and determines that it is in the best interest of the public health, safety and welfare to accept the public utility easements from Global Longhorn Center L.P., which is described in Exhibit "1" attached hereto and incorporated herein.

SECTION 2. That the City Secretary is directed to file said easement for recording in the real property records of Dallas County, Texas, as a deed.

SECTION 3. That this Resolution shall take effect immediately from and after its adoption and execution.

DULY PASSED and approved by the City Council of the City of Lancaster, Texas, on this the 10th day of June, 2019.

ATTEST:

APPROVED:

Sorangel O. Arenas, City Secretary

Clyde C. Hairston, Mayor

APPROVED AS TO FORM:

David T. Ritter, City Attorney

After recording, return to:
Global Longhorn Center, L.P.
5950 Berkshire Lane, Suite 900
Dallas, Texas 75225
Attention: Douglas A. Lueders

SANITARY SEWER EASEMENT

This Sanitary Sewer Easement (this "Easement") is made as of _____, 2019, by and between **GLOBAL LONGHORN CENTER, L.P.**, a Texas limited partnership ("Grantor"), whose address is 5950 Berkshire Lane, Suite 900, and the **CITY OF LANCASTER, TEXAS**, a municipality in the State of Texas ("Grantee"), whose address is 211 N. Henry Street, Lancaster, Texas 75146.

RECITALS

Whereas, Grantor is the fee simple owner of that certain parcel of real property located in the City of Lancaster, Dallas County, Texas, containing approximately 22.14 acres, more or less, being more particularly described on **Exhibit A** attached hereto (the "Property"); and

Whereas, Grantee has requested Grantor to grant to Grantee a permanent and perpetual easement for the purpose of installing, repairing, maintaining and altering underground sanitary sewer lines and related facilities in, over and across that certain portion of the Property more particularly described and depicted on **Exhibit B** attached hereto (the "Easement Property"), and Grantor has agreed to grant to Grantee such easement.

Now, therefore, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor and Grantee hereby agree as follows:

1. Easement. Grantor hereby grants and conveys to Grantee, its successors and assigns, a permanent and perpetual easement in, over and across the Easement Property for the sole purposes of construction, maintenance and operation of underground sanitary sewer lines, related facilities, and any appurtenances related thereto (collectively, the "Sanitary Sewer Facilities"). The Easement granted herein shall include the right to access the Easement Property for the purposes of constructing, maintaining and operating the Sanitary Sewer Facilities. Except for the addition of the Sanitary Sewer Facilities, Grantee agrees to restore the Easement Property to its pre-existing condition following any such construction, reconstruction or maintenance of the Sanitary Sewer Facilities. Furthermore, Grantee shall promptly repair any damage to the Easement Property or any other property owned by Grantor adjacent to the Easement Property while exercising such access rights, provided Grantor gives written notice thereof to Grantee within ninety (90) days after such damage occurs.

2. Grantor's Use of Easement Property. Grantor hereby reserves the right to use and enjoy the Easement Property for any and all purposes Grantor desires, including the right to construct, install and maintain utilities, driveways, parking areas, lighting, landscaping and other

improvements on the Easement Property, subject only to the limitation that such use and enjoyment will not damage or unreasonably interfere with Grantee's permitted uses as described herein.

3. **Attorneys' Fees and Costs.** If any legal or other proceeding is instituted to enforce any term of this Easement, the party prevailing in any such proceeding shall be paid all of the legal costs, expenses and fees, including reasonable attorneys' fees, incurred by the other party, and if any judgment is secured by such prevailing party, all such legal costs, expenses and fees shall be included in any such judgment.

4. **Authority.** Grantor and Grantee each hereby represents that it has the legal authority to enter into and execute this Easement and to perform all of the obligations and duties herein.

5. **Governing Law.** This Easement shall be governed and interpreted in accordance with the laws of the State of Texas, and any action regarding this Easement shall be brought in a court of competent jurisdiction in Dallas County, Texas.

6. **Reversion.** The easement granted by this Easement is intended to be a permanent easement unless abandoned and permanently ceased to be used for the purposes granted herein, in which event all rights herein granted shall cease and revert to Grantor, or Grantor's heirs, successors or assigns.

7. **Counterparts.** This Easement may be executed in one or more counterparts. When this Easement has been properly executed by each of Grantor and Grantee, it shall constitute a valid agreement though each of the signatories may have executed separate counterparts hereof.

8. **Headings.** The headings contained in this Easement are for reference purposes only and will not in any way affect the meaning or interpretation hereof.

[SIGNATURES APPEAR ON THE FOLLOWING PAGES]

IN WITNESS WHEREOF, the parties have executed this Easement on the respective dates set forth in the respective acknowledgement below, to be effective as of the date appearing in the acknowledgement below of the last party to sign this Easement.

GRANTOR

GLOBAL LONGHORN CENTER, L.P.,
a Texas limited partnership

By: Global Longhorn GP Series,
a series of FE Investment Series, LLC,
a Texas series limited liability company,
its general partner

By : _____
Name: R. Holt Lunsford
Title: President

STATE OF TEXAS §
 §
COUNTY OF DALLAS §

This instrument was acknowledged before me on the _____ day of _____, 2019, by R. Holt Lunsford, President of Global Longhorn GP Series, a series of FE Investment Series, LLC, a Texas series limited liability company, general partner of Global Longhorn Center, L.P., a Texas limited partnership, on behalf of said entities.

NOTARY PUBLIC, STATE OF TEXAS

GRANTEE

CITY OF LANCASTER, TEXAS

By: _____

Name: OPAL MAULDIN-JONES

Title: CITY MANAGER

STATE OF TEXAS §

§

COUNTY OF DALLAS §

 This instrument was acknowledged before me on the _____ day of _____, 2019,
by _____ (personally known to me or proved to me through
identification), _____ of the City of Lancaster, Texas, a municipality in the State
of Texas, in the capacity therein stated, for and on behalf of said municipality.

 Given under my hand and seal of office this _____ day of _____, 2019.

NOTARY PUBLIC, STATE OF TEXAS

Printed/Typed Name

EXHIBIT A

Legal Description of the Property

Being a 22.14 acre (964,613 square feet) tract of land situated in the William Howerton Survey, Abstract Number 559, City of Lancaster, Dallas County, Texas, and being part of a called 44.298 acre tract, described in deed to Denton Town Center Partners, LP, as recorded in Instrument Number 201400139842, of the Official Public Records of Dallas County, Texas (O.P.R.D.C.T.), and being more particularly described as follows:

BEGINNING at a 1/2-inch set iron rod with yellow plastic cap stamped "HALFF" (hereinafter referred to as "with cap") for the northwest corner of said 44.298 acre tract, said corner being on the northeast corner of a called 1.334 acre tract of land described in deed to the City of Lancaster, Texas, as recorded in Instrument Number 200302670541, O.P.R.D.C.T., said corner being on south line of a called 24.075 acre tract of land described in deed to Swift Transportation, Inc., as recorded in Instrument Number 201100074981, O.P.R.D.C.T., and on the east right-of-way line of Houston School Road (a variable width right-of-way);

THENCE North 88 degrees 40 minutes 34 seconds East, with the north line of said 44.298 acre tract and the south line of said 24.075 acre tract, a distance of 1,334.92 feet to a 1/2-inch found iron rod with cap for the northwest corner of Lot 2, Block A of Park 20 Addition, an addition to the City of Lancaster, Texas, as recorded in Instrument Number 201600131565, O.P.R.D.C.T.;

THENCE South 01 degree 19 minutes 26 seconds East, departing the north line of said 44.298 acre tract and the south line of said 24.075 acre tract and with the west line of said Lot 2, a distance of 719.59 feet to a found "X" cut for an "ell" corner of said Lot 2, said corner being on the south line of said 44.298 acre tract;

THENCE South 88 degrees 29 minutes 11 seconds West, with the north line of said 44.298 acre tract and the westerly north line of said Lot 2, a distance of 586.64 feet to a 3/8-inch found iron rod for the westerly northwest corner of said Lot 2 and the northeast corner of a called 62.8104 acre tract of land described in deed to Houston School/Wintergreen Partners, LTD., as recorded in Instrument Number 20080403503, O.P.R.D.C.T.;

THENCE South 88 degrees 19 minutes 44 seconds West, continuing with a southerly line of said 44.298 acre tract and the north line of said 62.8104 acre tract, a distance of 749.11 feet to a 1/2-inch found iron rod with cap for the southwest corner of said 44.298 acre tract, the southeast corner of said 1.334 acre tract and the northeast corner of a called 0.981 acre tract of land described in deed to the City of Lancaster, Texas, as recorded in Volume 2004073, Page 2349 of the Deed Records of Dallas County, Texas (D.R.D.C.T.), said corner being on the east right-of-way line of said Houston School Road;

THENCE North 01 degree 15 minutes 35 seconds West, with the west line of said 44.298 acre tract and the east line of said 1.334 acre tract, a distance of 726.07 feet to the POINT OF BEGINNING AND CONTAINING 22.14 acres (964,613 square feet) of land, more or less.

Description and Depiction of the Easement Property

**20-FOOT WIDE
SANITARY SEWER EASEMENT**
Part of Global Longhorn Center, L.P. tract,
William Howerton Survey, Abstract No. 559,
City of Lancaster, Dallas County, Texas

DESCRIPTION, of a 29,131 square foot (0.669 acre) tract of land situated in the William Howerton Survey, Abstract No. 559, City of Lancaster, Dallas County, Texas; said tract being part of that certain tract of land described as "Tract 1" in Special Warranty Deed to Global Longhorn Center, L.P., recorded in Instrument No. 201800054436 of the Official Public Records of Dallas County, Texas; said 29,131 square foot (0.669 acre) tract being more particularly described as follows (bearing system for this survey is based on the State Plane Coordinate System, North American Datum of 1983 (2011), Texas North Central Zone 4202. Distances shown have been scaled by applying the Dallas County TxDOT surface adjustment factor of 1.000136506):

COMMENCING, at a 1/2-inch iron rod with "HALFF" cap found at the southeast corner of said Global Longhorn tract; said point also being an ell corner of Lot 2, Block A of Park 20, an addition to the City of Lancaster, Texas according to the plat recorded in Instrument No. 201600131565 of the said Official Public Records;

THENCE, along the south line of said Global Longhorn tract and a north line of said Lot 2, the following two (2) calls;

South 88 degrees, 29 minutes, 23 seconds West, a distance of 571.65 feet to the **POINT OF BEGINNING**;

South 88 degrees, 29 minutes, 23 seconds West, a distance of 14.99 feet to a 3/8-inch iron rod found for corner; said point being the westernmost northwest corner of said Lot 2 and the northeast corner of that certain tract of land described in Special Warranty Deed to PME Oakmont Lancaster, LLC, recorded in Instrument No. 201800168864 of the said Official Public Records;

THENCE, South 88 degrees, 19 minutes, 05 seconds West, continuing along the said south line of Global Longhorn tract and the north line of said PME tract, a distance of 5.01 feet to a point for corner;

THENCE, departing the said south line of Global Longhorn tract, the said north line of PME tract and into and across said south line of Global Longhorn tract, the following (5) five calls;

North 01 degrees, 30 minutes, 38 seconds West, a distance of 41.28 feet to a point for corner;

North 74 degrees, 52 minutes, 29 seconds East, a distance of 521.37 feet to a point for corner;

North 01 degrees, 20 minutes, 36 seconds West, a distance of 397.32 feet to a point for corner;

North 80 degrees, 51 minutes, 13 seconds West, a distance of 413.27 feet to a point for corner;

**20-FOOT WIDE
SANITARY SEWER EASEMENT**
(Continued)

North 00 degrees, 26 minutes, 46 seconds West, a distance of 83.49 feet, to a point for corner in the north line of said Global Longhorn tract and in the south line of that certain tract of land described in Special Warranty Deed to Swift Transportation, Inc., recorded in Volume 2000055, Page 1714 of the Deed Records of Dallas County, Texas;

THENCE, North 88 degrees, 40 minutes, 45 seconds East, along the said north line of Global Longhorn tract and the said south line of the Swift tract, a distance of 20.00 feet to a point for corner;

THENCE, departing the said north line of Global Longhorn tract, the said south line of the Swift tract and into and across said Global Longhorn tract, the following (5) five calls;

South 00 degrees, 26 minutes, 46 seconds East, a distance of 66.89 feet to a point for corner;

South 80 degrees, 51 minutes, 13 seconds East, a distance of 413.00 feet to a point for corner;

South 01 degrees, 20 minutes, 36 seconds East, a distance of 429.64 feet to a point for corner;

South 74 degrees, 52 minutes, 29 seconds West, a distance of 521.32 feet to a point for corner;

South 01 degrees, 30 minutes, 38 seconds East, a distance of 25.53 feet to the **POINT OF BEGINNING**;

CONTAINING, 29,131 square feet or 0.669 acres of land, more or less;

(A survey plat of even survey date herewith accompanies this description.)

The undersigned, Registered Professional Land Surveyor, hereby certifies that the foregoing description accurately sets out the metes and bounds of the easement tract described.



Kyle Coleman Harris Date 3/7/19
Registered Professional Land Surveyor No. 6266
Pacheco Koch Consulting Engineers, Inc.
7557 Rambler Road, #1400, Dallas, Texas 75231
(972)235-3031
TX Reg. Surveying Firm LS-10193805



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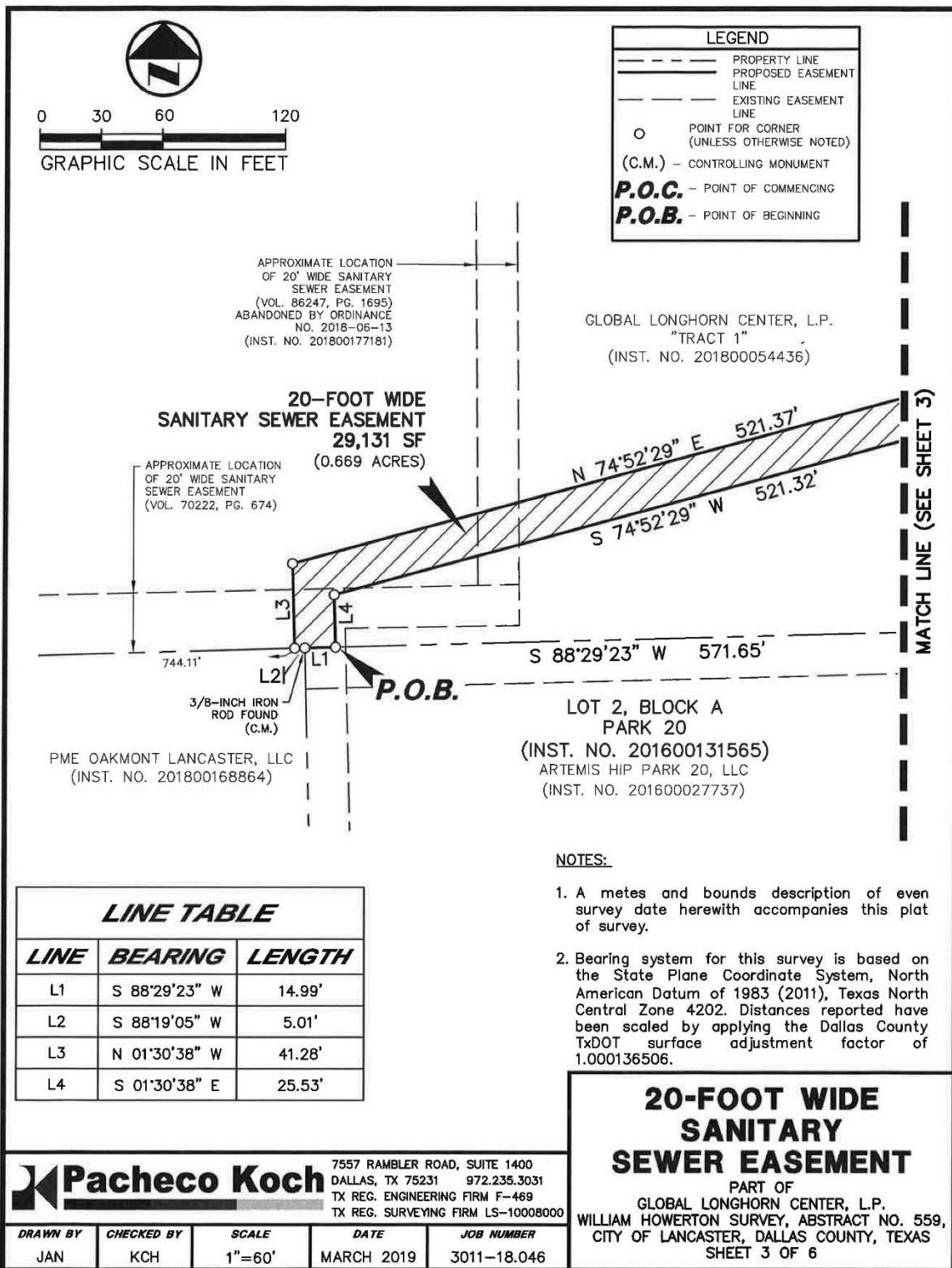
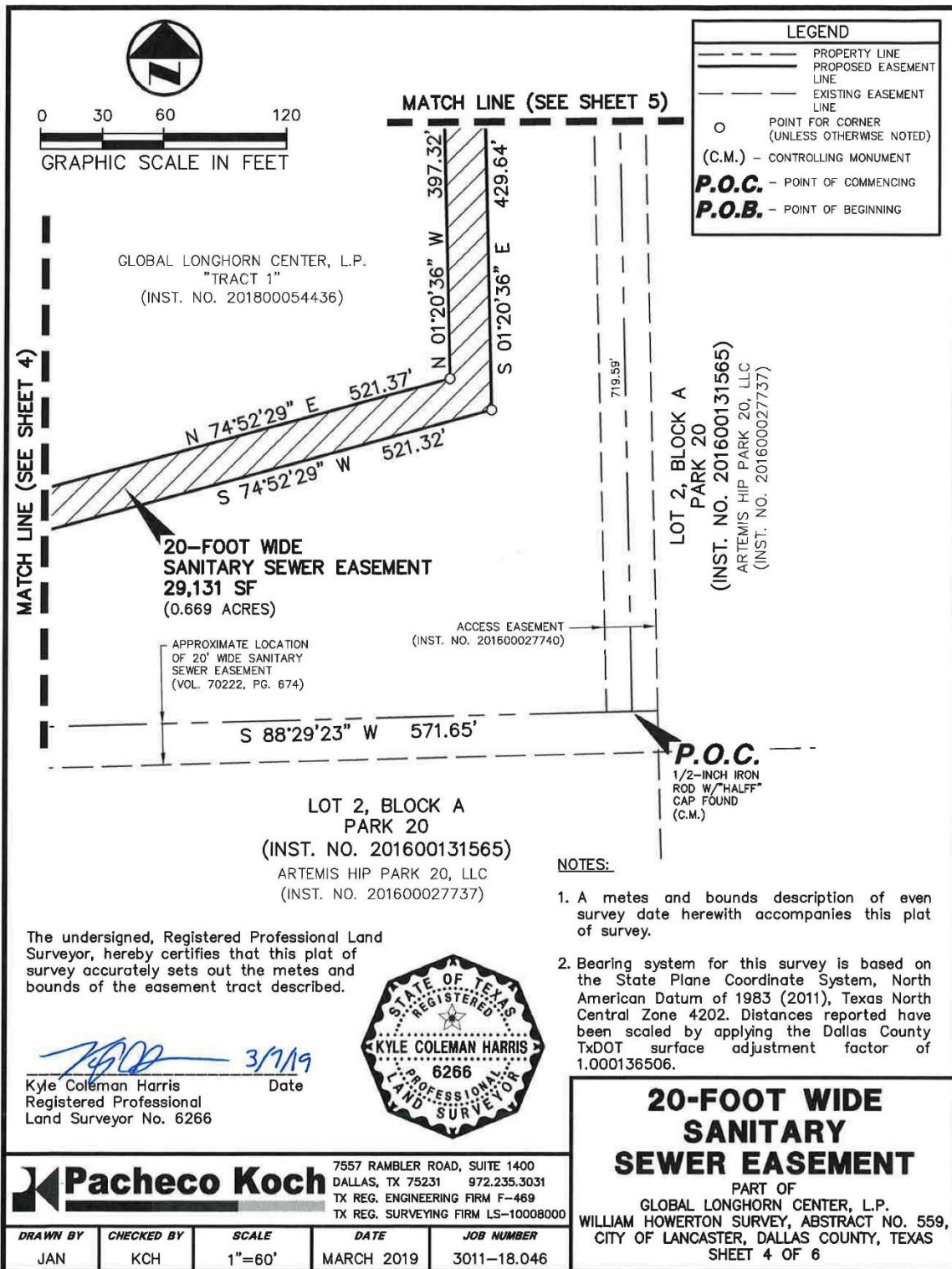


Exhibit A to
Sanitary Sewer Easement

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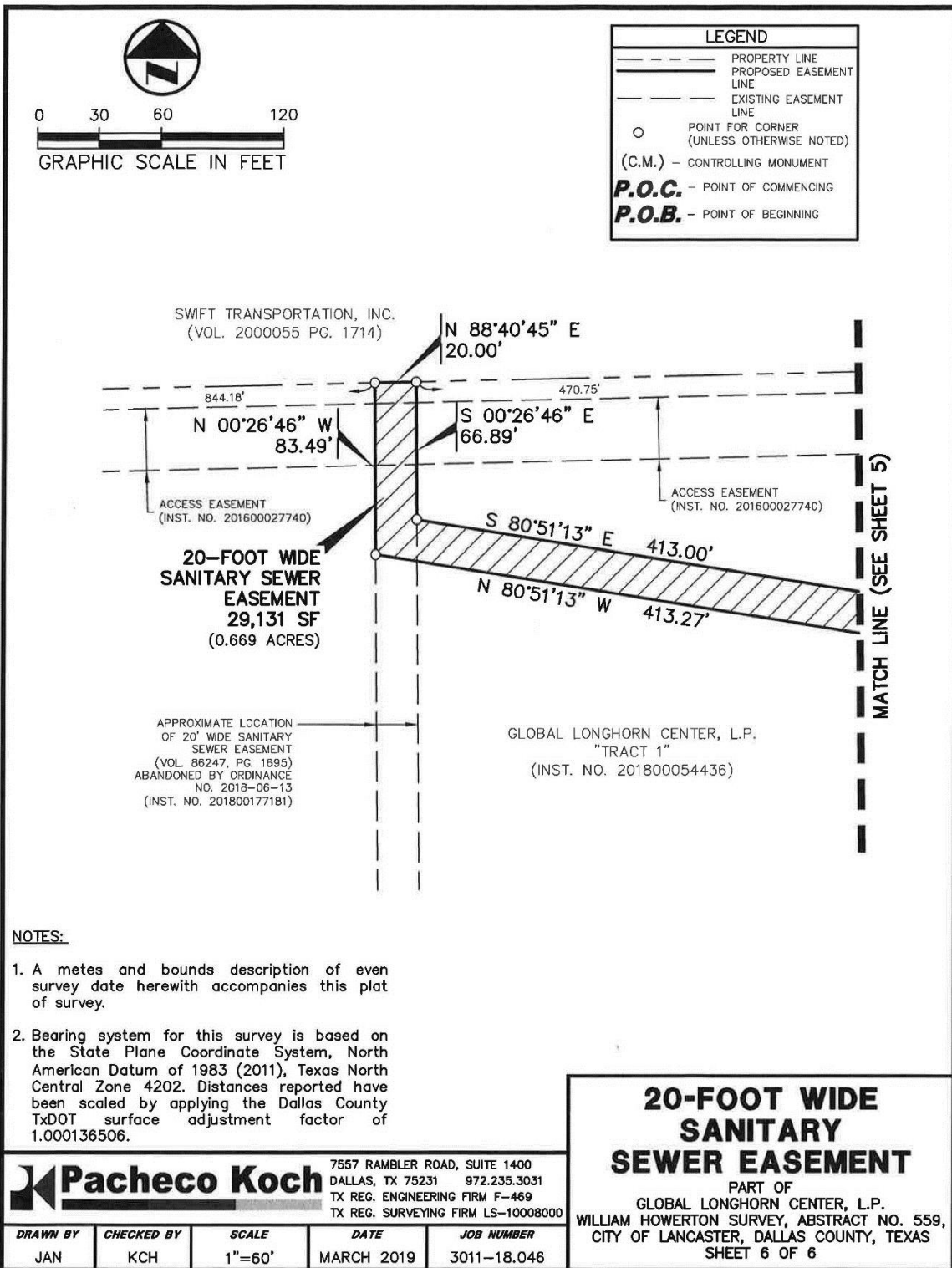
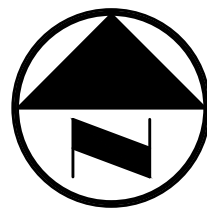
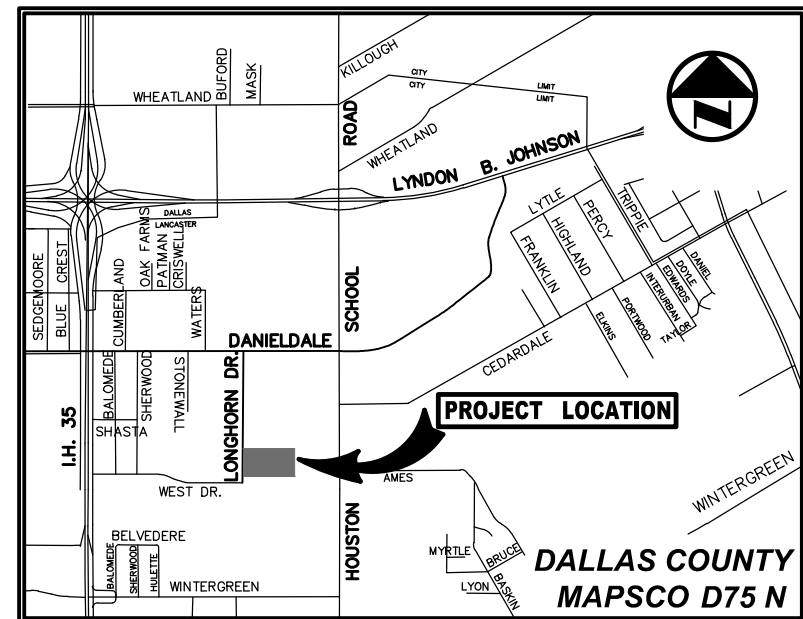


Exhibit A to
Sanitary Sewer Easement



0 30 60 120 180
GRAPHIC SCALE IN FEET
1" = 60'



VICINITY MAP
(NOT TO SCALE)

LOT 3, BLOCK A
FFE ADDITION
(VOL. 92135,
PG. 2700)
INVESTMENTS
TRANSPORTATION
SERVICES, LLC
(INST. NO.
201400125248)

SWIFT TRANSPORTATION, INC.
"TRACT 2"
(VOL. 2000055 PG. 1714)

LEGEND
--- SUBJECT PROPERTY LINE
--- ADJOINER PROPERTY LINE
--- RIGHT-OF-WAY LINE
--- EXISTING EASEMENT LINE
--- PROPOSED EASEMENT LINE

POINT OF
BEGINNING

1/2-INCH IRON ROD
W/"HALF" CAP
FOUND
ACCESS EASEMENT
(INST. NO. 201600027740)

ACCESS EASEMENT
(INST. NO. 201600027740)

20' SANITARY SEWER EASEMENT
(INST. NO.)

LOT 2, BLOCK A
PARK 20
(INST. NO. 201600131565)
ARTEMIS HIP PARK 20, LLC
(INST. NO. 201600027737)

15' WATER EASEMENT

20' SANITARY SEWER EASEMENT

20' SANITARY SEWER EASEMENT
(INST. NO.)

15' WATER EASEMENT

15' WATER EASEMENT
(INST. NO.)

1/2-INCH IRON ROD
W/"HALF" CAP
FOUND (C.M.)

APPROXIMATE LOCATION
OF 20' WIDE SANITARY
SEWER EASEMENT
(VOL. 70222, PG. 674)

LOT 2, BLOCK A
PARK 20
(INST. NO. 201600131565)
ARTEMIS HIP PARK 20, LLC
(INST. NO. 201600027737)

APPROXIMATE LOCATION
OF 20' WIDE SANITARY
SEWER EASEMENT
(VOL. 70222, PG. 674)

APPROXIMATE LOCATION
OF 20' WIDE SANITARY
SEWER EASEMENT
(VOL. 86247, PG. 1695)

PME OAKMONT LANCASTER, LLC
(INST. NO. 201800168864)

DRAINAGE EASEMENT
(VOL. 2000038, PG. 4134)

DRAINAGE EASEMENT
(VOL. 2004073, PG. 2356)

HOUSTON SCHOOL/WINTERGREEN
PARTNERS, LTD.
(INST. NO. 20080403503)

25' X 25' SANITARY
SEWER EASEMENT
(VOL. 70222, PG. 667)

20' SANITARY
SEWER EASEMENT
(VOL. 70222, PG. 667)

LOT 2, BLOCK A
FFE ADDITION
(VOL. 92135, PG. 2700)
INVESTMENTS TRANSPORTATION
SERVICES, LLC
(INST. NO. 201400125248)

WEST DRIVE
(VARIABLE WIDTH RIGHT-OF-WAY)
CITY OF LANCASTER
(VOL. 2004073, PG. 2349)
(VOL. 2004073, PG. 2343)

CITY OF LANCASTER, TEXAS
(VOL. 2004073, PG. 2349)

GLOBAL BTS
FINAL PLAT
LOT 1, BLOCK A

22.146 ACRE TRACT OUT OF THE
WILLIAM HOWERTON SURVEY, ABSTRACT NO. 559
CITY OF LANCASTER, DALLAS COUNTY, TEXAS
SHEET 1 OF 2

SURVEYOR/ENGINEER
PACHECO KOCH, LLC
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75001
PH: (972) 235-3031
CONTACT: KYLE HARRIS

OWNER/DEVELOPER
GLOBAL LONGHORN CENTER, L.P.
5055 KELLER SPRINGS ROAD, SUITE 300
ADDISON, TEXAS
PH: (972) 380-3640
CONTACT: KEN NEWMAN

Pacheco Koch

7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-10008000

DRAWN BY LMG/JAN	CHECKED BY KCH	SCALE 1"=60'	DATE APRIL 2019	JOB NUMBER 3011-18.046
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FINAL PLAT - GLOBAL BTS LOT 1, BLOCK A

LONGVALEZ, KYLE HARRIS, AN
6/2/2019 10:30:30 3011-18.046.DWG SURVEY CSD 2015\3011-18.046FP.DWG

LANCASTER CITY COUNCIL

City Council Regular Meeting

11.

Meeting Date: 06/10/2019

Policy Statement: This request supports the City Council 2018-2019 Policy Agenda

Goal(s): Civic Engagement

Submitted by: Sorangel O. Arenas, City Secretary

Agenda Caption:

Discuss and consider declaring a certain board, commission or committee position(s) vacant due to excessive absences and consider appointment(s) to the Parks and Recreation Advisory Board.

Background:

As prescribed in Ordinance 2018-12-53 for all City Boards, Commissions and Committees, Section 5.01.001 Board and Commission appointments, terms, removal and meetings, Subsection (g) states "Three (3) consecutive absences, or a total of five (5) absences within a twelve-month period shall cause the City Council to consider removal of the board or commission member..."

City Council asked to review the attendance records on a quarterly basis. Attached are attendance records updated through March 2019 for the following:

- Airport Advisory Board
- Animal Shelter Advisory Committee
- Economic Development Corporation Board (4A)
- Historic Landmark Preservation Committee
- Library Advisory Board
- Museum Advisory Board
- Parks and Recreation Advisory Board
- Planning and Zoning Commission
- Property Standards and Appeals Board
- Recreational Development Corporation Board (4B)
- Sign Control Board
- Zoning Board of Adjustment

Operational Considerations:

A review of the attendance records indicates the following member did not meet attendance standards:

Parks and Recreation Advisory Board:

Darwin Isham - regular member (term expires 2019)

The City Council deemed it necessary to establish guidelines for attendance by member of the City's boards and commissions in order to provide for the orderly and effective conduct of meetings and hearings.

Should the Council declare a vacancy, Council may choose to appoint a Parks and Recreation member. Available applications are on hand for consideration.

Options/Alternatives:

1. City Council may declare a vacancy in a position where attendance standards have not been met and may fill the vacancy for an unexpired term ending December 2019.
2. City Council may leave position unfilled at this time.
3. City Council may deny declaring a vacancy.

Recommendation:

This matter is solely at Council's pleasure.

Attachments

Ordinance 2018-12-53

Attendance record as noted above

Alphabetical list of all applicants (indicates board preferences)

ORDINANCE NO. 2018-12-53

AN ORDINANCE OF THE CITY OF LANCASTER, TEXAS, AMENDING THE LANCASTER CODE OF ORDINANCES, BY ESTABLISHING A NEW CHAPTER 5 “BOARDS, COMMISSIONS AND COMMITTEES”; BY DISBANDING THE CITIZEN ADVISORY COMMITTEE (FOR PHOTOGRAPHIC TRAFFIC CONTROL SIGNAL ENFORCEMENT SYSTEM); PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A PENALTY CLAUSE; PROVIDING FOR PUBLICATION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the following Boards, Commissions and Committees have previously been established by resolution or ordinance by prior City Councils: (1) Airport Advisory Board; (2) Animal Shelter Advisory Committee; (3) Capital Improvements Advisory Committee; (4) Citizen Advisory Committee (Photographic Traffic Control Signal Enforcement System); (5) Civil Service Commission; (6) Economic Development Corporation (Type A); (7) Historic Landmark Preservation Committee; (8) Lancaster Recreational Development Corporation (Type B); (9) Lancaster State Auxiliary Museum Advisory Board; (10) Lancaster Veterans Memorial Library Advisory Board; (11) Parks and Recreation Advisory Board; (12) Planning and Zoning Commission; (13) Property Standards and Appeals Board; (14) Sign Control Board; (15) Tree Board; (16) Youth Advisory Committee; and (17) Zoning Board of Adjustment; and

WHEREAS, the City Council of the City of Lancaster, Texas (the “Council”) has determined that it is in the best interest of the City to recodify the portions of the City of Lancaster Code of Ordinances dealing with City Boards, Commissions and Committees in order to (1) provide a uniform structure for City Boards, Commissions and Committees and to delineate the rights and responsibilities of each City Board and Commission; and (2) aid in administrative efficiency and open government by providing a single ordinance reference for City Boards, Commissions and Committees.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LANCASTER, TEXAS:

SECTION 1. That the Code of Ordinances for the City of Lancaster be amended by adding a new Chapter 5 of the City of Lancaster Code of Ordinances, and the new Chapter 5 shall read as follows:

“ ...

CHAPTER 5: BOARDS, COMMISSIONS AND COMMITTEES

Preliminary Statement A: This Chapter is intended to be a recodification of City Boards, Commissions and Committees as they existed on the date of adoption. In passing this ordinance, all existing enabling ordinances and resolutions shall remain in effect, except to the extent they directly conflict with, or are modified by, this ordinance. In the case of conflict between existing ordinances and resolutions, this ordinance shall control.

Preliminary Statement B: The members and/or directors of the Boards, Commissions and Committees listed herein currently serving at the time of the passage of this ordinance shall continue their service upon the adoption of this ordinance and each member or director serving on a Board or Commission shall upon adoption of this ordinance shall maintain their seat and serve out the remainder of their term unless otherwise removed from their seat pursuant to the terms of this ordinance or applicable bylaws of their respective Board or Commission. At the time for reappointment or appointment of new members, any Board or Commission that has a reduction in membership due to the general provisions of Section 5.01.001(c) shall have only five (5) members appointed or reappointed to the Board or Commission, in addition to one (1) alternate member, unless specifically stated to the contrary by any section in this Chapter 5. All bylaws of each City Board and Commission in effect upon the adoption of this ordinance shall continue to be in effect unless and until amended in accordance with the bylaw policy and/or other applicable state law.

ARTICLE 5.01 GENERAL PROVISIONS

Sec. 5.01.001 Board and Commission appointments, terms, removal, and meetings.

- (a) Unless stated to the contrary herein, all appointments to Boards, Commissions and Committees of the City shall be made by the City Council.
- (b) All appointments to Boards, Commissions and Committees of the City shall expire on December 1st of the year in which they would normally expire. At the first meeting of the board or commission following December 1st, a chairperson and vice-chairperson shall be elected by the members of the board or commission. Should no appointment be made at the time a term would otherwise expire, the sitting board, commission, or committee member will continue to serve in an interim capacity until the replacement appointment has been made.
- (c) Unless expressly stated to the contrary herein, each board, commission or committee of the City shall be composed of five (5) members, and the term of appointment for regular members shall be for two (2) years, one (1) alternate member, the alternate member serving a term of one (1) year.
- (d) Unless expressly stated to the contrary herein, the board and commission members serve at the pleasure of the City Council and may be removed at any time by a majority vote of the Council.
- (e) All Boards, Commissions and Committees must meet at least two (2) times per year; once for open meeting act and public information act training, and once for a regular business meeting. Additional meetings may be held separately for work sessions, educational training, and city updates.
- (f) Unless expressly stated to the contrary herein, a simple majority of each board or commission shall serve to establish a quorum for a board or commission.

- (g) Subject to the provisions of subsection (d), above, a board or commission member should regularly attend meetings in order to ensure that a quorum can be met and business transacted. Three (3) consecutive absences, or a total of five (5) absences during a twelve-month period shall cause the City Council to consider removal of the board or commission member. Failure to meet these attendance requirements will also bar the member from being re-appointed for a subsequent term, absent the showing of good cause presented to, and accepted by the City Council based on special circumstances.
- (h) All City Councilmembers, with the exception of the Mayor, may serve at as the Council liaison to the boards and commissions of the City for a period of one year. A Council liaison for each board or commission shall be selected by the City Council by order of seniority. Unless provided for to the contrary by specific ordinance, the liaison shall not vote, count towards a quorum, or otherwise be considered a regular member of the board or commission to which he or she is appointed.
- (i) A Staff liaison shall be appointed by the City Manager for each board or commission.
- (j) The Boards, Commissions and Committee Matrix, attached to this ordinance as **Appendix A**, setting forth a summary of the membership, requirements, terms, dates and times, and other information, is hereby incorporated herein and adopted by the City Council. To the extent that there is a conflict between the Boards, Commissions and Committees Matrix and the text of this ordinance, the text of this ordinance will control.

Sec. 5.01.002 Qualifications of Board and Commission members.

- (a) Unless stated to the contrary herein, each board or commission or committee member must reside within the corporate limits of the City at the time of the appointment to the board or commission; must not be in arrears in the payment of any taxes or other liability due to the City; and must be a registered voter within the City.
- (b) Additional board, commission or committee qualifications may be specified in the board- and commission-specific portions of Section 5.02. herein.
- (c) Any board, commission or committee member ceasing to possess any of the qualifications set forth in this section, or in the board- and commission-specific portions of Section 5.02, herein, applicable to their particular board, shall immediately forfeit his or her office.

Sec. 5.01.003 Advisory Boards and Statutory Boards

- (a) Each City board, commission or committee shall be identified as "Advisory" or "Statutory", or as special purpose corporations such as economic development corporations. Advisory boards shall serve only in an advisory capacity and shall make recommendations to the City Council for further action and consideration. Statutory boards and special purpose corporations may possess decision-making and/or quasi-judiciary powers and functions as designated by their applicable enabling statute.

Sec. 5.01.004 Applicability of Texas Open Meetings Act

- (a) All City boards or commissions shall operate according to the provisions of the Texas Open Meetings Act, (Chapter 551 of the Texas Government Code), as amended.

Sec. 5.01.005 Form Bylaws

- (a) The City Council shall promulgate a set of form bylaws for use by the Advisory Boards which shall become effective when adopted. An advisory board or commission that seeks to amend its bylaws must submit the proposed change to the City Council for consideration and approval before it becomes effective.

ARTICLE 5.02 BOARD- AND COMMISSION-SPECIFIC PROVISIONS

Sec. 5.02.001 Airport Advisory Board

- (a) The Airport Advisory Board was established on April 17, 1978 by Resolution No. 4-78 and is designated as an Advisory Board of the City of Lancaster, Texas.
- (b) It is recommended that members have a working knowledge of airport and/or aviation operations, rent or own a hanger or other space at Lancaster Regional Airport, or operate a business at Lancaster Regional Airport. Members of this Board are exempt from the requirements of Sec. 5.01.002(a).
- (c) The Board is established pursuant to Section 3.19 of the Lancaster Home Rule Charter to advise the City Council regarding the expansion and capital improvement, of Lancaster Regional Airport.

Sec. 5.02.002 Animal Shelter Advisory Committee

- (a) The Animal Shelter Advisory Committee was established on March 10, 2008 by Resolution No. 2008-03-22, is subject to the Interlocal Agreement for Animal Control Services between the City and the City of Hutchins, and is designated as an Advisory Board of the City of Lancaster, Texas.
- (b) The Committee shall be composed of five (5) regular members including one (1) Alternate, and shall include at least one (1) licensed veterinarian, one (1) county or municipal official, one (1) person whose duties include the daily operation of an animal shelter, and one (1) representative from an animal welfare organization. Three (3) members shall be appointed by the City, and three (3) members shall be appointed by the City of Hutchins.
- (c) The Committee is established pursuant to Texas Health and Safety Code, Section 823.005, to ensure that the City animal shelter meets the state operating requirements.
- (d) The Committee shall meet no less than three (3) times per year.

Sec. 5.02.003 Capital Improvements Advisory Committee

- (a) The Capital Improvements Advisory Committee was established on June 18, 1990 by Resolution No. 21-90 and is designated as an Advisory Board of the City of Lancaster, Texas.
- (b) At least two (2) members of the Committee shall be representatives of the real estate, development, or building industries who are not employees or officials of a political subdivision or governmental entity. If the Texas Local Government Code Chapter 395 impact fee is to be applied to the extraterritorial jurisdiction of the City, one member of the Committee must be a representative from the area where the impact fee will be apply.
- (c) The Committee is established pursuant to Texas Local Government Code, Section 395.058, to (a) advise and assist the City in adopting land use assumptions; (b) review the City's capital improvements plan and file written comments; (c) monitor and evaluate implementation of the City's capital improvements plan; (d) file semiannual reports with respect to the progress of the City's capital improvements plan and report to the City Council any perceived inequities in implementing the plan or imposing the impact fee; and advise the City Council of the need to update or revise the land use assumptions, capital improvements plan, and impact fee.

Sec. 5.02.004 Citizen Advisory Committee (Photographic Traffic Control Signal Enforcement System)

- (a) The Citizen Advisory Committee was established on December 10, 2007 by Resolution No. 2007-12-138.
- (b) The Committee was established pursuant to Texas Transportation Code provisions regarding the installation and operation of Photographic Traffic Control Signal Enforcement Systems. Given that there are no such systems currently operating or contemplated within the City, this Committee is hereby disbanded.

Sec. 5.02.005 Civil Service Commission

- (a) The Civil Service Commission was established pursuant to the May 8, 1995 Resolution No. 21-95 which canvassed the results of the election in which Texas Local Government Code Chapter 143 Civil Service was established by the electorate, and is designated as a Statutory Board of the City of Lancaster, Texas.
- (b) The Commission shall be composed of three (3) members, with no alternate members, who shall be appointed by the City Manager and confirmed by the City Council. Members shall serve staggered three (3) year terms with the term of one member expiring each year. Each person appointed to the commission must: (1) be of good moral character; (2) be a United States citizen; (3) be a resident of the City who has resided in the City for more than three (3) years; (4) be over 25 years of age; and (5) not have held a public office within the preceding three years.

- (c) The Commission is established pursuant to Texas Local Government Code, Section 143.006, to ensure that the City conforms to the requirements of Chapter 143 of the Texas Local Government Code, and to investigate and report on all matters relating to the enforcement and effect of Chapter 143, including appeals from fire fighters or police officers. The Commission is empowered to (1) administer oaths, (2) issue subpoenas to complete the attendance of witnesses and the production of books, papers, documents, and accounts relating to the investigation; and (3) cause the deposition of witnesses residing inside or outside the state, pursuant to Section 143.009 of the Texas Local Government Code.

Sec. 5.02.006 Economic Development Corporation – (Type A)

- (a) The Lancaster Economic Development Corporation is a Type A economic development corporation, and had its initial bylaws approved on October 9, 1995 by Resolution No. 38-95, and currently operates under such amended bylaws as approved by City Council.
- (b) The Corporation shall consist of five (5) directors, with no alternate members. The Board of Directors shall appoint, at a minimum, a president and a secretary, and such other officers as designated in its then-current bylaws.
- (c) The Committee is established pursuant to Texas Local Government Code, Section 504.051, to promote economic development in the City and the area, and to perform all duties as authorized by Chapter 504 of the Texas Local Government Code for Type A corporations.

Sec. 5.02.007 Historic Landmark Preservation Committee

- (a) The Historic Landmark Preservation Committee was established on December 5, 1994 by Ordinance No. 31-94 and is designated as an Advisory Board of the City of Lancaster, Texas.
- (b) Members of the committee shall be appointed by the Planning & Zoning Commission and confirmed by City Council. Each member appointed to the committee shall have a demonstrated interest in or knowledge of historic preservation practices and principles. Of the regular members, at least three (3) shall have experience and/or expertise in the following fields: architecture, planning, landscape architecture, building construction or real estate appraisal. At least one (1) member shall be a member of the Lancaster Historical Society. At least one (1) member shall be the owner of a designated historic landmark or property within an historic district.
- (c) The Committee is established pursuant to Section 3.19 of the Lancaster Home Rule Charter to: (1) adopt criteria for the designation of historic, architectural, and cultural landmarks and the delineation of historic districts for submission to Planning & Zoning and City Council; (2) Recommend to the Planning & Zoning Commission (for subsequent submission to the City Council) recognition of individuals and organizations who own designated historical landmarks or properties within designated historic districts through the conferral of certificates, plaques, or markers; (3) Increase public awareness of the value of historic, cultural and architectural preservation by developing and participating in public education programs; (4) Recommend the designation of sites, buildings, structures, objects or areas a landmarks or historic districts; (5) Make recommendations to the

Planning & Zoning Commission (for subsequent submission to the City Council) regarding the utilization of funds and funding methods (such as tax deferments, grants, fees, and donations); to promote the preservation and vitality of landmarks and historic districts within the City; and (6) Review and make recommendations on applications for Certificates of Appropriateness and Certificates of Economic Hardship; and (7) ensure compliance with U.S. Department of the Interior standards for historic landmarks

Sec. 5.02.008 Lancaster Recreational Development Corporation – (Type B)

- (a) The Lancaster Recreational Development Corporation is a Type B economic development corporation incorporated and approved on September 25, 1995 by Resolution No. 37-95, and currently operates under such amended bylaws as approved by City Council.
- (b) The Corporation shall consist of seven (7) directors with no alternate members, who shall serve two (2) year terms. The Board of Directors shall appoint, at a minimum, a president and a secretary, and such other officers as designated in its then-current bylaws.
- (c) The Committee is established pursuant to Texas Local Government Code, Section 505.003, to promote authorized projects and to perform all duties as authorized by Chapter 505 of the Texas Local Government Code for Type B corporations.

Sec. 5.02.009 Lancaster State Auxiliary Museum Advisory Board

- (a) The Lancaster State Auxiliary Museum Board Advisory Board was established on March 23, 2015 by Resolution No. 2015-03-22 and is designated as an Advisory Board of the City of Lancaster, Texas.
- (b) The Board is established pursuant to Section 3.19 of the Lancaster Home Rule Charter to report to City Council on all matters concerning the City of Lancaster State Auxiliary Museum and to promote public interest in the Museum.

Sec. 5.02.010 Lancaster Veterans Memorial Library Advisory Board

- (a) The Lancaster Veterans Memorial Library Advisory Board was established on December 17, 1984 by Ordinance No. 51-84 and is designated as an Advisory Board of the City of Lancaster, Texas.
- (b) The Board is established pursuant to Section 3.19 of the Lancaster Home Rule Charter to report to City Council on all matters concerning the City's public library system, including: (1) recommending library programming; (2) giving guidance regarding the expansion of library facilities; and (3) encouraging the development and improvement of the library.

Sec. 5.02.011 Parks and Recreation Advisory Board

- (a) The Parks and Recreation Advisory Board was established on February 11, 2008 by Ordinance No. 2008-02-07 and is designated as an Advisory Board of the City of Lancaster, Texas.

- (b) The Committee is established pursuant to Section 3.19 of the Lancaster Home Rule Charter to advise the City Council in regard to all matters relating to the City's Parks and Recreation Department, to study the City's parks and recreational programs, and advise the City Council regarding the future acquisition, development, enlargement and use policy of the parks and recreation system, including an annual review of the City's Master Parks Plan.

Sec. 5.02.012 Planning & Zoning Commission

- (a) The Planning & Zoning Commission was previously established by the City pursuant to Section 211.007 of the Texas Local Government Code, and is designated as a Statutory Board of the City of Lancaster, Texas.
- (b) A City Planner, or the designee of the City Manager shall serve as the Secretary of the Commission.
- (c) The Commission is established pursuant to Section 211.07 of the Texas Local Government Code, and is vested with the following powers and duties:
 - (i) to advise the City Council and make recommendations concerning adoption of, or amendments to, zoning regulations and the zoning map;
 - (ii) to advise the City Council and make recommendations concerning adoption of, or amendments to the City's Comprehensive Plan, Thoroughfare Plan, and Open Space Plan and implementation thereof;
 - (iii) to oversee the City's regulations governing the platting and recording of subdivisions, including matters pertaining to the dedication of public facilities, and to advise the Council on matters pertaining to public improvements, traffic, utility extension and the provision of public facilities and services, in order to implement the City's Comprehensive Plan;
 - (iv) to undertake such actions as are necessary to exercise its delegated powers, as indicated by adopted ordinance, including the granting of exceptions to zoning standards and the Lancaster Development Code;
 - (v) to approve certain matters relating to platting and recording of subdivisions as dictated by the City's ordinances (including the Lancaster Development Code);
 - (vi) other duties and powers as authorized by Chapter 211 of the Texas Local Government Code and other applicable state law.

Sec. 5.02.013 Property Standards and Appeals Board

- (a) The Property Standards and Appeals Board was established on July 24, 2006 by Ordinance No. 2006-07-24, and is designated as a Statutory Board of the City of Lancaster, Texas.

- (b) The board is empowered to hear the appeal of any person directly affected by a decision of the City's chief building official and/or code official or a notice or order issued under the International Property Maintenance code (and other model codes governing building, construction, and property maintenance standards) as adopted by the City and amended from time to time, provided that the code in question provides for an appellate process.
- (c) Appeals of notice and orders (other than imminent danger notices) shall stay the enforcement of the notice or order until the appeal is heard by the board.
- (d) The board shall meet upon notice from the City's *code official*, (as that term is used in the version of the International Property Maintenance Code currently adopted by the City), within twenty (20) days of the City's receipt of a notice of appeal, or at stated meetings that may be called from time to time. The appellant, the appellant's representative, and any other person whose interests are affected by the hearing shall be given an opportunity to present their case to the board.
- (e) The City Manager, or his or her designee(s) shall present all cases before the board. The City's *code official*, as that term is used in the version of the International Property Maintenance Code currently adopted by the City, shall have a standing designation, which may be modified at the will of the City Manager.
- (f) The board may, by a majority vote: (1) affirm the order of the *code official* being appealed and enforce the recommendation of the official; (2) modify the order of the *code official* being appealed, or (3) reverse the order of the *code official* being appealed.
- (g) Any person affected by the *code official's* order or the board's decision, may apply to the appropriate court for a writ of certiorari to correct errors of law. Application for review shall be made within thirty (30) days of the board's decision.

Sec. 5.02.014 Sign Control Board

- (a) The Sign Control Board was previously established by the City Council and is designated as a Statutory Board of the City of Lancaster, Texas, when considering exceptions, and an Advisory Board of the City of Lancaster, Texas, when operating in its advisory capacity.
- (b) The Planning & Zoning Commission shall serve as the Sign Control Board.
- (c) The Board is established pursuant to Section 3.19 of the Lancaster Home Rule Charter to: (1) consider exceptions from the sign control provisions of the Lancaster Development Code, evaluating requested exceptions by considering: (a) the degree of exception; (b) the reasons for the exception; (c) the location of the exception; (d) the duration of the exception; (e) the effect on public safety; (f) protection of neighborhood property; (g) the degree of hardship or injustice involved; and (h) the effect of the exception on the general plan for signage throughout the City; and shall have the power to grant, deny, or grant with lesser exceptions any proposed exception before it; (2) to conduct continuing studies of sign ordinances in neighboring municipalities and other Texas cities and make

recommendations to the City Council where appropriate; (3) to conduct a continuing review of all nonconforming signs and exceptions granted and determine the desirability and effects upon the immediate area of the nonconforming signs and exceptions and the City as a whole and make recommendations to the City Council where appropriate; (4) to evaluate new signage methods and materials and make recommendations to City Council regarding their benefits and disadvantages; and (5) conduct such other sign-related studies and plans as directed by City Council.

Sec. 5.02.015 Tree Advisory Board

- (a) The Tree Advisory Board was previously established by the City Council and is designated as an Advisory Committee of the City of Lancaster, Texas.
- (b) The Planning & Zoning Commission shall serve as the Tree Board. When meeting in this capacity, they shall be an Advisory Board.
- (c) The Committee is established pursuant to Section 3.19 of the Lancaster Home Rule Charter to advise the City Council in regard to all matters relating to the City's tree preservation and urban forestry activities.

Sec. 5.02.016 Youth Advisory Committee

- (a) The Youth Advisory Committee was established on July 14, 2008 by Ordinance No. 2008-07-28 and is designated as an Advisory Board of the City of Lancaster, Texas.
- (b) The Board shall be composed of ten (10) student youth members, who shall be enrolled in a public or private accredited secondary school and who shall be fifteen years of age or older, and two sponsors, who shall be adults and residents of the City, and who shall be appointed to staggered terms. The City Manager (or his or her designee) shall appoint the student youth members. City Council shall appoint the sponsors. Terms of office shall be two (2) years for the sponsor, and two (2) years for five (5) of the student youth members and one (1) year for five (5) of the remaining student youth members. The Mayor serves as an advisor, and one (1) City Council member serves as a Council liaison to the Committee.
- (c) The Committee is established pursuant to Section 3.19 of the Lancaster Home Rule Charter to provide participation in municipal government by the local youth, and to advise the City Council on matters of relevance to young members of the community.

Sec. 5.02.017 Zoning Board of Adjustment

- (a) The Zoning Board of Adjustment was established on April 24, 2006 by Ordinance No. 2006-04-13 and is designated as a Statutory Board of the City of Lancaster, Texas.
- (b) The Board is established pursuant to Section 211.009 of the Texas Local Government Code, and the Board is vested with all the powers and duties set forth therein, including the authority to: (1) hear and decide an appeal that alleges an error in an order, requirement, decision, or determination made by an administrative official in the enforcement of Chapter 211, Subchapter A of the

Texas Local Government Code, under the provision that reversing such order, requirement, decision or determination of an administrative official must be supported by a vote of at least seventy-five (75%) percent of the Board; and (2) authorize in specific cases a variance from the terms of a zoning ordinance if the variance is not contrary to the public interest and due to special conditions, a literal enforcement of the ordinance would result in unnecessary hardship, and so that the spirit of the ordinance is observed and substantial justice is done, under the provision that granting a variance from the terms of a zoning ordinance must be supported by a vote of at least seventy-five (75%) percent of the Board.

...

SECTION 2. That all provisions of the City of Lancaster Code of Ordinances, and/or the Lancaster Development Code in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other provisions of the City of Lancaster Code of Ordinances and/or the Lancaster Development Code not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That should any word, sentence, paragraph, subdivision, clause, phrase or section of this ordinance, or of the Lancaster Development Code, as amended hereby, be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said ordinance or the Lancaster Development Code, as amended hereby, which shall remain in full force and effect.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance or the provisions of the Code of Ordinances of the City of Lancaster, Texas, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the municipal court of the City of Lancaster, Texas, shall be subject to a fine not to exceed the sum of Two Thousand (\$2,000.00) dollars for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. This Ordinance shall become effective from and after its passage and publication by the City Secretary as required by law and the charter.

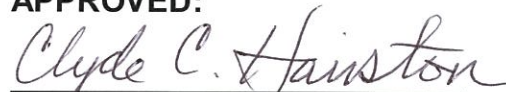
DULY PASSED by the City Council of the City of Lancaster, Texas, on the 10th day of December 2018.

ATTEST:



Sorangel O. Arenas, City Secretary

APPROVED:



Clyde C. Hairston, Mayor

APPROVED AS TO FORM:



David T. Ritter, City Attorney

BOARDS, COMMISSIONS AND COMMITTEES

Bylaws

Division 1. Boards, Commissions and Committees

Sec. 1.01 Establishment

There is hereby created and established within the City a Boards, Commissions and Committees by Ordinance 2018-xx-xx which shall be subject to the jurisdiction of the City Council and shall constitute a board, commission or committee to the City Council.

Sec. 1.02 Number of members

Shall be composed of five (5) regular members and one (1) alternate appointed by the City Council. Each member of the board, commission or committee shall meet the eligibility requirements established by the City Charter and the Board and Commission Ordinance. The staff liaison will appointed by the City Manager. The members shall serve at the pleasure of the City Council and may be removed at the discretion of the City Council.

Sec. 1.03 Term of office

The term of office of each board, commission or committee regular member shall be two (2) years, alternate member shall be one (1) year. Each board, commission or committee member shall be appointed so that three (3) members' terms shall expire in odd numbered years, and two (2) members' terms shall expire in even numbered years.

Sec. 1.04 Officers

The board, commission or committee shall have a Chair and a Vice-Chair, whose terms shall be one (1) year. The Chair and Vice-Chair shall be nominated by a majority vote of the board, commission or committee.

The Chair and Vice-chair shall be elected each year at the first regular meeting after the board, commission or committee members are appointed and have taken their oath of office.

Vacancies in office shall be handled as follows:

- a. In the event of resignation or incapacity of the Chair; the Vice-Chair shall become the Chair for the unexpired portion of the term.
- b. Vacancy of the Vice-Chair shall be filled for the unexpired term by special election.

Duties of the officers shall be as follows:

- a. Chair:
 - i. Preside at all meetings.

- b. Vice-chair:
 - i. Assist the Chair in directing the affairs of the Library Board and act in the Chair's absence.

Sec. 1.05 Meetings

The meeting of the board, commission or committee must meet at least two (2) times per year; once for open meeting act and public information act training, and once for a regular business meeting. All meetings shall be held in a public place with public notice as prescribed by law.

A simple majority of the regular members shall constitute a quorum at all meetings of the board, commission or committee. If a quorum is not present, the meeting shall be cancelled.

Robert's Rules of Order, Newly Revised governs the parliamentary procedure of the board, commission or committee in all cases to which they are applicable.

Sec. 1.06 Removal from office/absences

The regular members shall serve at the pleasure of the City Council and may be removed at the discretion of the City Council. Board, Commission and committee members are expected to maintain regular attendance at meetings in accordance with the attendance policy established by the Board and Commission Ordinance.

Sec. 1.07 Powers and authority

The board, commission and committee members provide opinion, support, and expertise as needed. Members shall:

- a. Provide advice and counsel to the Staff Liaison in matters relating to the services rendered. The Staff Liaison for each board will communicate updates on City events and the board, commission, or committee's contribution to advancing the City's goals and objectives, and shall provide quarterly attendance updates to the City Council and their respective board, commission, or committee.
- b. Review data and circumstances pertaining to their respective boards, commissions, or committees, and formulate and recommend to the city council, for its adoption, policies and regulations consistent with the overall city plan and ordinances.
- c. Study the need for, and encourage the development of knowledge of each board.

- d. Each board, commission, or committee at the direction of the city council, shall study and submit reports on any topics within their purview that the city council deems appropriate.
- e. programs for the development of Library facilities and necessary financial support for those facilities.
- f. Encourage in every possible way the development and advancement of the board.
- g. Participate in local events.
- h. Members of each board and commission shall comply with all statutory time limits, public notices, and the Texas Open Meetings Act, V.T.C.A., Government Code § 551.001 et seq.

Sec. 1.08 Amendments

These bylaws may be amended by the City Council at any regular meeting, provided all members have been notified of the proposed amendment. Such amendment would then be subject to approval by the City Council.

Boards, Commissions, and Committees																
	Airport Advisory Board	Animal Shelter Advisory Committee	Capital Improvements Advisory Committee	Civil Service	Economic Development Corp.(Type A)	Historic Landmark Preservation Committee	Lancaster Recreational Development Corp.(Type B)	Lancaster State Auxiliary Museum Advisory Board	Lancaster Veterans Memorial Library Advisory Board	Parks and Recreation Advisory Board	Planning and Zoning Commission	Sign Control Board	Tree Advisory Board	Property Standards and Appeals Board	Youth Advisory Committee	Zoning Board of Adjustment
Members	5-Regular 1-Alternate	5-Regular 1-Alternate	5-Regular 1-Alternate	3-Regular	5-Regular	5-Regular 1-Alternate	7-Regular	5-Regular 1-Alternate	5-Regular 1-Alternate	5-Regular 1-Alternate	5-Regular 1-Alternate	5-Regular 1-Alternate	5-Regular 1-Alternate	5-Regular 1-Alternate	10-Student 1-Sponsor	5-Regular 1-Alternate
Board Officers	Chair Vice-Chair	Chair Vice-Chair	Chair Vice-Chair	Chair Vice-Chair	President Secretary	Chair Vice-Chair	President Secretary	Chair Vice-Chair	Chair Vice-Chair	Chair Vice-Chair	Chair Vice-Chair	Chair Vice-Chair	Chair Vice-Chair	Chair Vice-Chair	Chair Vice-Chair	Chair Vice-Chair
Membership Requirement	*Must be current with any and all taxes or other liability to the City *Must be registered voter within the City	*Resident of the City *Must be current with any and all taxes or other liability to the City *Must be registered voter within the City	*Resident of the City *Must be current with any and all taxes or other liability to the City *Must be registered voter within the City	*Resident of the City *Must be current with any and all taxes or other liability to the City *Must be registered voter within the City	*Resident of the City *Must be current with any and all taxes or other liability to the City *Must be registered voter within the City	*Resident of the City *Must be current with any and all taxes or other liability to the City *Must be registered voter within the City	*Resident of the City *Must be current with any and all taxes or other liability to the City *Must be registered voter within the City	*Resident of the City *Must be current with any and all taxes or other liability to the City *Must be registered voter within the City	*Resident of the City *Must be current with any and all taxes or other liability to the City *Must be registered voter within the City	*Resident of the City *Must be current with any and all taxes or other liability to the City *Must be registered voter within the City	*Resident of the City *Must be current with any and all taxes or other liability to the City *Must be registered voter within the City	*Resident of the City *Must be current with any and all taxes or other liability to the City *Must be registered voter within the City	*Resident of the City *Must be current with any and all taxes or other liability to the City *Must be registered voter within the City	*Resident of the City *Must be current with any and all taxes or other liability to the City *Must be registered voter within the City	*Resident of the City *Must be current with any and all taxes or other liability to the City *Must be registered voter within the City	*Resident of the City *Must be current with any and all taxes or other liability to the City *Must be registered voter within the City
Terms	2 Yrs - Regular 1 Yr - Alternate	2 Yrs - Regular 1 Yr - Alternate	2 Yrs - Regular 1 Yr - Alternate	3 Yrs - Regular	3 Yrs - Regular	2 Yrs - Regular 1 Yr - Alternate	2 Yrs - Regular	2 Yrs - Regular 1 Yr - Alternate	2 Yrs - Regular 1 Yr - Alternate	2 Yrs - Regular 1 Yr - Alternate	2 Yrs - Regular 1 Yr - Alternate	2 Yrs - Regular 1 Yr - Alternate	2 Yrs - Regular 1 Yr - Alternate	2 Yrs - Regular 1 Yr - Alternate	2 Yrs - five youth 1 Yr - remaining five youth 2 Yrs - Adult Sponsor	2 Yrs - Regular 1 Yr - Alternate
Meeting Date & Times	*Shall meet at least two times a year and as needed *Meets on the 2nd Tuesday of each month - 7:00p.m.	*Shall meet at least three times a year and as needed *Meets on the 2nd Thursday of each month - 7:00p.m.	Shall meet as needed	*Shall meet each January, two times a year and as needed *Meets on the 4th Thursday of each month - 7:00p.m.	*Shall meet at least two times a year and as needed *Meets on the 3rd Thursday of each month - 7:00p.m.	*Shall meet at least two times a year and as needed *Meets on the 4th Tuesday of each month - 7:00p.m.	*Shall meet at least two times a year and as needed *Meets on the 3rd Tuesday of each month - 7:00p.m.	*Shall meet at least two times a year and as needed *Meets on the 1st Wednesday of each month - 7:00p.m.	*Shall meet at least two times a year and as needed *Meets on the 2nd Wednesday of each month - 7:00p.m.	*Shall meet at least two times a year and as needed *Meets on the 3rd Wednesday of each month - 7:00p.m.	*Shall meet at least two times a year and as needed *Meets on the 1st Tuesday of each month - 7:00p.m.	*Shall meet at least two times a year and as needed *Meets on the 1st Tuesday of each month - 7:00p.m.	*Shall meet at least two times a year and as needed *Meets on the 1st Tuesday of each month - 7:00p.m.	*Shall meet at least two times a year and as needed *Meets on the 1st Thursday of each month - 7:00p.m.	*Shall meet at least two times a year and as needed *Meets on the 4th Wednesday of each month - 7:00p.m.	*Shall meet at least two times a year and as needed *Meets on the 4th Thursday of each month - 7:00p.m.

AIRPORT ADVISORY BOARD

<i>Meeting Attendance</i>														
<i>Term Expires</i>	<i>Board Members</i>	<i>Apr-18</i>	<i>May-18</i>	<i>Jun-18</i>	<i>Jul-18</i>	<i>Aug-18</i>	<i>Sep-18</i>	<i>Oct-18</i>	<i>Nov-18</i>	<i>Dec-18</i>	<i>Jan-19</i>	<i>Feb-19</i>	<i>Mar-19</i>	
2019	Dean Byers	NM	NM	NM	NM	NM	NM	NM	NM	NM	NM	NM	P	P
2019	John Stewart	NM	NM	NM	NM	NM	NM	NM	NM	NM	NM	NM	A	P
2019	Tim Fagan	NM	NM	NM	NM	NM	NM	NM	NM	NM	NM	NM	P	A
2018	Andy Mungenast	NM	NM	NM	NM	NM	NM	NM	NM	NM	NM	NM	P	A
2018	Barbara J. Thomas	NM	NM	NM	NM	NM	NM	NM	NM	NM	NM	NM	A	A
	ALTERNATE													
2018	**Kurtis Samples					Appt	NM	NM	NM	NM	NM	NM	P	P

***Appointed August 27, 2018*

A= Absent

P = Present

NM = No Meeting

LQ = Lack of Quorum

MC = Meeting Cancelled

Staff Contact - Kellen Benbrook

Council Liason - Councilmember Derrick D. Robinson

Rev. 4/1/2019

ANIMAL SHELTER ADVISORY COMMITTEE

<i>Meeting Attendance</i>													
<i>Term Expires</i>	<i>Board Members</i>	<i>Apr- 18</i>	<i>May- 18</i>	<i>Jun- 18</i>	<i>July- 18</i>	<i>Aug- 18</i>	<i>Sep- 18</i>	<i>Oct-18</i>	<i>Nov-18</i>	<i>Dec-18</i>	<i>Jan- 19</i>	<i>Feb- 19</i>	<i>Mar- 19</i>
2019	Fabrice Kabona	NM	P	NM	NM	NM	NM	NM	NM	NM	NM	NM	P
2019	Stacey Jaglowski	NM	P	NM	NM	NM	NM	NM	NM	NM	NM	NM	P
2019	Carol DeLaRosa Green	NM	P	NM	NM	NM	NM	NM	NM	NM	NM	NM	P
2020	Dr. Jean Eye	NM	A	NM	NM	NM	NM	NM	NM	NM	NM	NM	P
2020	**Jonathan Harris												P
	ALTERNATE												
2019	Jonas Houston - Hutchins												A

***Appointed March 25, 2019*

A = Absent

P = Present

NM = No Meeting

LQ = Lack of Quorum

MC = Meeting Cancelled

Staff Contact - Fabrice Kabona

Council Liaison - Deputy Mayor Pro Tem Stanley Jaglowski

Rev. 4/1/2019

LANCASTER ECONOMIC DEVELOPMENT CORP. (4A)

<i>Term Expires</i>	<i>Board Members</i>	<i>Apr- 18</i>	<i>May- 18</i>	<i>Jun- 18</i>	<i>July- 18</i>	<i>Aug- 18</i>	<i>Sep- 18</i>	<i>Oct- 18</i>	<i>Nov- 18</i>	<i>Dec- 18</i>	<i>Jan- 19</i>	<i>Feb- 19</i>	<i>Mar- 19</i>
2019	<i>**Adrienne Davis</i>											<i>Appt</i>	<i>P</i>
2019	<i>Sandi Collier</i>	<i>P</i>	<i>NM</i>	<i>A</i>	<i>NM</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>P</i>
2020	<i>Ted Burk</i>	<i>P</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>P</i>
2020	<i>Ellen Clark</i>	<i>P</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>A</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>P</i>
2020	<i>Octavia Giadolor</i>	<i>P</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>A</i>	<i>NM</i>	<i>P</i>

***Appointed on February 11, 2019*

A= Absent
P = Present
NM = No Meeting
LQ = Lack of Quorum
MC = Meeting Cancelled

Staff Contact - Shane Shepard
Council Liaison - Mayor Pro Tem Marco Mejia

Rev. 4/1/2019

HISTORIC LANDMARK PRESERVATION COMMITTEE

<i>Meeting Attendance</i>														
<i>Term Expires</i>	<i>Board Members</i>	<i>Apr-18</i>	<i>May- 18</i>	<i>Jun-18</i>	<i>Jul-18</i>	<i>Aug-18</i>	<i>Sep-18</i>	<i>Oct-18</i>	<i>Nov-18</i>	<i>Dec-18</i>	<i>Jan-19</i>	<i>Feb-19</i>	<i>Mar-19</i>	
2019	Mindy Truly	A	P	P	A	MC	P	P	NM	NM	P	NM	A	A
2020	Dee Hinkle	P	P	P	P	MC	P	A	NM	NM	P	NM	P	P
2020	Patricia Siegfried-Giles	P	P	P	P	MC	P	P	NM	NM	P	NM	P	P
2019	Vacant													
2019	Glenn Hooper	P	A	P	P	MC	P	P	NM	NM	P	NM	P	P
	Alternate													
2019	Vacant													

A = Absent

P = Present

NM = No Meeting

LQ = Lack of Quorum

MC = Meeting Cancelled

Staff Contact - Bester Munyaradzi

Council Liaison - Councilmember Carol Strain-Burk

Rev. 4/1/2019

LIBRARY ADVISORY BOARD

<i>Term Expires</i>	<i>Board Members</i>	<i>Apr-18</i>	<i>May-18</i>	<i>Jun-18</i>	<i>July-18</i>	<i>Aug-18</i>	<i>Sep-18</i>	<i>Oct-18</i>	<i>Nov-18</i>	<i>Dec-18</i>	<i>Jan-19</i>	<i>Feb-19</i>	<i>Mar-19</i>
2019	Quinnest Banks	NM	NM	NM	NM	LQ	NM	NM	NM	NM	NM	NM	LQ
2019	Cecelia J. Smith Whitson	NM	NM	NM	NM	LQ	NM	NM	NM	NM	NM	NM	LQ
2019	Gretchen Weaver	NM	NM	NM	NM	LQ	NM	NM	NM	NM	NM	NM	LQ
2020	Angela McCowan	NM	NM	NM	NM	LQ	NM	NM	NM	NM	NM	NM	LQ
2020	Kyshia Gibbons	NM	NM	NM	NM	LQ	NM	NM	NM	NM	NM	NM	LQ
	<i>Alternate</i>												
2019	**Bren Anderson											<i>Appt</i>	LQ

***Appointed February 11, 2019*

A = Absent

P = Present

NM = No Meeting

LQ = Lack of Quorum

MC = Meeting Cancelled

Staff Contact -Sean Johnson

Council Liaison - Councilmember Racheal Hill

Rev. 4/1/2019

MUSEUM ADVISORY BOARD

<i>Term Expires</i>	<i>Board Members</i>	<i>Apr-18</i>	<i>May-18</i>	<i>Jun-18</i>	<i>Jul-18</i>	<i>Aug-18</i>	<i>Sep-18</i>	<i>Oct-18</i>	<i>Nov-18</i>	<i>Dec-18</i>	<i>Jan-19</i>	<i>Feb-19</i>	<i>Mar-19</i>
2019	Mary Ryan	P	NM	NM	NM	NM	NM	NM	NM	NM	NM	NM	A
2019	Lillian Cullors	A	NM	NM	NM	NM	NM	NM	NM	NM	NM	NM	A
2019	Shannon Boyd	A	NM	NM	NM	NM	NM	NM	NM	NM	NM	NM	A
2020	Clara Butler	P	NM	NM	NM	NM	NM	NM	NM	NM	NM	NM	P
2020	**Rachel Green											Appt	P
	ALTERNATE												
2019	**Cindy Bullard											Appt	P

***Appointed February 11,2019*

A = Absent

P = Present

NM = No Meeting

LQ = Lack of Quorum

MC = Meeting Cancelled

Staff Contact - Rona Stringfellow

Council Liaison - Deputy Mayor Pro Tem Stanley Jaglowski

Rev. 4/1/2019

PARKS AND RECREATION ADVISORY BOARD

<i>Term Expires</i>	<i>Board Members</i>	<i>Apr-18</i>	<i>May-18</i>	<i>Jun-18</i>	<i>Jul-18</i>	<i>Aug-18</i>	<i>Sep-18</i>	<i>Oct-18</i>	<i>Nov-18</i>	<i>Dec-18</i>	<i>Jan-19</i>	<i>Feb-19</i>	<i>Mar-19</i>
2019	<i>Abe Cooper</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>NM</i>	<i>A</i>
2019	<i>Darwin Isham</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>NM</i>	<i>A</i>	<i>NM</i>	<i>NM</i>	<i>A</i>	<i>NM</i>	<i>NM</i>	<i>NM</i>	<i>A</i>
2019	<i>Petra Covington</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>NM</i>	<i>P</i>
2020	<i>Joe Smith</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>NM</i>	<i>P</i>
2020	<i>Jerry Giles</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>NM</i>	<i>P</i>
	<i>ALTERNATE</i>												
2019	<i>Frances Allen</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>P</i>	<i>NM</i>	<i>NM</i>	<i>NM</i>	<i>P</i>

A = Absent

P = Present

NM = No Meeting

LQ = Lack of Quorum

MC = Meeting Cancelled

Staff Contact - Sean Johnson

Council Liaison - Councilmember Nina Morris

Rev. 4/1/2019

PLANNING AND ZONING COMMISSION

Meeting Attendance															
Term Expires	Board Members	Apr-18	May-18	Jun-18		Jul-18	Aug-18	Sep-18	Oct-18	Nov-18	Dec-18	Jan-19	Feb-19	Mar-19	
2019	**Isabel Aguilar												Appt	P	LQ
2019	Jeremy Reed	P	P	MC	P	P	P	P	A	P	A	P	P	P	LQ
2019	**Lawrence Prothro												Appt	A	LQ
2020	*Ty G. Jones						Appt	-	P	P	P	P	P	P	LQ
2020	*Ernest Casey						Appt	-	P	P	P	P	P	A	LQ
	ALTERNATE														
2019	**Temika Whitfield												Appt	P	LQ

*Appointed August 27, 2018

**Appointed February 11, 2019

A = Absent

P = Present

NM = No Meeting

LQ = Lack of Quorum

MC = Meeting Cancelled

Staff Contact - Bester Munyaradzi

Council Liaison - Councilmember Carol Strain-Burk

Rev. 4/1/2019

PROPERTY STANDARDS AND APPEALS BOARD

<i>Meeting Attendance</i>														
<i>Term Expires</i>	<i>Board Members</i>	<i>Apr-18</i>	<i>May-18</i>	<i>Jun-18</i>		<i>Jul-18</i>	<i>Aug-18</i>	<i>Sep-18</i>	<i>Oct-18</i>	<i>Nov-18</i>	<i>Dec-18</i>	<i>Jan-19</i>	<i>Feb-19</i>	<i>Mar-19</i>
2019	Cassondra Andrews	NM	NM	LQ	MC	NM	NM	NM	NM	NM	NM	NM	NM	P
2019	Donna Lee	NM	NM	LQ	MC	NM	NM	NM	NM	NM	NM	NM	NM	P
2020	**Tedrick Woods													Appt
2020	*Brenda Davis												Appt	A
2019	Sue Wyrick	NM	NM	LQ	MC	NM	NM	NM	NM	NM	NM	NM	NM	P
	ALTERNATE													
2019	*Sharonda Peppers												Appt	P

*Appointed February 11, 2019

**Appointed March 25, 2019

A = Absent

P = Present

NM = No Meeting

LQ = Lack of Quorum

MC = Meeting Cancelled

Staff Contact - Dale Jackson

Council Liaison - Councilmember Nina Morris

Rev. 4/1/2019

LANCASTER RECREATIONAL DEVELOPMENT CORP. (4B)

<i>Meeting Attendance</i>													
<i>Term Expires</i>	<i>Board Members</i>	<i>Apr-18</i>	<i>May-18</i>	<i>Jun-18</i>	<i>Jul-18</i>	<i>Aug-18</i>	<i>Sep-18</i>	<i>Oct-18</i>	<i>Nov-18</i>	<i>Dec-18</i>	<i>Jan-19</i>	<i>Feb-19</i>	<i>Mar-19</i>
2019	*Mary Sykes										NM	Appt	P
2019	*William Freeman										NM	Appt	A
2019	*Harmonica Mays										NM	Appt	A
2019	*Erikka Cullum										NM	Appt	P
2020	*Don McCoo										NM	Appt	P
2020	*Sharmetra Lewis										NM	Appt	P
2020	*Zaychiana Mixon										NM	Appt	A

*Appointed February 11, 2019

A = Absent

P = Present

NM = No Meeting

LQ = Lack of Quorum

MC = Meeting Cancelled

Staff Contact - Sean Johnson

Council Liaison - Councilmember Nina Morris

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SIGN CONTROL BOARD

<i>Meeting Attendance</i>													
<i>Term Expires</i>	<i>Board Members</i>	<i>Apr-18</i>	<i>May-18</i>	<i>Jun-18</i>	<i>Jul-18</i>	<i>Aug-18</i>	<i>Sep-18</i>	<i>Oct-18</i>	<i>Nov-18</i>	<i>Dec-18</i>	<i>Jan-19</i>	<i>Feb-19</i>	<i>Mar-19</i>
2019	**Isabel Aguilar										NM	Appt	LQ
2019	Jeremy Reed	NM	NM	NM	NM	P	NM	NM	NM	NM	NM	NM	LQ
2019	**Lawrence Prothro										NM	Appt	LQ
2020	*Ty G. Jones					Appt	NM	NM	NM	NM	NM	NM	LQ
2020	*Ernest Casey					Appt	NM	NM	NM	NM	NM	NM	LQ
	ALTERNATE												
2019	**Temika Whitfield										NM	Appt	LQ

*Appointed August 27, 2018

** Appointed February 11, 2019

A = Absent

P = Present

NM = No Meeting

LQ = Lack of Quorum

MC = Meeting Cancelled

Staff Contact - Bester Munyaradzi

Council Liaison - Councilmember Carol Strain-Burk

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ZONING BOARD OF ADJUSTMENT

<i>Meeting Attendance</i>													
<i>Term Expires</i>	<i>Board Members</i>	<i>Apr-18</i>	<i>May-18</i>	<i>Jun-18</i>	<i>Jul-18</i>	<i>Aug-18</i>	<i>Sep-18</i>	<i>Oct-18</i>	<i>Nov-18</i>	<i>Dec-18</i>	<i>Jan-19</i>	<i>Feb-19</i>	<i>Mar-19</i>
2019	Deborah Taylor	NM	NM	NM	NM	NM	NM	P	NM	NM	NM	NM	P
2019	Sherri Williams	NM	NM	NM	NM	NM	NM	P	NM	NM	NM	NM	A
2019	Margaret Brooks	NM	NM	NM	NM	NM	NM	P	NM	NM	NM	NM	P
2020	Syrinithnia Mann	NM	NM	NM	NM	NM	NM	A	NM	NM	NM	NM	A
2020	John G. Thomas	NM	NM	NM	NM	NM	NM	P	NM	NM	NM	NM	A
	ALTERNATE												
2019	Lawrence Smith	NM	NM	NM	NM	NM	NM	P	NM	NM	NM	NM	P

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Staff Contact - Dale Jackson

Council Liaison - Deputy Mayor Pro Tem Stanley Jaglowski

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Boards and Commissions Applicants



2019

Applicants	Airport	Animal	HLPC	LEDC	Library	LRDC	Parks Advisory	PSAB	P&Z/ Sign Control	ZBA	Museum	Comments
Adams, Marchal			2		1		4					Youth Advisory Committee - 3 Verbal confirmation for Parks & Rec. Advisory
Beavers, Alan			2				3	1	4			
Bell, Shannon	2				1		3					
Hudleton, LaMonica				1		2	4		3			Verbal confirmation for Parks & Rec. Advisory
Lyons, Rachel				1	2		3					